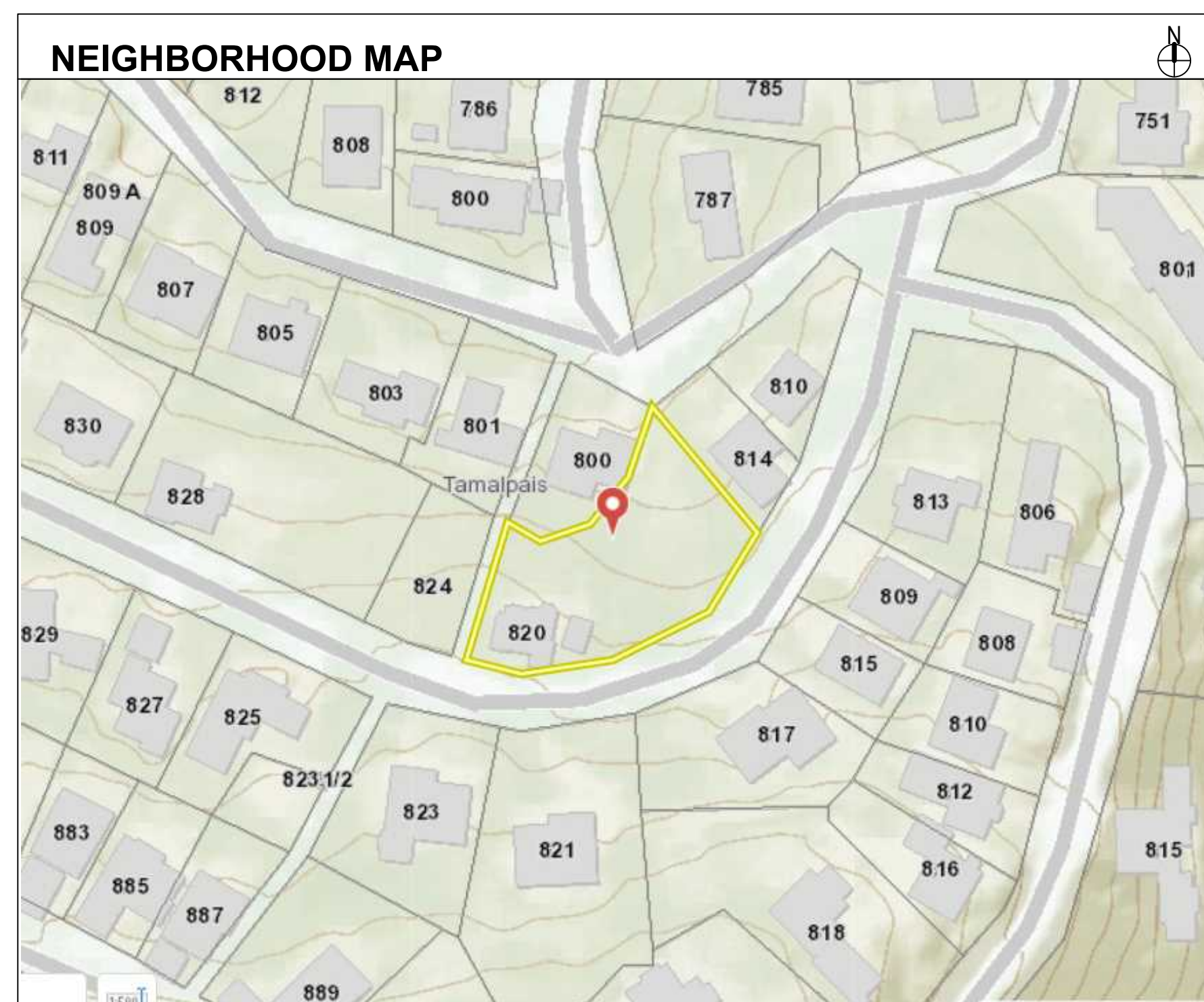
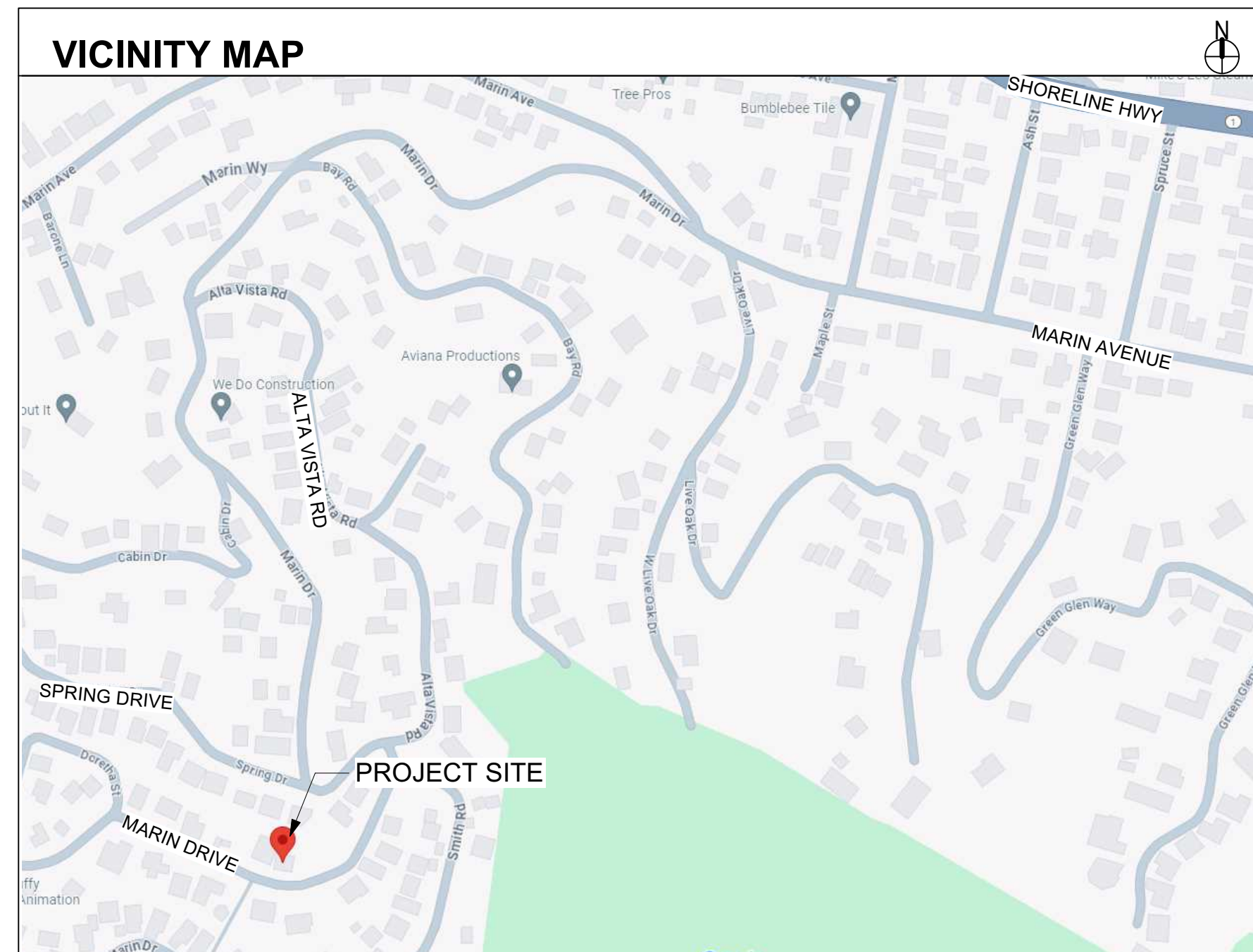


Approved by: Henry Fleischmann

Signature: _____

PLA #5546

CSLB #1046251



PROJECT DATA

	Allowed	Existing	Proposed
Lot Size		14,400 SF	NO CHANGE
Effective Lot Size (subtract easements)			
Zoning		R1/B1	NO CHANGE
Floor Area by Level:			
Basement Area		976 SF	1,596 SF
Lowest Floor		880 SF	1,517 SF
Second Floor		N/A	N/A
Top Floor		497 SF	1,230 SF
Floor Area over 14' ceiling*		N/A	303 SF
Accessory Dwelling Unit (ADU)		N/A	N/A
Garage		160 SF	NO CHANGE / 160 SF
Accessory Structure(s) Number & sq. ft.		(2) 246 SF	NO CHANGE/ (2) 246 SF
Sub-total Floor Area		2,759 SF	5,052 SF
Minus Floor Area Exemptions		482 SF	603 SF
Total Adjusted Floor Area		2,277 SF	4,449 SF
Lot Coverage			
Exterior (Front) Setback	25'-0"	11"	11"
Side Yard Setback	5'-0"	128'-5"	98'-8"
Side Yard Setback	5'-0"	3'-9"	3'-9"
Rear Yard Setback	17'-6"	49'-6"	26'-0"
Height: 25'/35' Maximum	30'-0"	27'-6"	35'-0"
On-site Parking Spaces		3	NO CHANGE
Cut (include footings/piers/foundations)			10 YARDS
Fill			10 YARDS
Import/Off-haul			
Impervious Surface Area		2,886 SF - 20%	3,913 SF - 27%
Pervious Surface Area		11,514 SF	10,487 SF

SCOPE OF WORK

PROJECT INCLUDES AN ADDITION TO THE WEST WING OF THE EXISTING STRUCTURE. THERE WILL BE A NEW COVERED PORCH, THREE NEW FULL BATHS, A NEW INTERIOR STAIRWELL, THREE ADDITIONAL BEDROOMS AND NEW OFFICES. THE REMODEL FOR THE EXISTING KITCHEN WILL HAVE A NEW PANTRY, ISLAND AND FINISHES. THIS PROJECT WILL INCLUDE NEW GLAZING, FLOORING, PLUMBING, LIGHTING/MECHANICAL, ROOFING, SIDING AND PLANTING.

PROJECT INFORMATION

ADDRESS : 820 MARIN DRIVE
MILL VALLEY, CA 94941

OCCUPANCY: SINGLE FAMILY

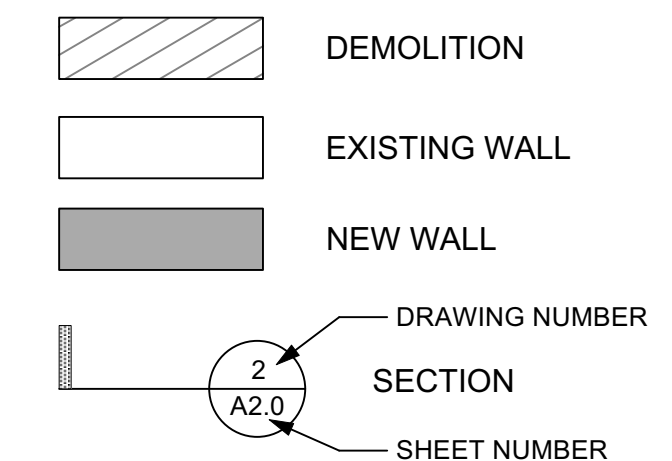
APN: 049-226-06

ZONE: R1/B1

OWNER: JOSH FLEISCHMANN
820 MARIN DRIVE
MILL VALLEY, CA 94941

DESIGNER/CONTACT:
FDC DESIGN BUILD
925 ADAMS STREET
ALBANY, CA 94941
510.900.1905

LEGEND



(E) EXISTING
(N) NEW
(P) PROPOSED

SHEET INDEX:

- A0.0 COVER SHEET
- A0.1 SITE PHOTOGRAPHS
- A0.2 RENDERINGS
- A0.3 STORY POLE PLAN
- A0.4 NEIGHBORHOOD MAP
- A0.5 FLOOR AREA PLANS
- A0.6 MATERIALS BOARD
- TS-1 SURVEY
- A1.0 PROPOSED SITE PLAN
- A1.1 PRELIMINARY GRADING & DRAINAGE PLAN
- A2.0 EXISTING & PROPOSED BASEMENT AND FIRST FLOOR PLANS
- A2.1 EXISTING & PROPOSED SECOND FLOOR AND ROOF PLANS
- A4.0 SOUTH ELEVATIONS
- A4.1 EAST & WEST ELEVATIONS
- A4.2 NORTH ELEVATIONS
- L0.0 CONCEPTUAL LANDSCAPE PLAN
- L0.1 VEGETATION MANAGEMENT PLAN

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
Revisions	Date

Addition & Remodel

Job #: _____ **FLE24**
Issue Date: _____ **01.27.2025**
Drawn By: _____ **se**

Coversheet

Sheet : _____



Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△ _____

△ _____

△ _____

△ _____

Revisions Date

Addition & Remodel

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

Site Photographs

Sheet: _____



AERIAL VIEW



EAST VIEW



REAR VIEW



DRIVEWAY VIEW



REAR VIEW



STREET VIEW

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△ _____

△ _____

△ _____

△ _____

Revisions Date

Addition & Remodel

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

Conceptual 3-D
Renderings

Sheet: _____

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____

Revisions Date

Addition & Remodel

Job #: _____ FLE24

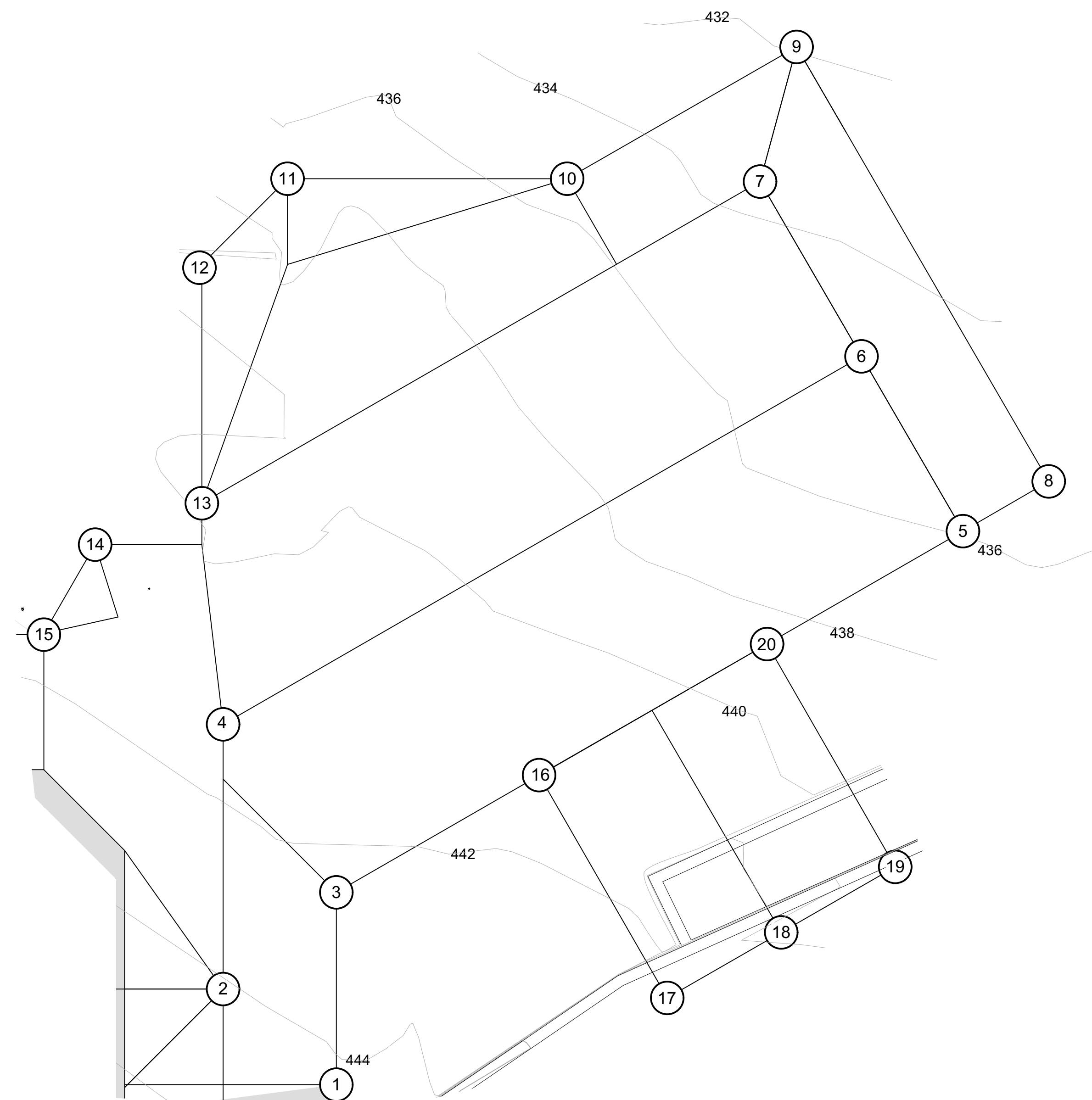
Issue Date: _____ 01.27.2025

Drawn By: _____ se

Proposed Story Pole Plan

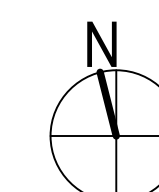
Sheet: _____

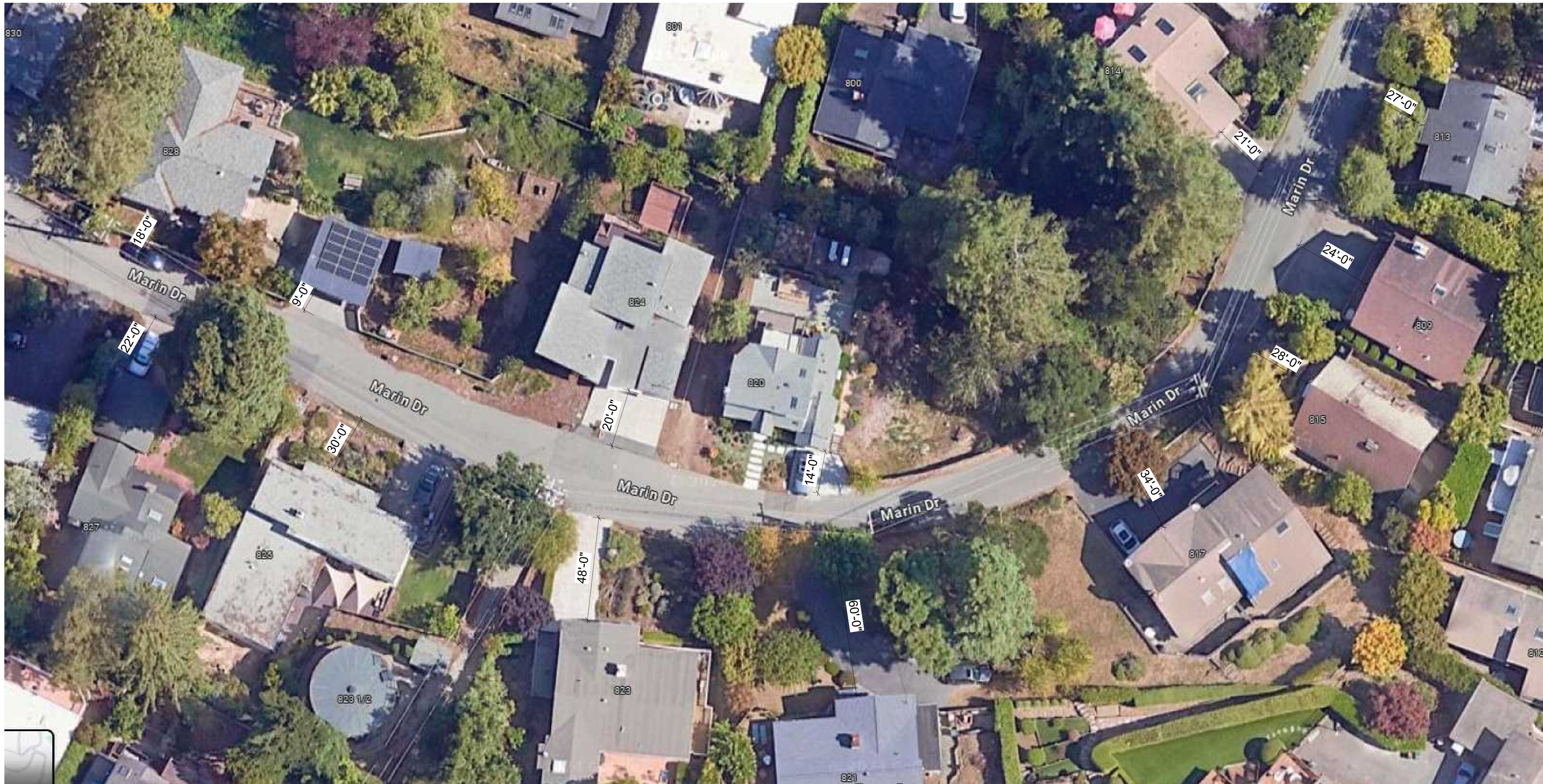
POLE NO.	LOCATION	GROUND ELEVATION	BLDG. ELEVATION	STORY POLE HEIGHT 30' MAX. PER CODE
1	LAUNDRY EAVE			
2	LAUNDRY RIDGE		30'-0"	
3	LAUNDRY EAVE			
4	MAIN RIDGE		30'-0"	
5	BEDROOM EAVE			
6	MAIN RIDGE		30'-0"	
7	BEDROOM EAVE			
8	BATHROOM EAVE			
9	GUEST ROOM EAVE			
10	GUEST ROOM EAVE			
11	SUNKEN ROOM EAVE			
12	SUNKEN ROOM EAVE			
13	SUNKEN ROOM EAVE			
14	BATHROOM EAVE			
15	BATHROOM EAVE			
16	COVERED PORCH EAVE		6'-4"	
17	COVERED PORCH EAVE		6'-4"	
18	COVERED PORCH RIDGE		11'-0"	
19	COVERED PORCH EAVE		6'-4"	
20	COVERED PORCH EAVE		6'-4"	



1 STORY POLE PLAN
SCALE: 1/4"=1'-0"

NOTE: PLEASE SEE SHEET A1.0
FOR BUILDING HEIGHT REFERENCES





Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____

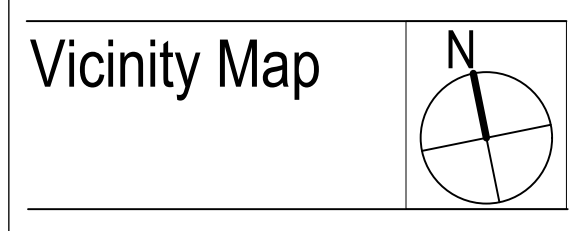
Revisions Date

Architecture

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se



Sheet : _____

LEGEND

- EXISTING
- NEW
- IMPERVIOUS

Approved by: Henry Fleischmann

Signature: _____

PLA #5546

CSLB #1046251

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
Revisions	Date

Architecture

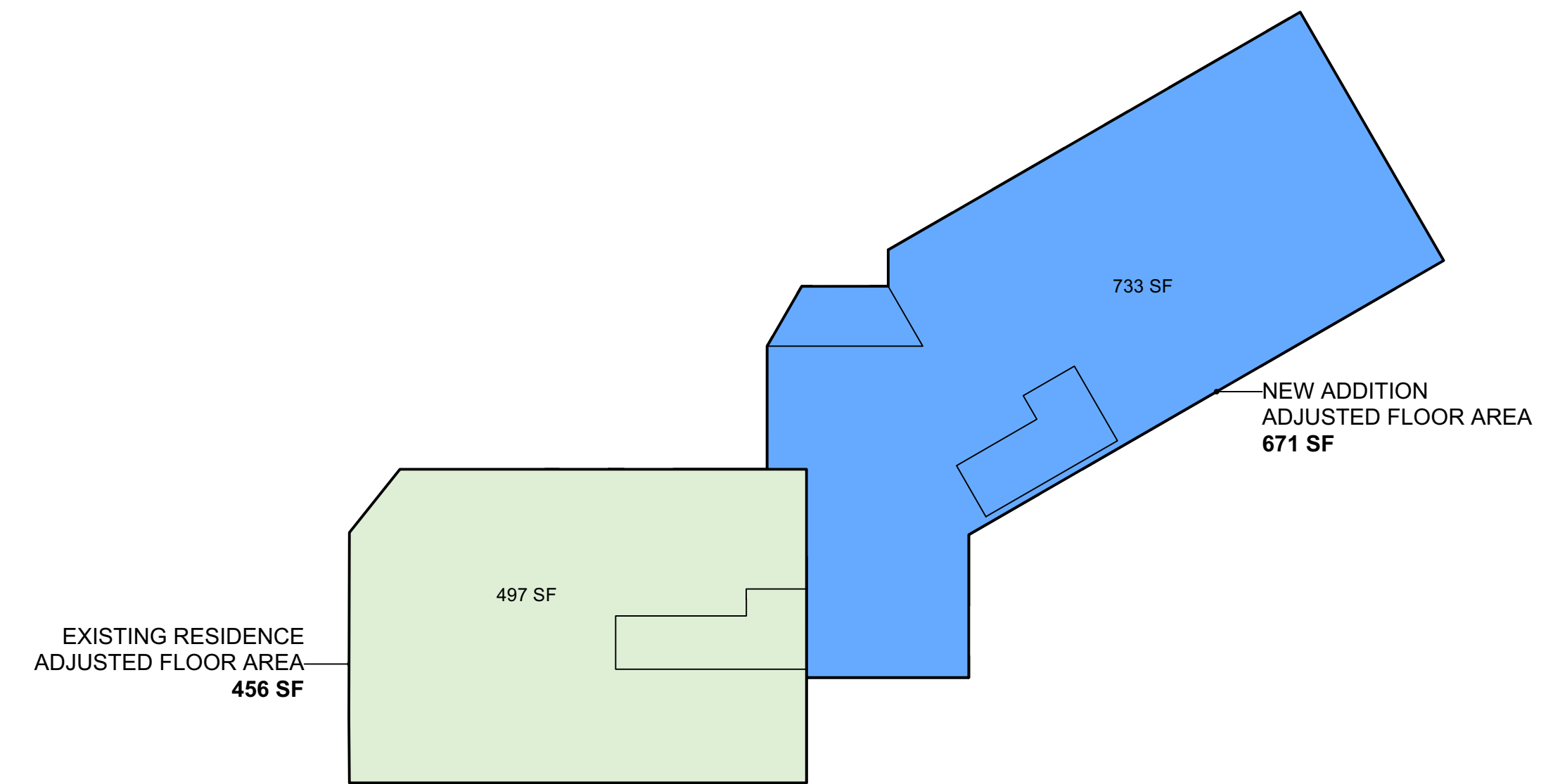
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

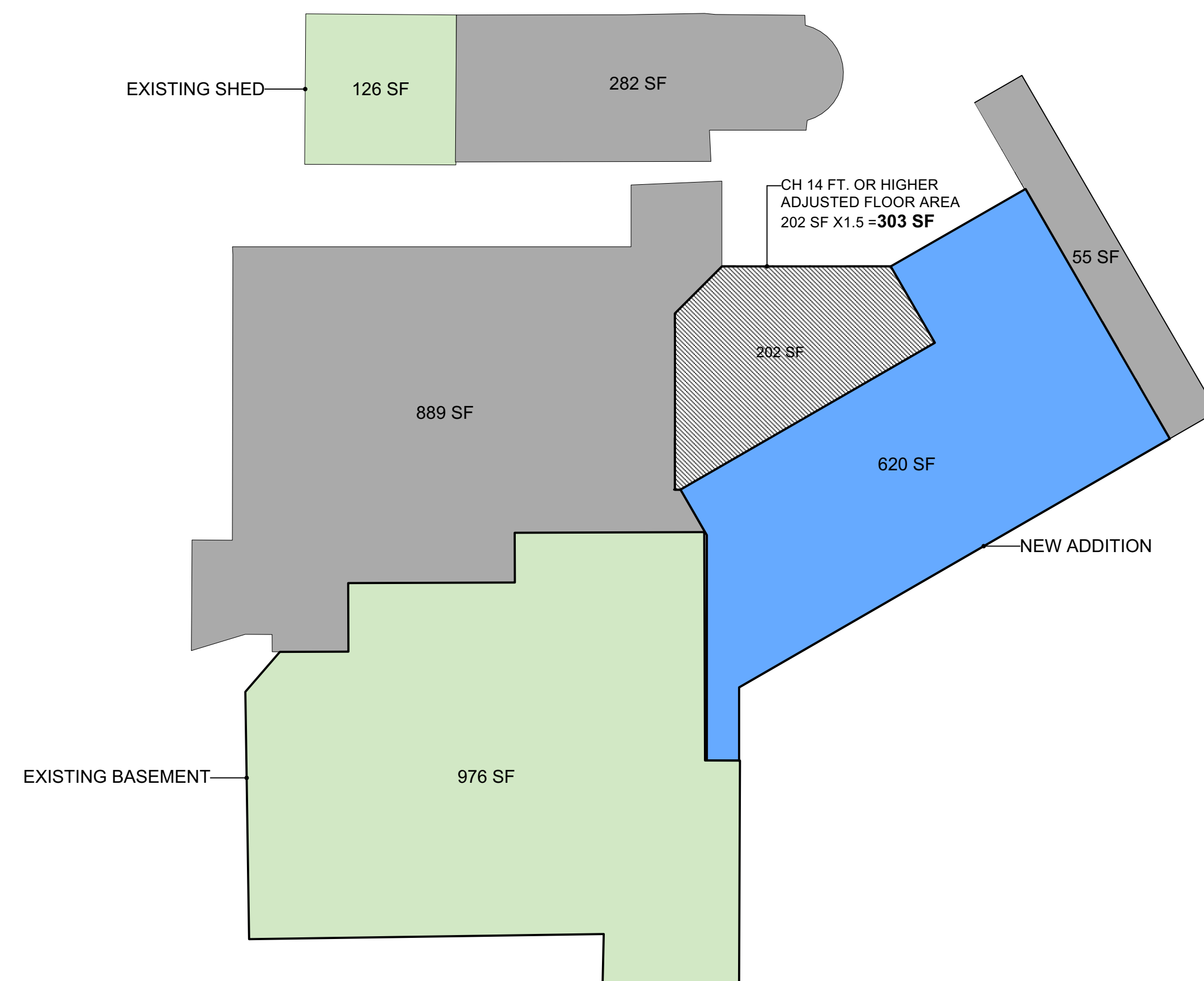
Drawn By: _____ se

Floor Area Plans

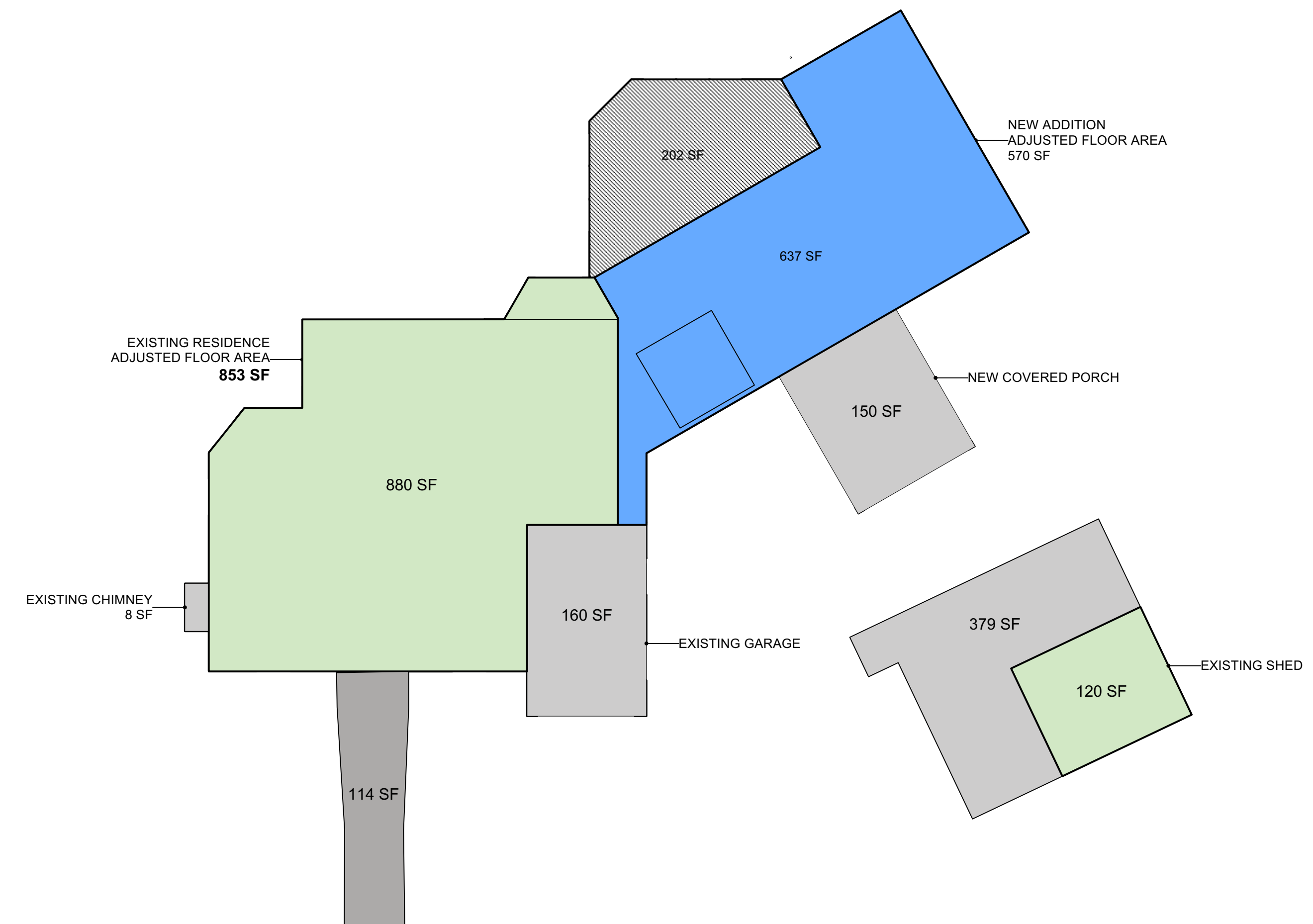
Sheet: _____



3 SECOND FLOOR
SCALE: 1/8"=1'-0"



1 BASEMENT/LOWEST FLOOR
SCALE: 1/8"=1'-0"



2 FIRST FLOOR
SCALE: 1/8"=1'-0"

SIDING



HARDIE SHINGLE
ARCTIC WHITE

GUTTERS



WHITE

EXTERIOR LIGHTING
(ENTRY, REAR, AND SIDE)



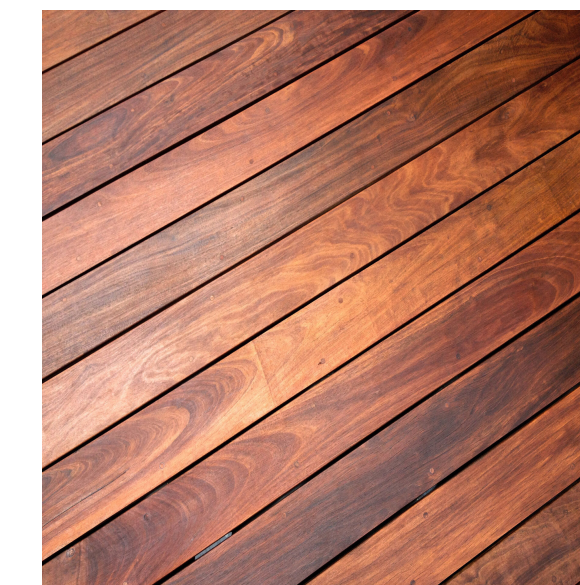
SCONCE DOWNLIGHT,
KICHLER 12"

DOOR
(NEW ENTRY)



CLEAR DOUG FIR

WOOD
(DECKS)



CLEAR IPE



NOTE: ALL NEW EXTERIOR FINISHES TO MATCH EXISTING

1 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
Revisions	Date

Addition & Remodel

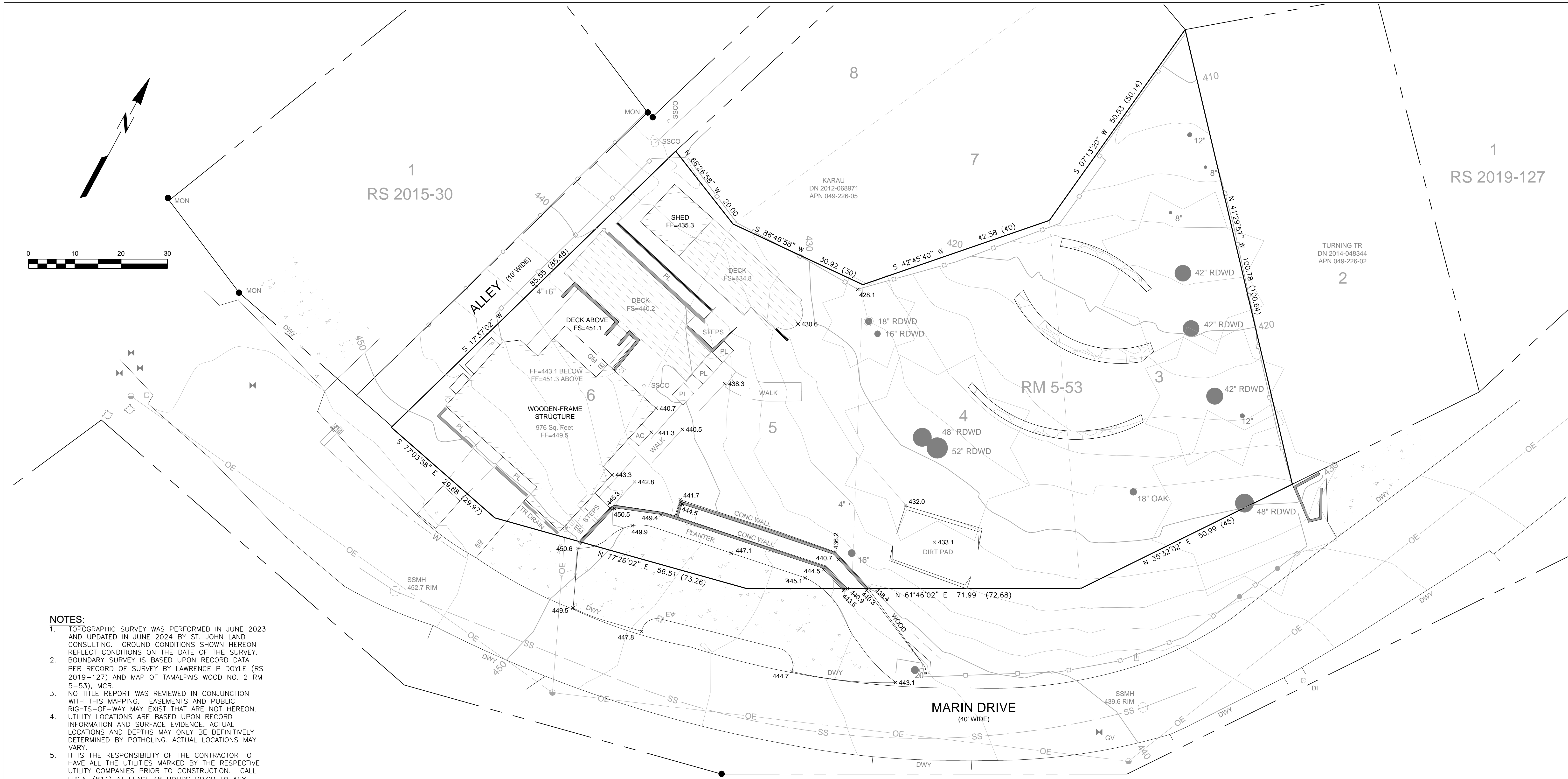
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

Materials Board

Sheet : _____



- NOTES:**
1. TOPOGRAPHIC SURVEY WAS PERFORMED IN JUNE 2023 AND UPDATED IN JUNE 2024 BY ST. JOHN LAND CONSULTING. GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY. BOUNDARY SURVEY IS BASED UPON RECORD DATA PER RECORD OF SURVEY BY LAWRENCE P. DOYLE (RS 2019-127) AND MAP OF TAMALPAIS WOOD NO. 2 RM 5-53, MCR.
 2. NO TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. EASEMENTS AND PUBLIC RIGHTS-OF-WAY MAY EXIST THAT ARE NOT HEREON. UTILITY LOCATIONS ARE BASED UPON RECORD INFORMATION AND SURFACE EVIDENCE. ACTUAL LOCATIONS AND DEPTHS MAY ONLY BE DEFINITELY DETERMINED BY POTHOLING. ACTUAL LOCATIONS MAY VARY.
 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION. CALL U.S.A. (811) AT LEAST 48 HOURS PRIOR TO ANY DIGGING TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
 4. THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF JOSH FLEISCHMANN AND HIS CONSULTANTS. USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.

BASIS OF BEARINGS:
 NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE 0403 (EPOCH 2010.00) AS DERIVED BY REDUNDANT GPS OBSERVATIONS PROCESSED USING JAVAD JUSTIN V.3 USING STATIONS CAPO, OHLN, P181, P224, AND T18B AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY. DATUM: NORTH AMERICAN DATUM OF 1983 (NAD83 2011). ALL DISTANCES ARE GRID DISTANCES. TO OBTAIN GROUND DISTANCES, MULTIPLY ALL DISTANCES BY 1.00006433.

ABBREVIATIONS:

AC	AIR CONDITIONING
A/C	ASPHALTIC CONCRETE
APN	ASSESSOR'S PARCEL NUMBER
CONC	CONCRETE
DI	DRAIN INLET
DN	DOCUMENT NUMBER
DWY	DRIVEWAY
EM	ELECTRIC METER
EV	ELECTRIC VEHICLE CHARGER
FF	FINISHED FLOOR
FS	FINISHED SURFACE
GM	GAS METER
MCR	MARIN COUNTY RECORDS
MON	SURVEY MONUMENT
PL	PLANTER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TR	TRENCH
()	RECORD DISTANCE PER RM 5-53

LEGEND:

---	SUBJECT PARCEL LINE
---	PARCEL LINE
---	OLD LOT LINE
---	WOODEN FENCE
---	OVERHEAD ELECTRIC LINE
---	SANITARY SEWER LINE
---	WATER LINE
---	CONCRETE
---	BUILDING LINE
⊕	JOINT UTILITY POLE
⊕	WATER VALVE, UNLESS OTHERWISE NOTED
⊕	MAILBOX
⊕	HOSE BIB

SURVEYOR'S STATEMENT
 THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AT THE REQUEST OF JOSH FLEISCHMANN IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT IN JUNE 2023.

GREGORY D. ST. JOHN, PLS
 LICENSE NO. L 8647

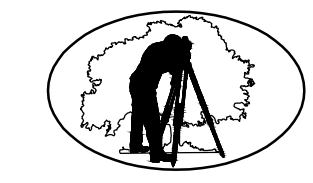


ORIGINAL SCALE IN INCHES
 FOR REDUCED PLANS

REVISIONS
 UPDATE WITH NEW DRIVEWAY AND WALLS

DATE
 6/3/24

SURVEY
 drawn: GSTJ
 job no. 202312
 dwg: Marin_Dr_Topo.dwg



ST JOHN LAND CONSULTING
 BENICIA, CA 94510 WWW.STJOHNSURVEYS.COM 707-392-6789

scale: 1" = 10'
 drawn: GSTJ
 checked: GSTJ
 date: 06/28/23

TOPOGRAPHIC SURVEY
LANDS OF FLEISCHMANN
 APN 049-226-06, DN 2021-060280, MCR
 620 MARIN DRIVE, MILL VALLEY CA 94941
 PROJECT NO. 202312

SHEET NO.
TS-1
 OF: 1

Fleischmann Addition & Remodel

820 Marin Drive

Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
△	_____
Revisions	Date

Addition & Remodel

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

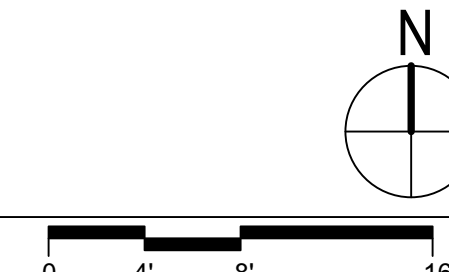
Proposed Site Plan



Sheet: _____

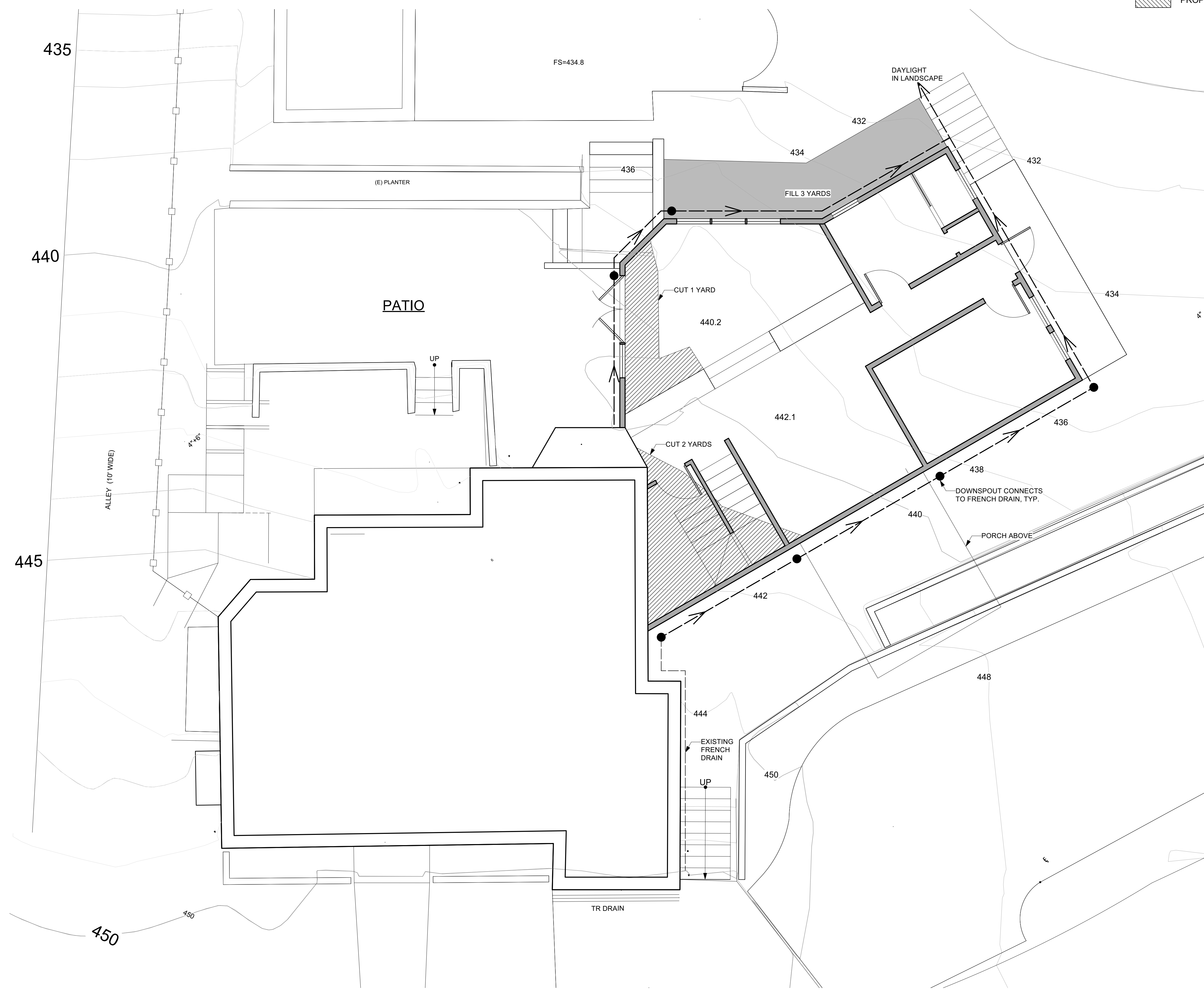
BUILDING CORNER & RIDGE HEIGHTS			
MARK NO.	BASE ELEVATION @ EXISTING GRADE	TOP OF BUILDING CORNER OR RIDGE	HEIGHT ABOVE REFERENCE BASE ELEV.
1	444'-4"	466'-6"	22'-2"
2	445'-6"	470'-0"	25'-0"
3	442'-6"	466'-6"	24'-0"
4	441'-6"	470'-0"	28'-6"
5	435'-0"	470'-0"	35'-0"
6	436'-0"	466'-6"	30'-6"
7	435'-6"	458'-6"	23'-0"
8	432'-0"	458'-6"	26'-6"
9	433'-6"	466'-6"	33'-0"
10	435'-6"	458'-6"	23'-0"
11	437'-6"	458'-6"	21'-0"
12	439'-0"	458'-6"	19'-6"
13	440'-0"	458'-6"	18'-6"
14	441'-0"	466'-6"	25'-6"
15	441'-6"	466'-6"	25'-0"
16	448'-6"	454'-10"	6'-4"
17	447'-6"	454'-10"	7'-4"
18	441'-0"	460'-7"	19'-7"



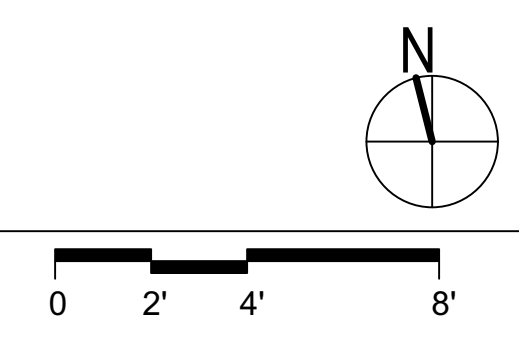
1 PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



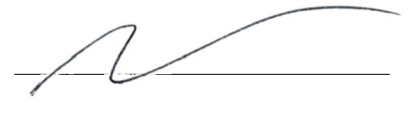
LEGEND
 PROPOSED FILL
 PROPOSED CUT



1 PRELIMINARY GRADING & DRAINAGE PLAN
 SCALE: 1/4"=1'-0"



Approved by: Henry Fleischmann

Signature: 

PLA #5546

CSLB #1046251





Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

	_____
	_____
	_____
	_____
Revisions	Date

Addition & Remodel

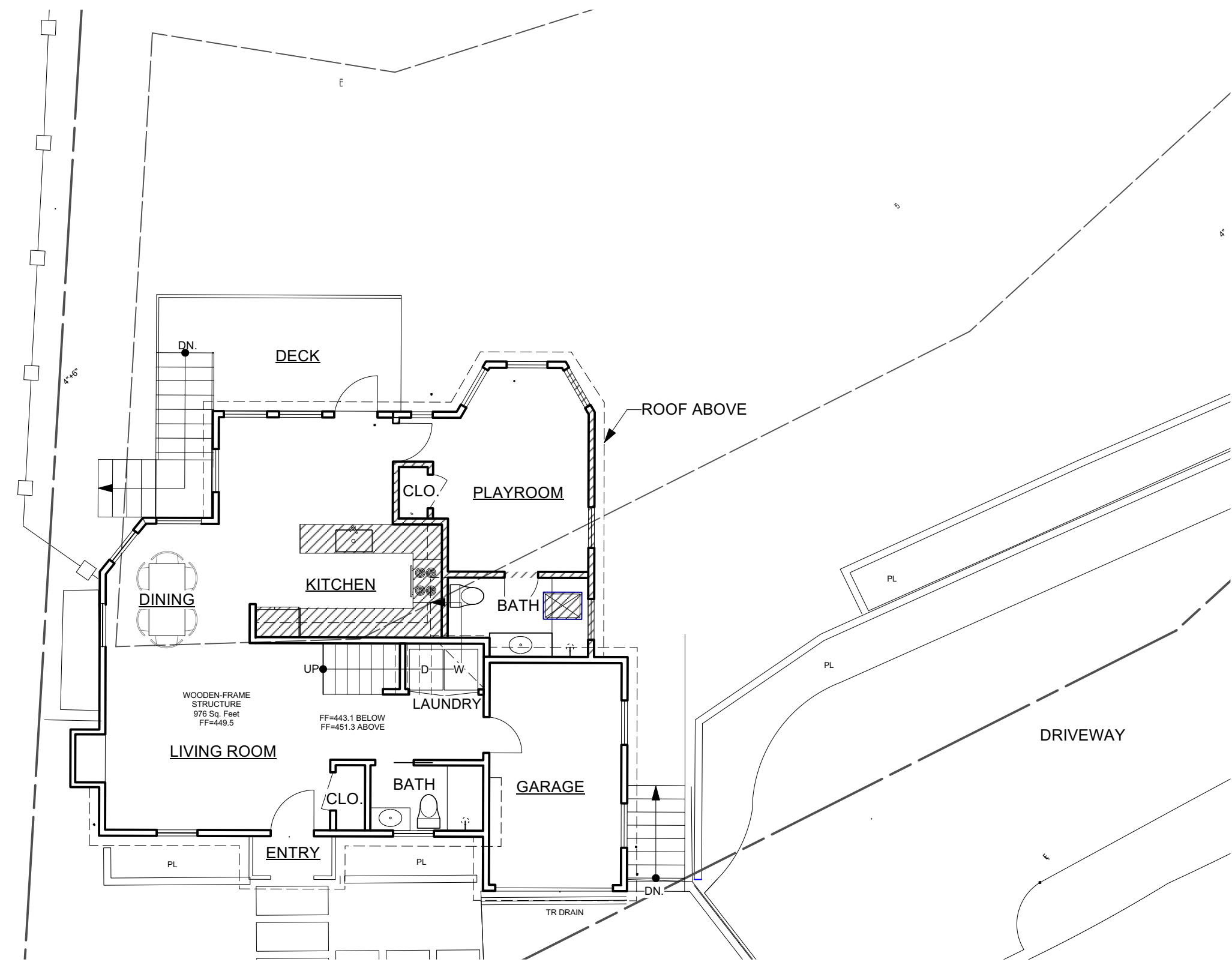
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

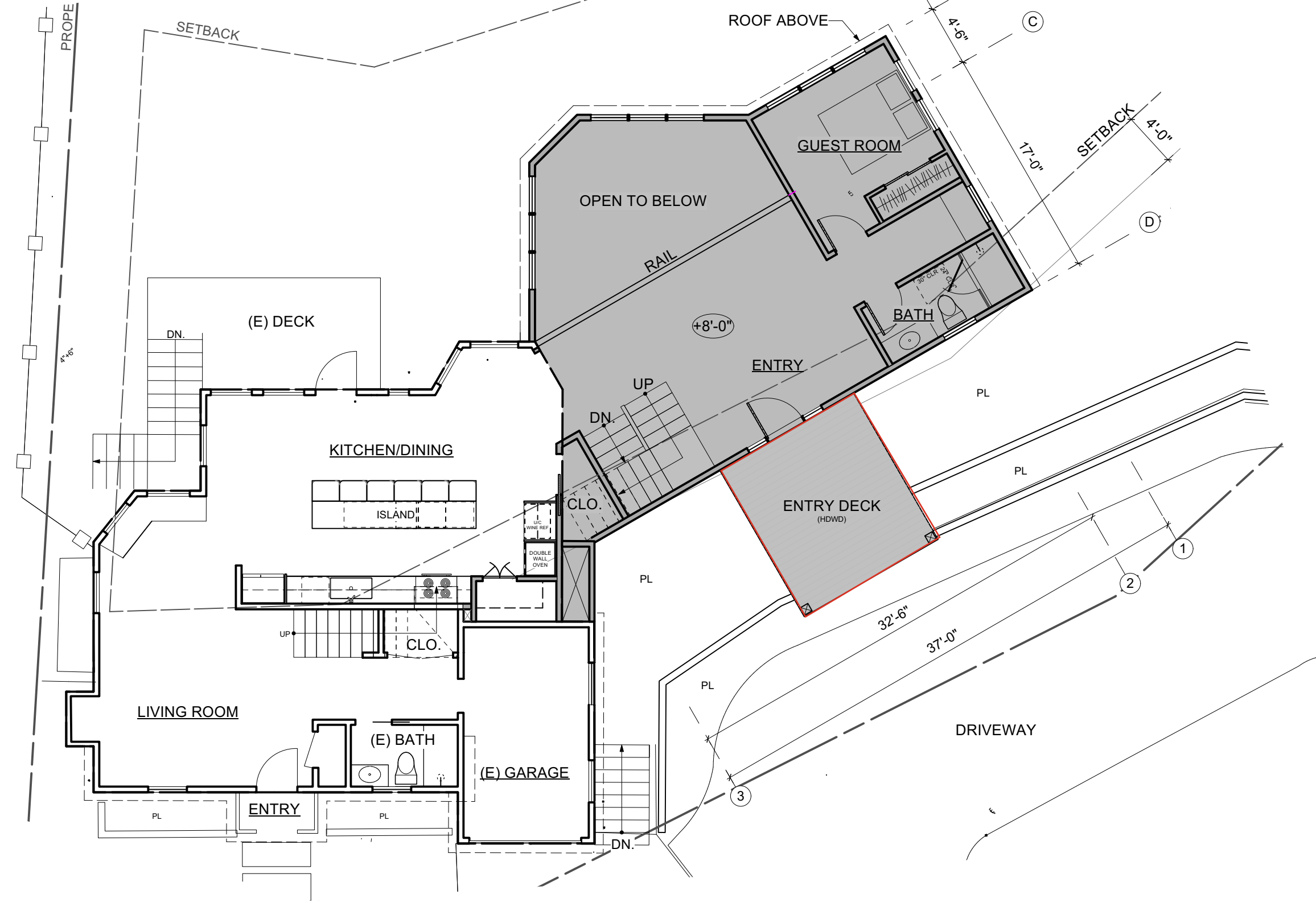
Drawn By: _____ se

Preliminary Grading and Drainage Plan

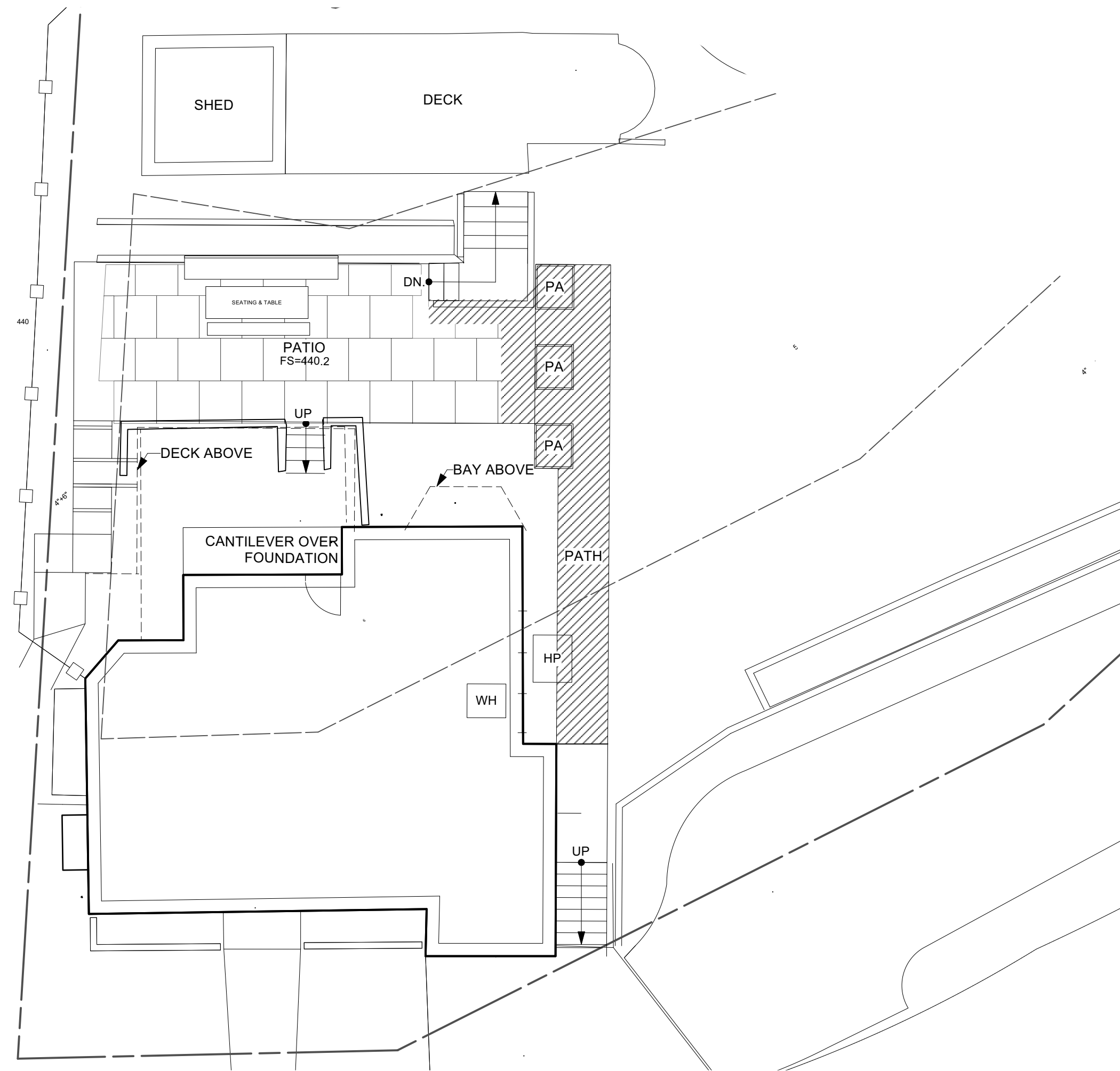
Sheet: _____



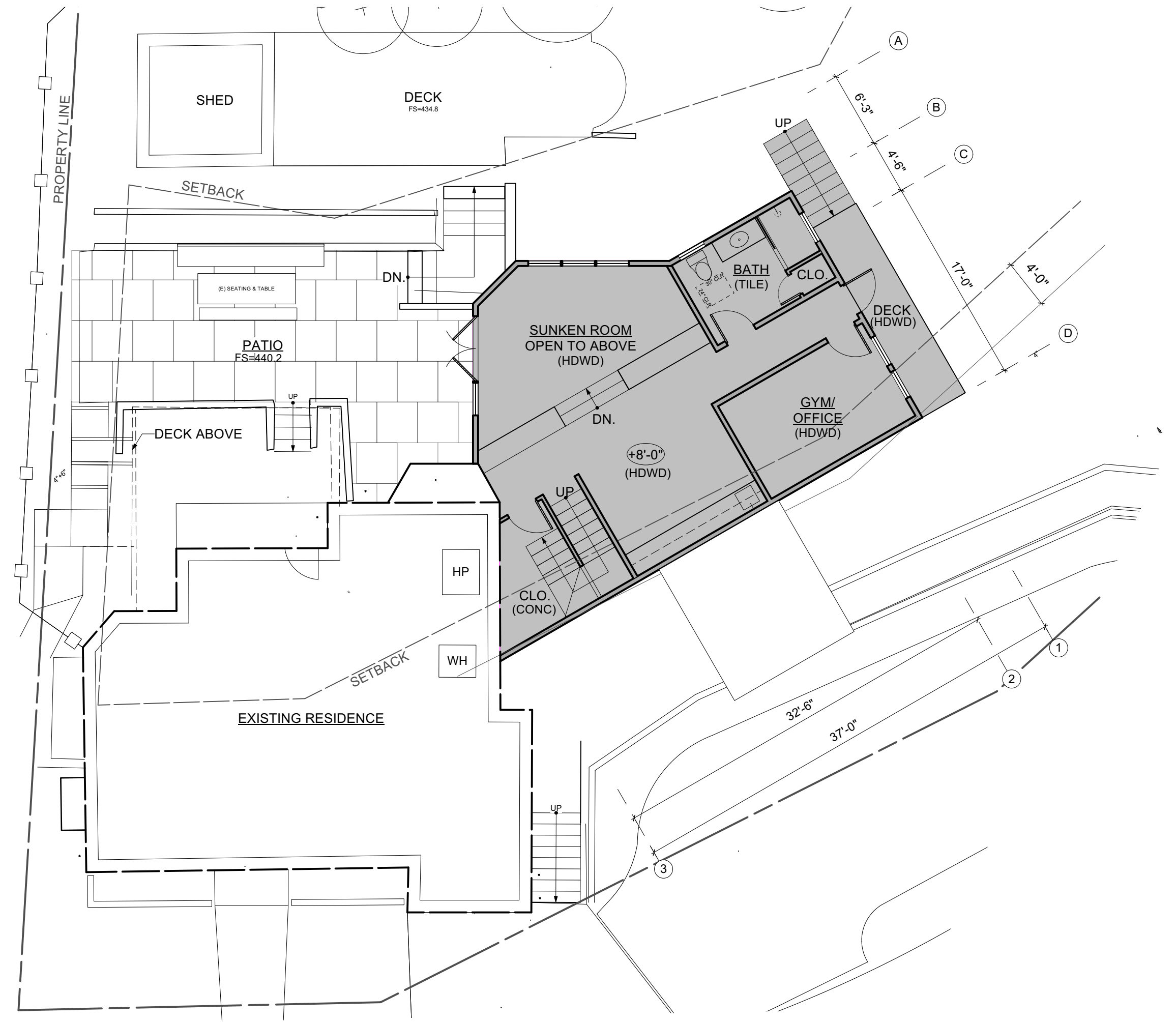
4 EXISTING & DEMO FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



3 EXISTING & DEMO BASEMENT PLAN
SCALE: 1/8"=1'-0"



1 PROPOSED BASEMENT PLAN
SCALE: 1/8"=1'-0"

WALL LEGEND	
[White Box]	EXISTING
[Hatched Box]	DEMO
[Solid Grey Box]	NEW

Approved by: Henry Fleischmann

Signature: _____

PLA #5546

CSLB #1046251

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

Revisions	Date
△	_____
△	_____
△	_____
△	_____

Addition & Remodel

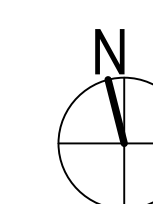
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

Existing and Proposed
Basement & First Floor
Plans

Sheet: _____



Approved by: Henry Fleischmann

Signature: _____

PLA #5546

CSLB #1046251

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____

Revisions Date

Addition & Remodel

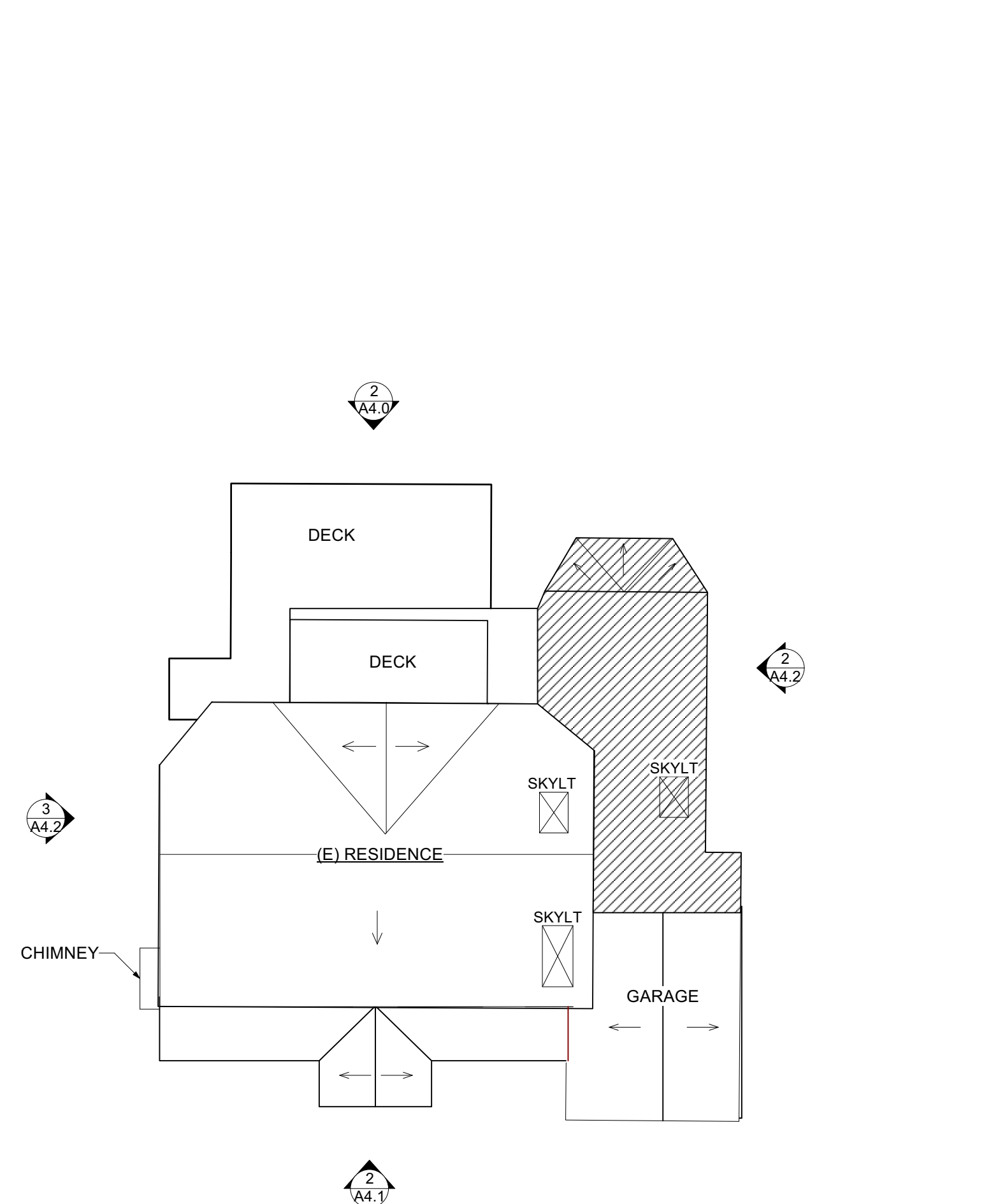
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

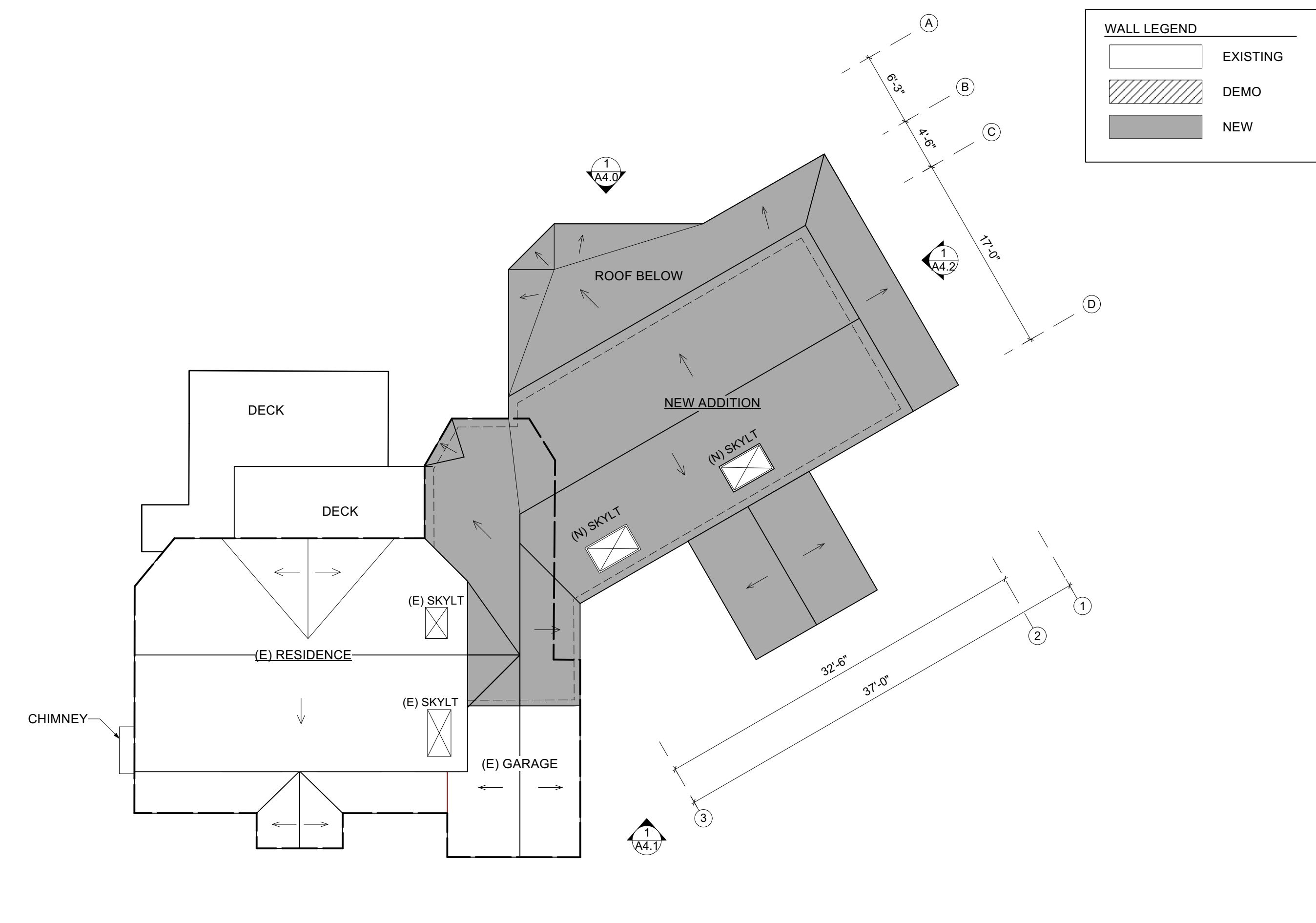
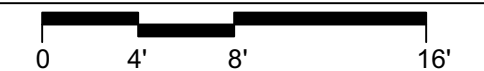
Drawn By: _____ se

Existing and Proposed
Second Floor & Roof Plans

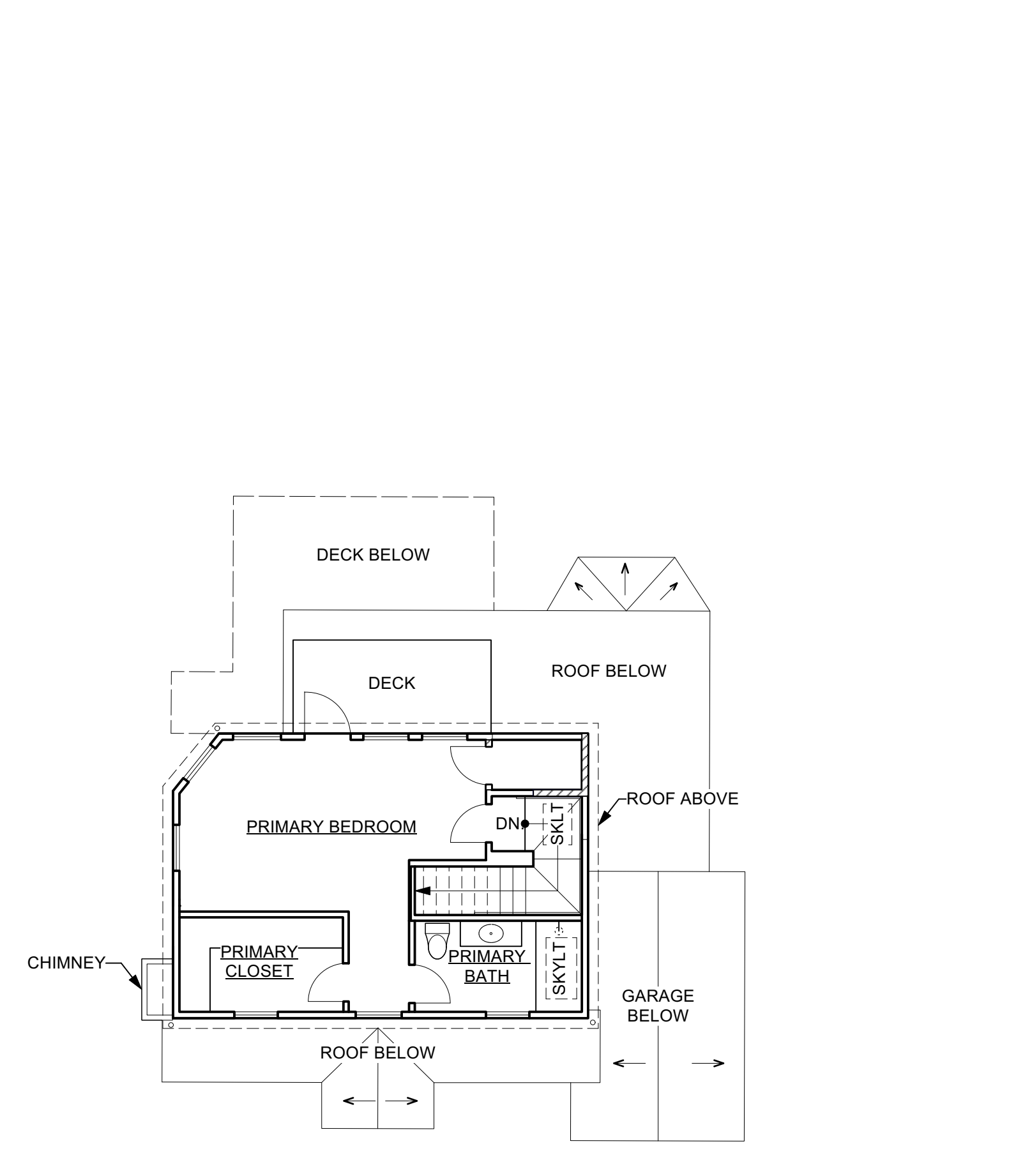
Sheet: _____



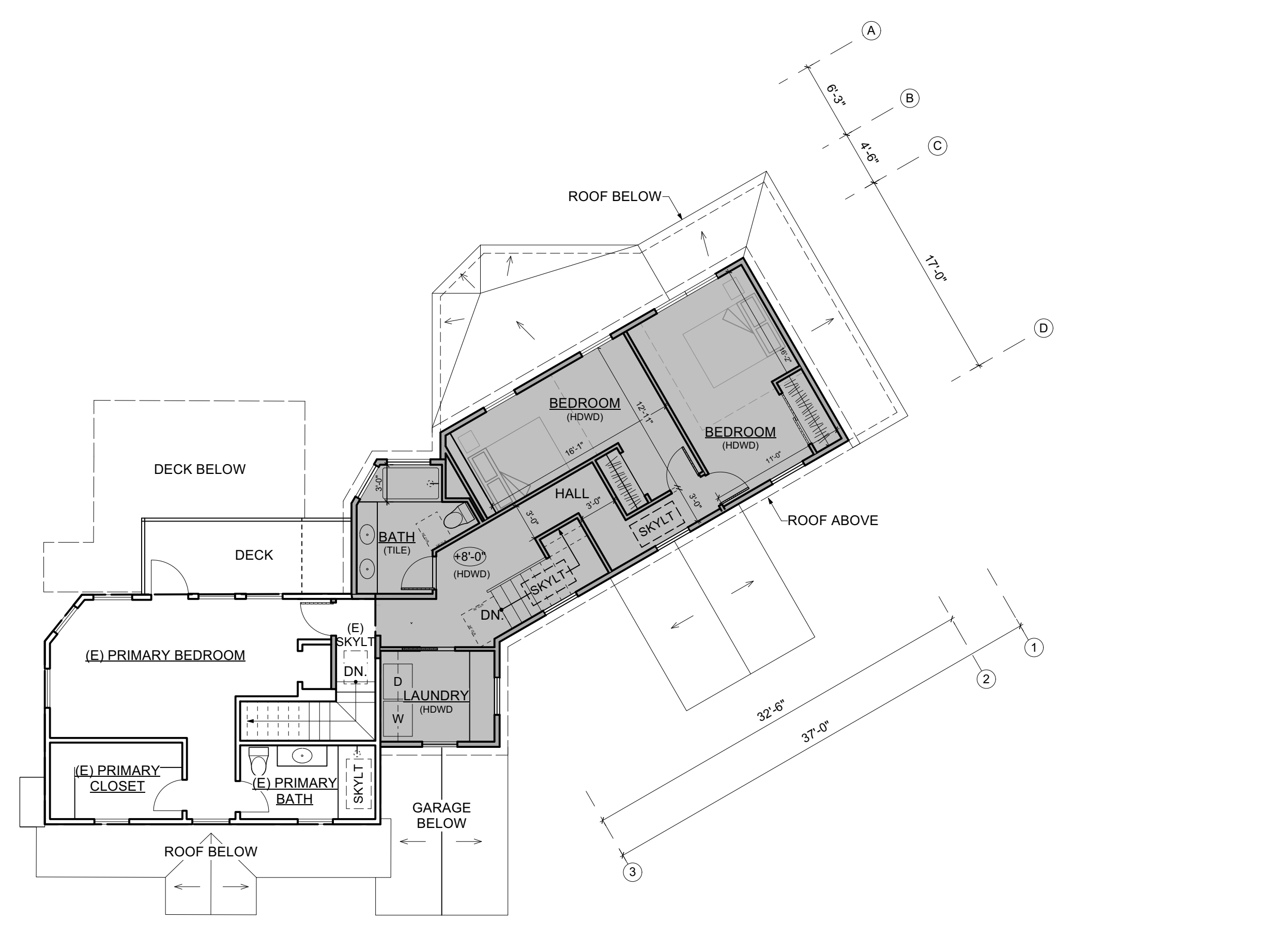
4 EXISTING & DEMO ROOF PLAN
SCALE: 1/8"=1'-0"



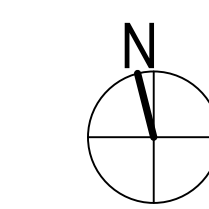
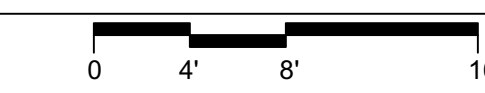
2 PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"



3 EXISTING & DEMO SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____

Revisions Date

Addition & Remodel

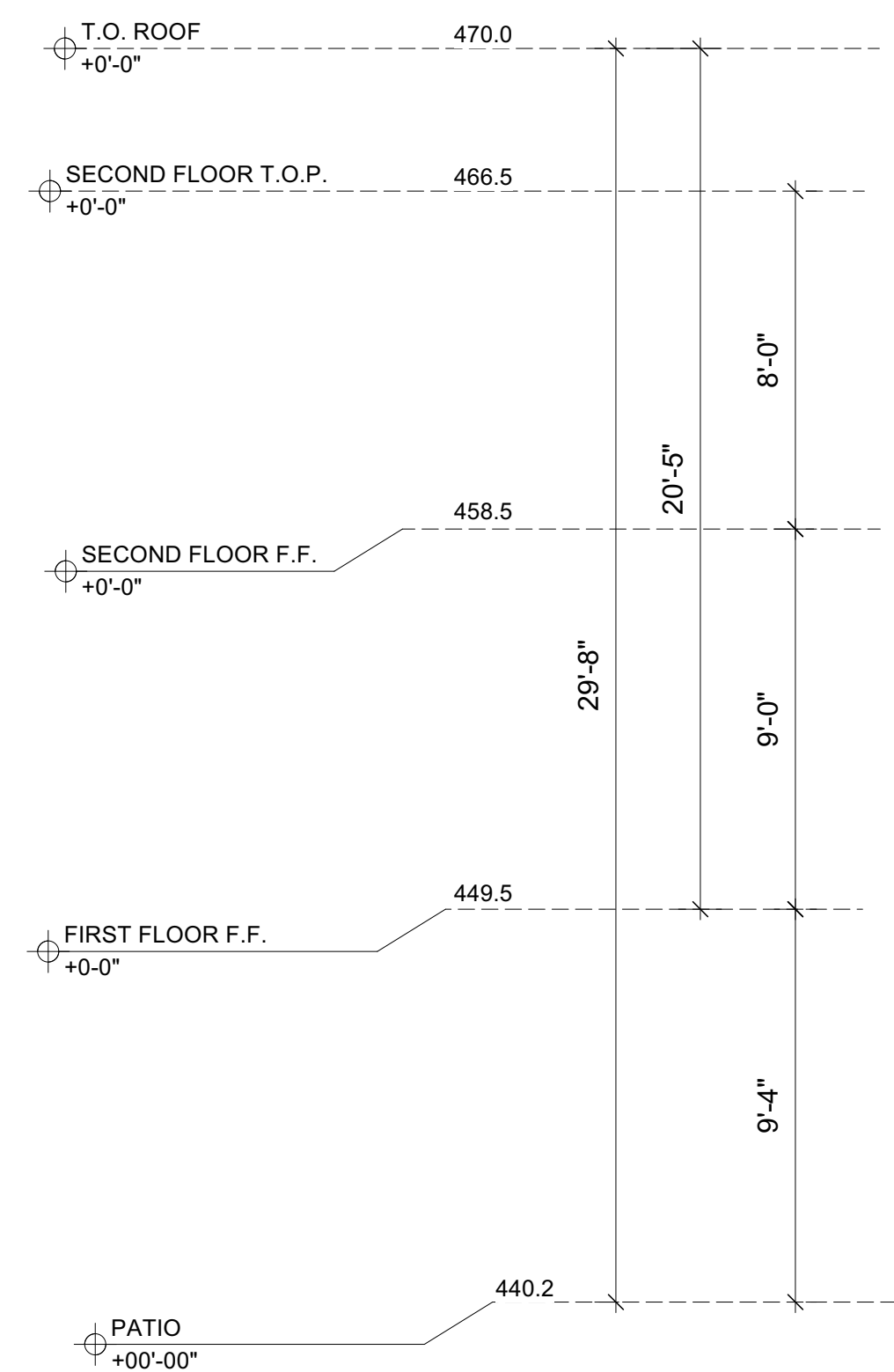
Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

South Elevations

Sheet: _____

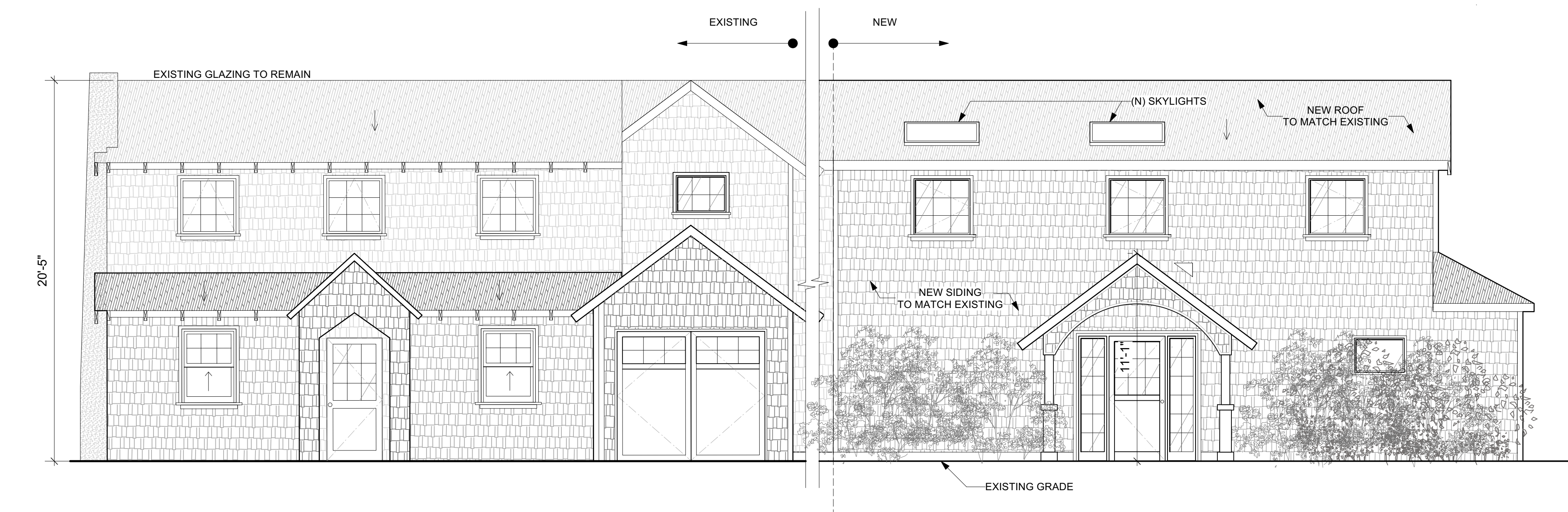
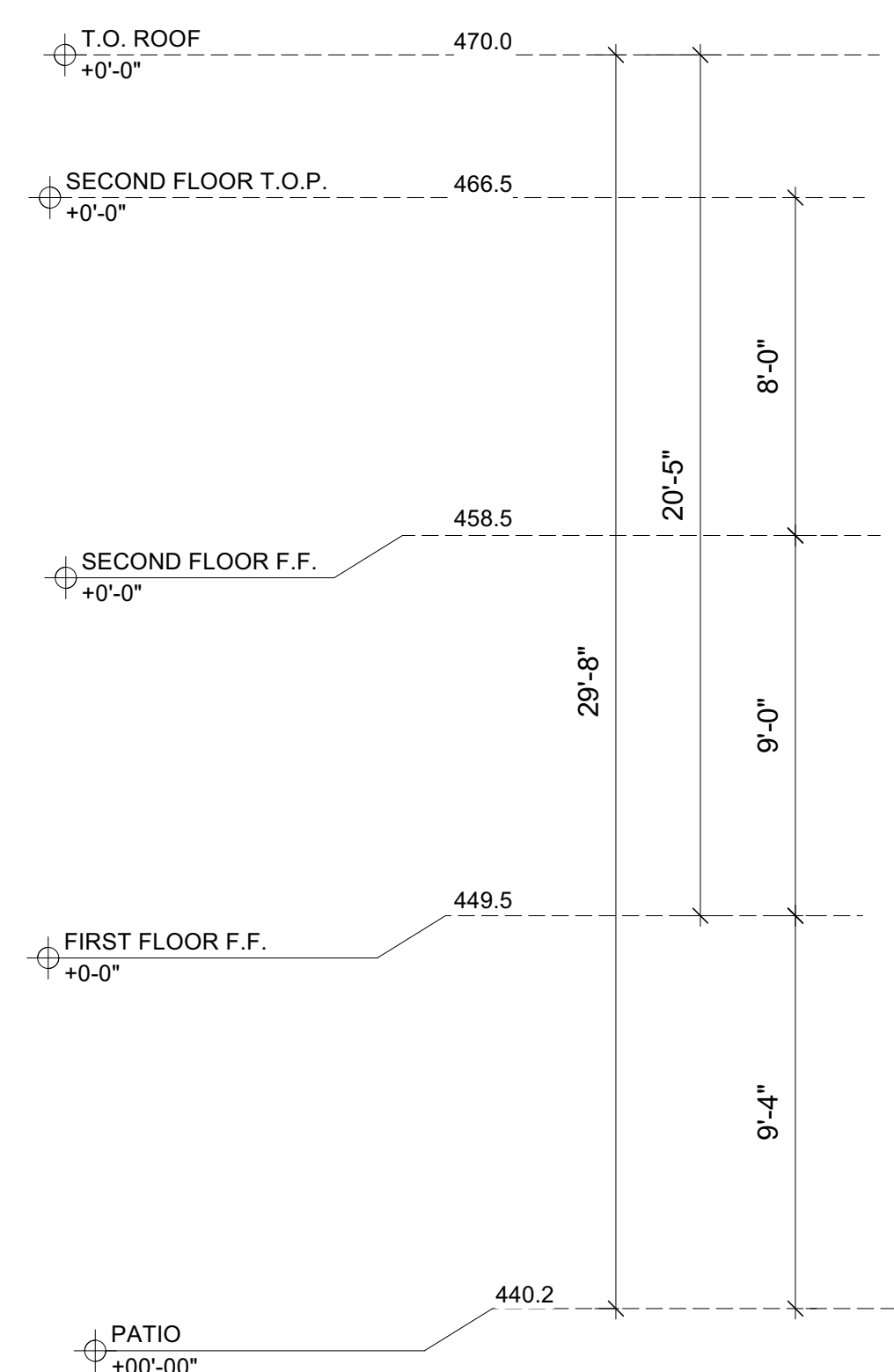
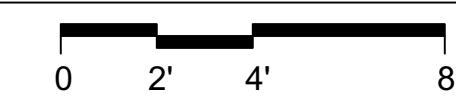


EXTERIOR LIGHTING
(ENTRY, REAR, AND SIDE)



SCONCE DOWNLIGHT,
KICHLER 12"

2 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
Revisions	Date

Addition & Remodel

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

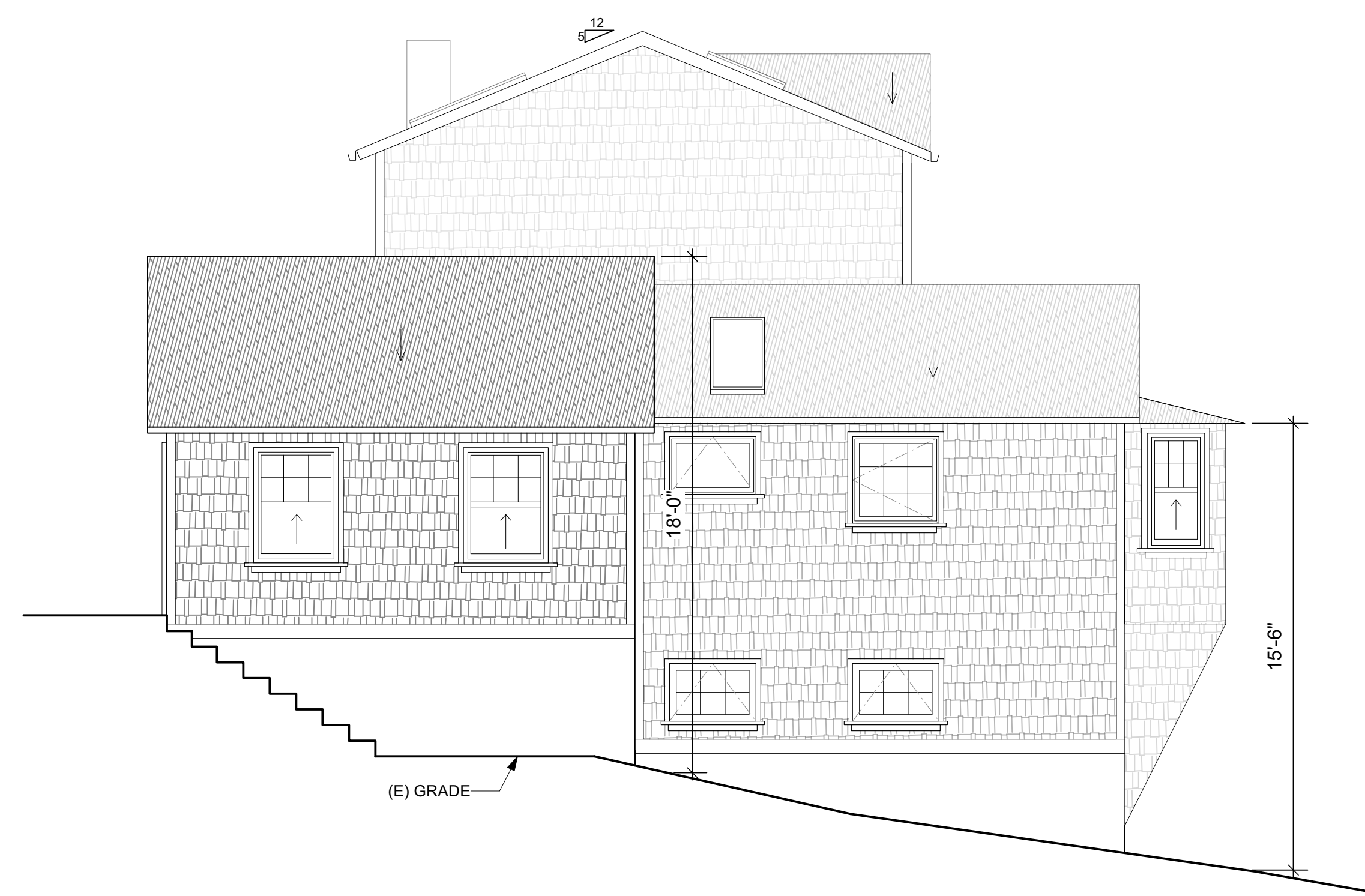
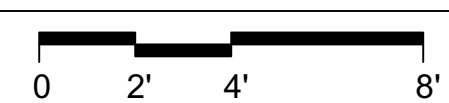
Drawn By: _____ se

East & West Elevations

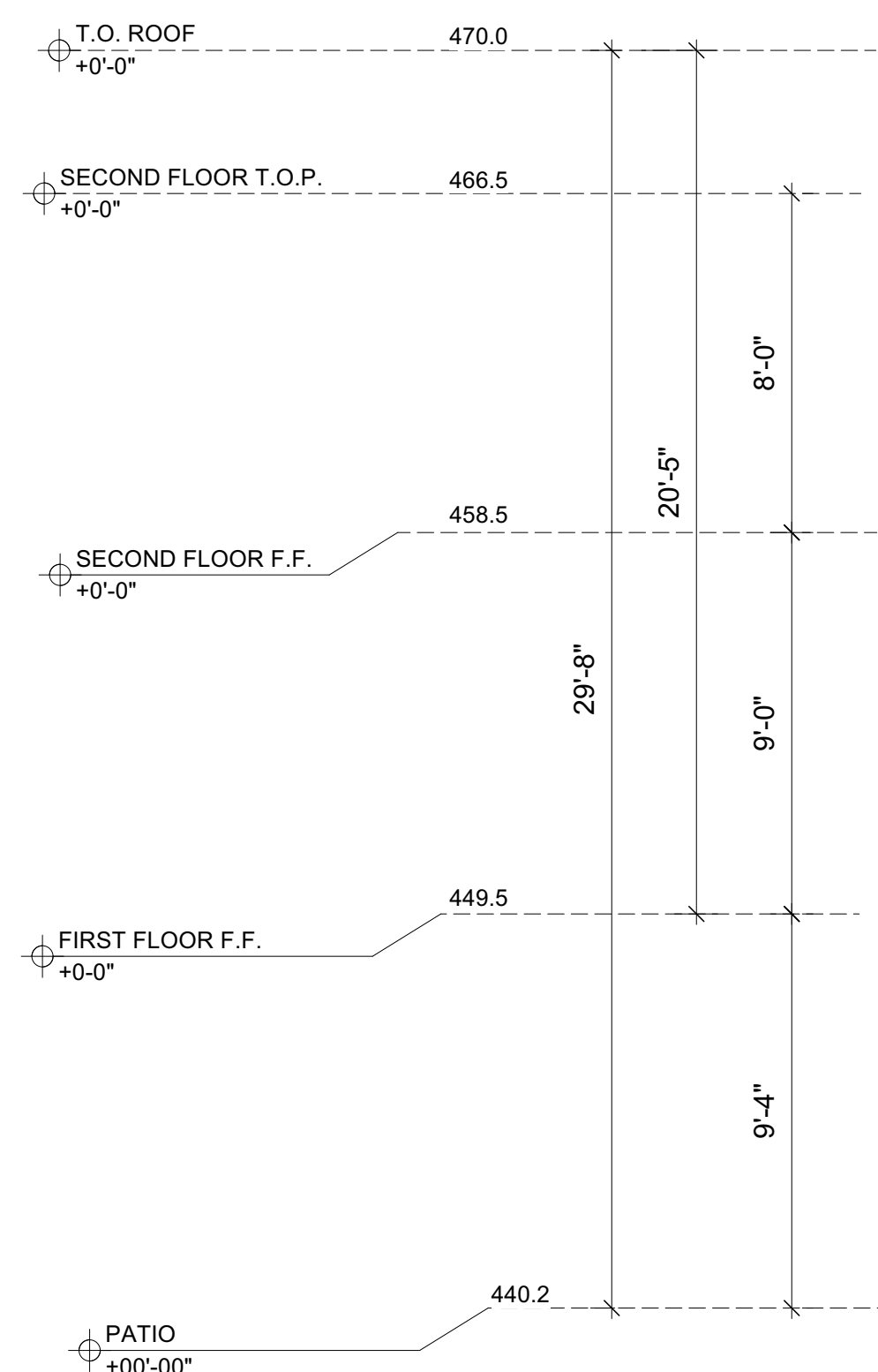
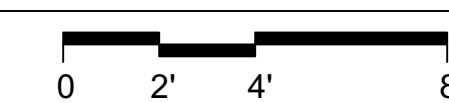
Sheet: _____



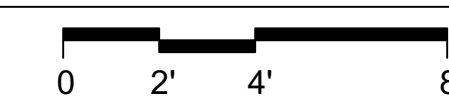
3 EXISTING WEST ELEVATION - NO CHANGE
SCALE: 1/4"=1'-0"

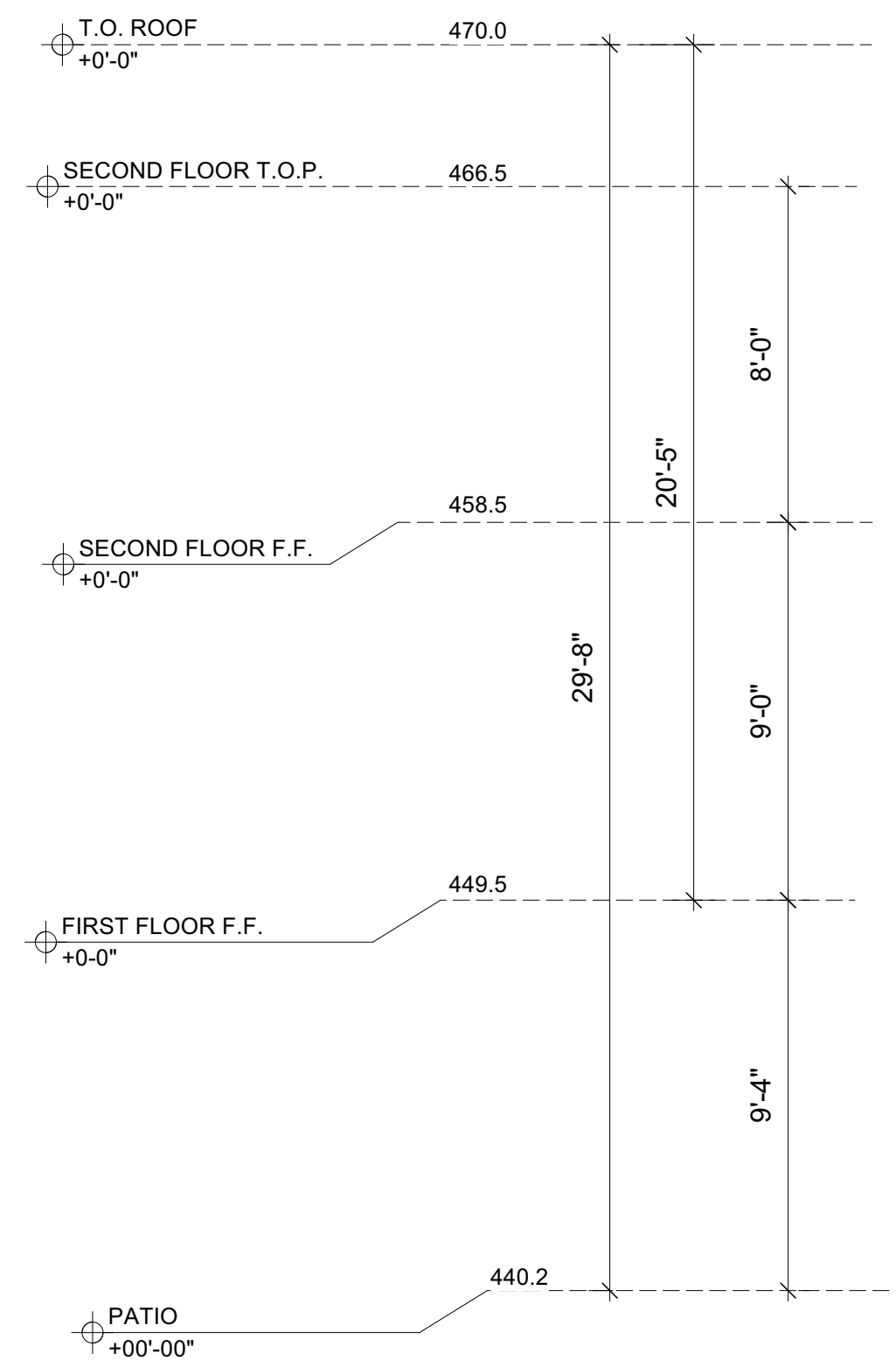


2 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

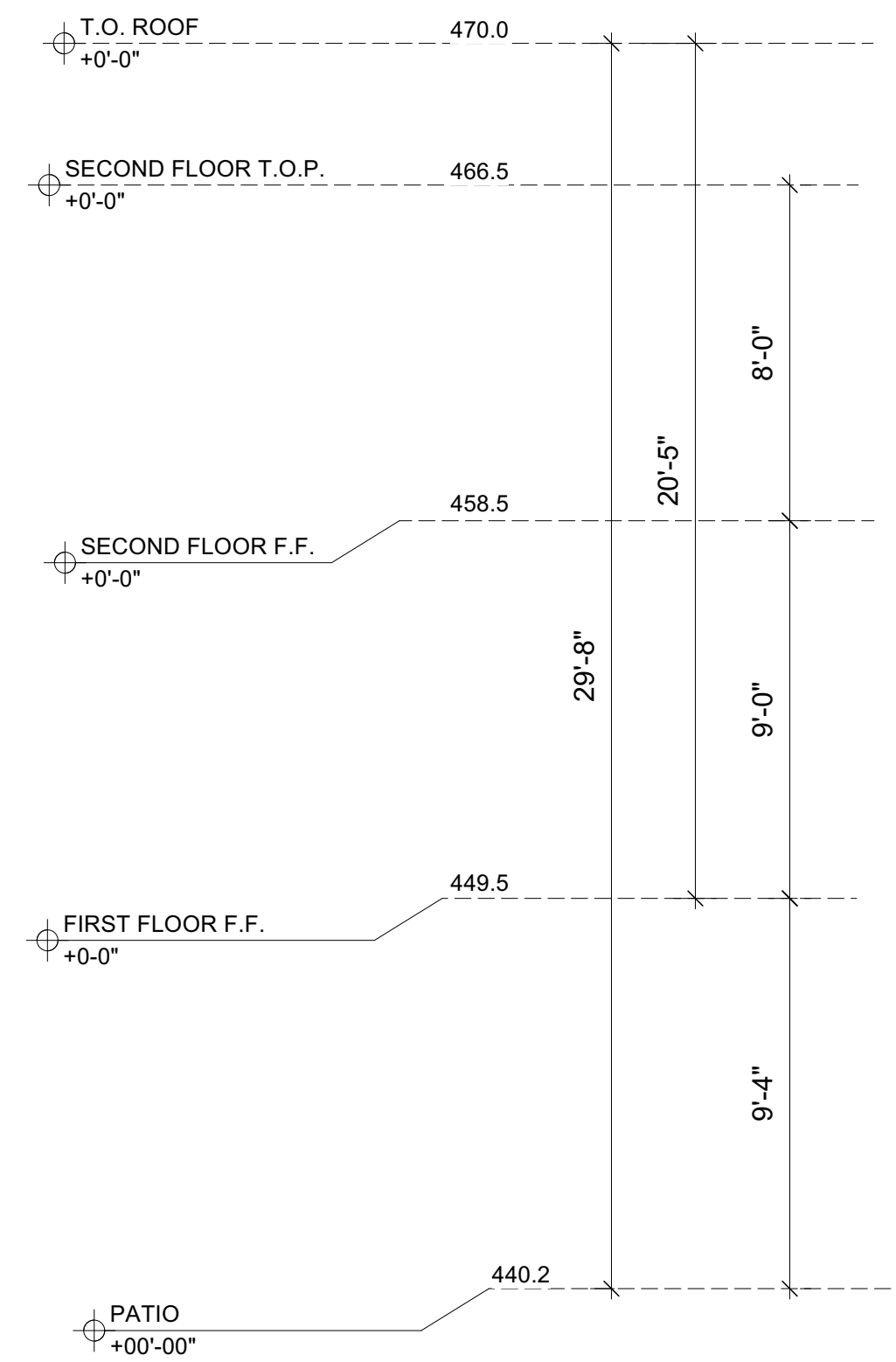


1 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"





2 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

Revisions	Date
△	_____
△	_____
△	_____
△	_____

Addition & Remodel

Job #: _____ FLE24


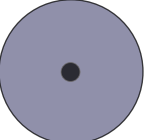

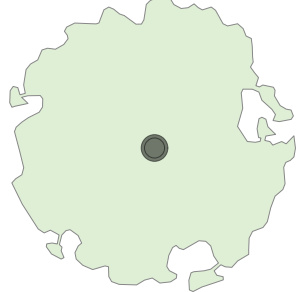
Issue Date: _____ 01.27.2025

Drawn By: _____ se

North Elevations

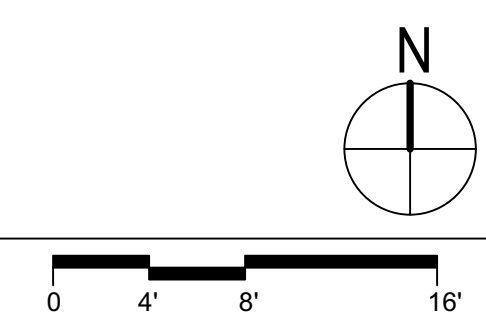
Sheet: _____

NEW PLANT LEGEND

-  ARC - ARCTOSTAPHYLOS 'PACIFIC MIST'
-  COT - COTINUS 'ROYAL PURPLE'
-  GRE - GREVILLEA 'RED HOOKS'
-  CER - CERCIS



1 PROPOSED PLANTING PLAN
SCALE: 1/8"=1'-0"



Approved by: Henry Fleischmann

Signature: 

PLA #5546

CSLB #1046251





Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

	_____
	_____
	_____
	_____

Revisions Date

Architecture

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

**Conceptual Landscape
Plan & Planting Palette**

Sheet :

NOTES:

1. ALL LANDSCAPE PLANS MUST CONFORM TO THE REQUIREMENTS OF THE MARIN MUNICIPAL WATER DISTRICT (MMWD) ORDINANCE 414.

2. ALL EXISTING PLANTS AND TREES TO REMAIN

3.HOME

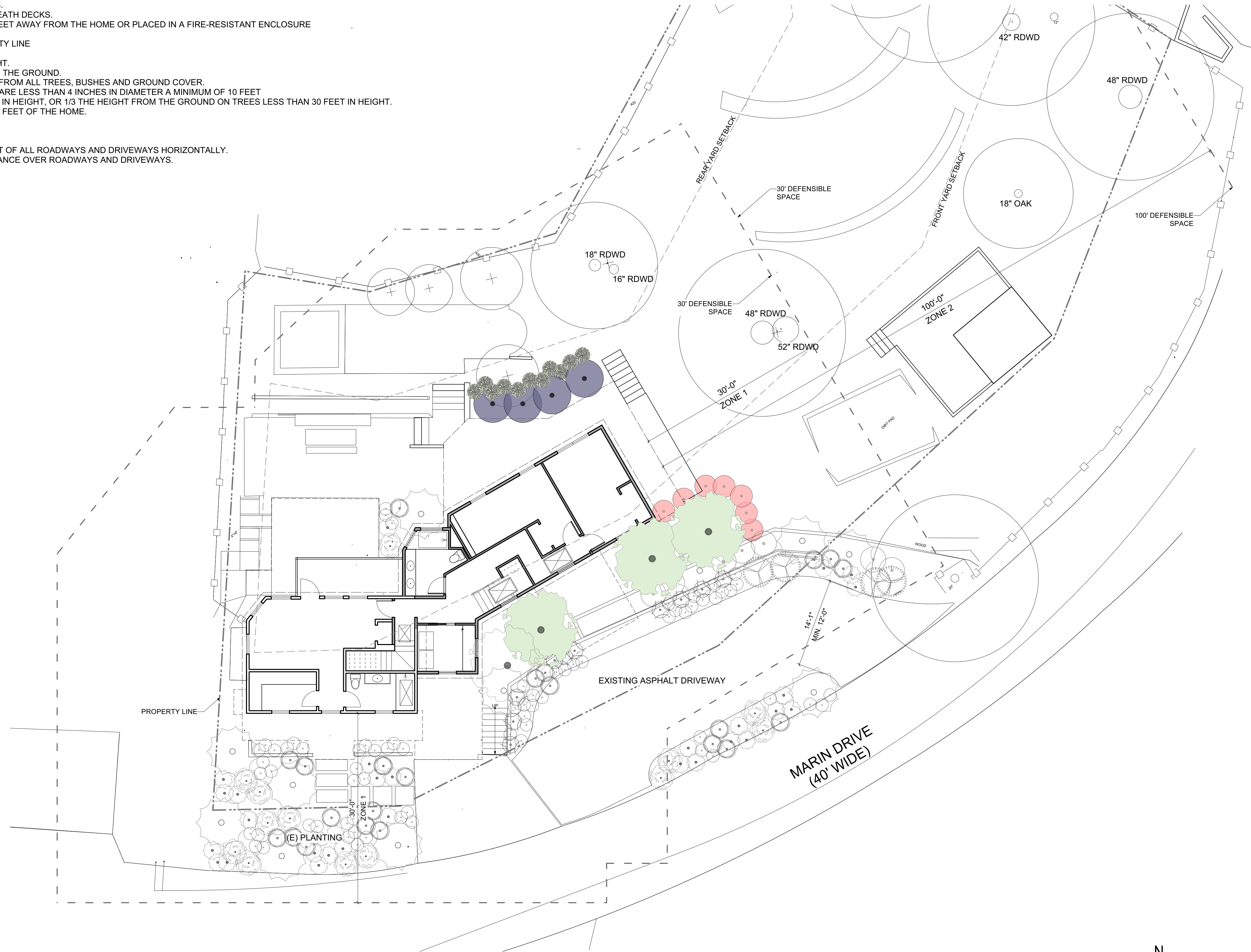
- MAINTAIN ALL ROOFS, GUTTERS, AND DECKS CLEAR OF LEAVES, NEEDLES, AND DEAD VEGETATION.
- REMOVE TREE BRANCHES/LIMBS THAT ARE WITHIN 10 FEET OF A CHIMNEY OUTLET.
- REMOVE ALL TREE BRANCHES AND LIMBS THAT OVERHANG WITHIN 6 FEET (VERTICALLY) OF A ROOFLINE OR DECK.
- REMOVE ALL VEGETATION FROM UNDERNEATH DECKS.
- REMOVE ALL COMBUSTIBLE STORAGE FROM UNDERNEATH DECKS.
- FIREWOOD SHOULD BE RELOCATED TO AT LEAST 30 FEET AWAY FROM THE HOME OR PLACED IN A FIRE-RESISTANT ENCLOSURE

4.FROM THE HOME OUT 100 TO 150 FEET OR TO THE PROPERTY LINE

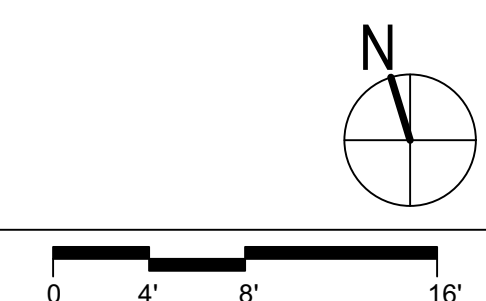
- CUT ALL DEAD GRASSES TO BELOW 3 INCHES IN HEIGHT.
- REMOVE ALL DEAD VEGETATION AND BRUSH PILES ON THE GROUND.
- REMOVE ALL DEAD BRANCHES, LEAVES AND FOLIAGE FROM ALL TREES, BUSHES AND GROUND COVER.
- REMOVE LOW HANGING TREE BRANCHES/LIMBS THAT ARE LESS THAN 4 INCHES IN DIAMETER A MINIMUM OF 10 FEET FROM THE GROUND ON MATURE TREES OVER 30 FEET IN HEIGHT, OR 1/3 THE HEIGHT FROM THE GROUND ON TREES LESS THAN 30 FEET IN HEIGHT.
- REMOVE ALL FIRE PRONE PLANTS LOCATED WITHIN 30 FEET OF THE HOME.

5.ROADWAY AND DRIVEWAYS

- REMOVE ALL FIRE PRONE VEGETATION WITHIN 10 FEET OF ALL ROADWAYS AND DRIVEWAYS HORIZONTALLY.
- MAINTAIN A MINIMUM OF 15 FEET OF VERTICAL CLEARANCE OVER ROADWAYS AND DRIVEWAYS.



1 VEGETATION MANAGEMENT PLAN
SCALE: 1/8"=1'-0"



Approved by: Henry Fleischmann

Signature: _____

PLA #5546

CSLB #1046251

Fleischmann Addition & Remodel
820 Marin Drive
Mill Valley, CA 94941

Owner: Josh & Lauren Fleischmann

820 Marin Drive

Mill Valley CA 94941

(xxx) xxx - xxx

△	_____
△	_____
△	_____
△	_____
Revisions	Date

Addition & Remodel

Job #: _____ FLE24

Issue Date: _____ 01.27.2025

Drawn By: _____ se

Vegetation Management Plan

Sheet :