

PROJECT DESCRIPTION

PROJECT OVERVIEW:
 The proposed project will remove a non-conforming 160 sq ft ADU and replace it with a 463 sq ft ADU that complies with California Wildland-Urban Interface Building Requirements. The southern end of the new ADU will be located approximately 5' north of the existing ADU, creating a safer distance from the main house, and will have a storage loft, bathroom and kitchenette. The exterior walls of the new ADU will be setback 52' from the nearest property line and 75' from the nearest access easement. A pitched roof, not to exceed 21' in height from natural grade, will echo the roof lines of the primary residence, which lies 24' to the southeast, and match its coloring — dark brown exterior siding and gray asphalt roof shingles. The ADU will be serviced by the site's existing septic system which has excess capacity and will be upgraded with a new tank.

PROJECT LOCATION:
 615 Via de la Vista
 Inverness, CA 94937

ZONING CLASSIFICATION: C-RSP-0.33

PROJECT DIRECTORY:

JONATHAN KAPLAN
 OWNER and DESIGNER
 4066 26TH STREET
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 415.866.0717

SYMBOL LEGEND

- — — — — PROPERTY BOUNDARY
- 490 ELEVATION IN FEET
- ① WINDOW OR DOOR NUMBER
- △ NOTES
- * EXTERIOR LIGHT

WUI BUILDING REQUIREMENTS

- California Wildland-Urban Interface (WUI) Building Requirements Chapter 7A Building Materials and Construction Requirements
- Roofing Requirements**
 - Class A fire-rated roof covering required
 - Fire-resistant roof assembly must meet CBC Chapter 15 requirements
 - Spaces between roof covering and roof decking must be firestopped
 - Valley flashings shall be not less than 0.019-inch (0.48 mm) corrosion-resistant metal
 - Roof gutters must be provided with means to prevent accumulation of leaves and debris
 - Exterior Wall Requirements**
 - Exterior wall coverings must be noncombustible or approved fire-resistant materials
 - Acceptable materials include:
 - Concrete or masonry
 - Cement fiber board
 - Stucco
 - Fire-retardant-treated wood
 - Must extend from foundation to roof
 - Joints and gaps must be minimized and protected
 - Vents must be resistant to intrusion of flame and embers
 - Windows and Doors**
 - Exterior glazing must be tempered glass, multilayered glass panels, or glass block
 - Minimum 20-minute fire-rating for exterior doors
 - Weather stripping required around doors
 - Door assemblies in exterior walls must comply with CBC Section 716.8
 - Garage doors must be non-combustible or fire-resistant rated
 - Vents and Openings**
 - All ventilation openings must be covered with 1/4-inch corrosion-resistant metal mesh
 - Attic ventilation openings shall not be located in soffits, cornices, or eaves
 - Gable end and dormer vents must be located at least 10 feet from property lines
 - Decking and Attachments**
 - Decking surfaces must be constructed of:
 - Ignition-resistant materials
 - Heavy timber
 - Approved non-combustible materials
 - Minimum 1-hour fire-resistance rating for underside of appendages
 - Walking surface material must be non-combustible or ignition-resistant
 - Ancillary Buildings and Structures**
 - Applies to structures within 50 feet of main building
 - Must meet same requirements as main structure
 - Includes:
 - Decks
 - Porches
 - Balconies
 - Carports
 - Garages

VICINITY MAP AND DIRECTIONS



PROJECT INFORMATION

	EXISTING	PROPOSED
1. Lot area (sq ft)	57,935	57,935
2. Building area (sq ft)	1,329	1,634
3. Floor area (sq ft)	1,305	1,614
4. Floor Area Ratio	.023	.028
5. Proposed area of additional disturbance (sq ft)		935
6. Lot coverage- Pervious (sq ft)	56,901	56,123
7. Lot coverage - Impervious (sq ft)	1,034	1,813
8. Grading calculations (cubic yards)		
Cut		11
Fill		14
Off-haul		0
9. Existing and proposed parking spaces	3	3
10. Min. setbacks for proposed building exterior walls (ft)		
Nearest property line		52
Nearest access easement		75
Nearest utility easement		33
11. Max height of proposed building area (ft)		19' 10"

DRAWING INDEX

- ARCHITECTURAL AND PLANNING:**
- A1 COVER SHEET
 - A2 SITE PLAN, UTILITIES, LANDSCAPING
 - A3 PROPOSED ADU FLOOR PLAN AND SECTIONS
 - A4 PROPOSED ADU ELEVATIONS, COLORS AND MATERIALS
 - A5 EXISTING PRIMARY HOUSE AND EXISTING ADU FLOOR PLANS
 - A6 EXISTING PRIMARY HOUSE AND EXISTING ADU ELEVATIONS

GENERAL NOTES

- USE EXTREME CAUTION WHEN DEMOLISHING ADJACENT TO EXISTING TO REMAIN ELEMENTS. PROVIDE STRUCTURAL SUPPORT AS NECESSARY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOSS AND DAMAGE TO THESE ITEMS.
- "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS NOTED "TYP." ARE NOT KEYED IN EVERY CONDITION.
- "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION.
- CONTRACTOR SHALL INSPECT EXISTING CONDITIONS, WHICH AFFECT THE WORK SHOWN, AND SHALL NOTIFY OWNER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH OR DIFFER FROM THE NEW WORK SHOWN. CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THESE CONFLICTS AND DIFFERENCES ARE RESOLVED.
- THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE CONDUCT OF THE WORK, INCLUDING CONSTRUCTION METHODS AND PROCEDURES; SITE SAFETY; AND METHODS, DESIGN, AND MATERIALS FOR TEMPORARY VERTICAL AND LATERAL SUPPORT OF EXISTING AND NEW STRUCTURES.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS.
- DO NOT SCALE DRAWINGS. IN CASE OF CONFLICT, NOTIFY THE OWNER. FLOOR PLAN BY OWNER SUPERSEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.
- THE WORK SHALL COMPLY WITH APPLICABLE STATE AND COUNTY BUILDING CODES.
- GENERAL CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF STAGING AREA, AND TO ENSURE THAT MATERIALS DELIVERY AND STORAGE DOES NOT INTERFERE WITH DAILY OPERATION OF ADJACENT PROPERTIES.
- CONTRACTOR SHALL VERIFY ALLOWABLE WORK HOURS FOR DELIVERIES AND WASTE REMOVAL.
- FINISH MATERIALS SHALL BE STORED AND ACCLIMATED TO THE PROPER ENCLOSED CONDITIONS AS SPECIFIED BY THE MANUFACTURER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY AND FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR, WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

Defensible Space R requirements

- Zone 1 (0-30 feet from structures)**
 - Remove all dead vegetation
 - Remove leaf litter from roof and gutters
 - Trim tree branches minimum 10 feet from chimney
 - Remove combustible materials from under decks
 - Relocate woodpiles outside this zone
 - Regular maintenance required
- Zone 2 (30-100 feet from structures)**
 - Cut grass to maximum 4 inches
 - Create horizontal spacing between shrubs and trees
 - Create vertical spacing between grass, shrubs, and trees
 - Remove fallen leaves, needles, twigs, bark, cones, and small branches

Documentation Requirements

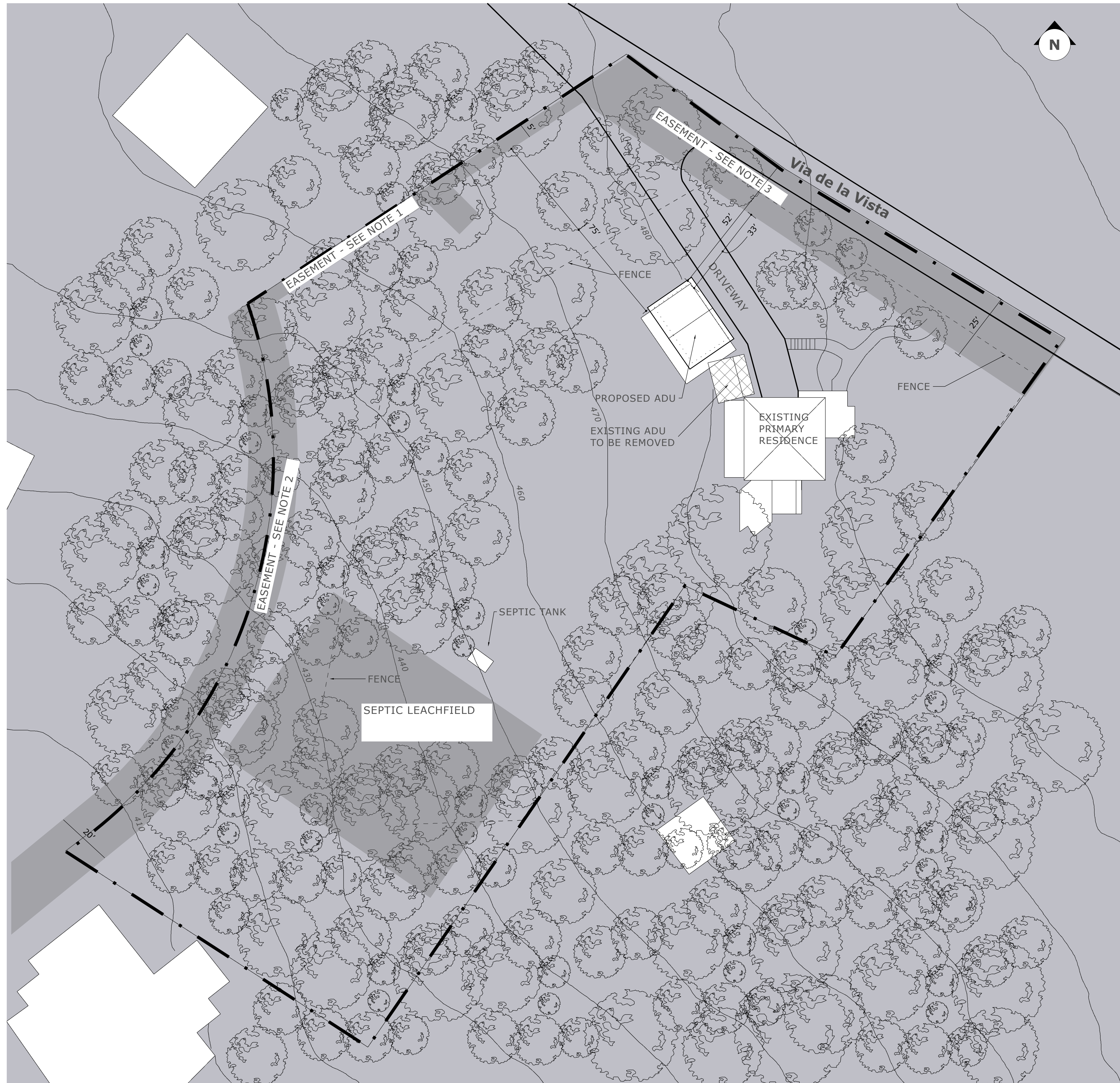
- Building Plans Must Include**
 - Materials schedule showing all exterior materials
 - Details for all exterior assemblies
 - Ventilation locations and specifications
 - Defensible space plan
 - Site plan showing all zones and vegetation management
- Maintenance Documentation**
 - Annual inspection requirements
 - Maintenance schedule for defensible space
 - Documentation of materials used in construction
 - Replacement requirements for fire-resistant materials

Compliance and Inspection

- Initial Inspection Requirements**
 - Plans review by local building department
 - Site inspection before construction
 - Inspection during construction
 - Final inspection before occupancy
- Ongoing Compliance**
 - Annual defensible space inspection
 - Maintenance of fire-resistant materials
 - Documentation of any modifications
 - Regular cleaning of gutters and roofs

Special Considerations

- Local Jurisdiction Requirements**
 - Additional requirements may be imposed by local fire authorities
 - More stringent standards may apply in very high fire hazard severity zones
 - Local amendments to basic requirements must be followed
- Alternative Materials**
 - Must be approved by local building official
 - Testing documentation required
 - Performance requirements must meet or exceed standard materials
 - Regular inspection may be required
- Historic Buildings**
 - Special considerations for historic preservation
 - Alternative methods of compliance may be allowed
 - Must maintain fire safety while preserving historic character

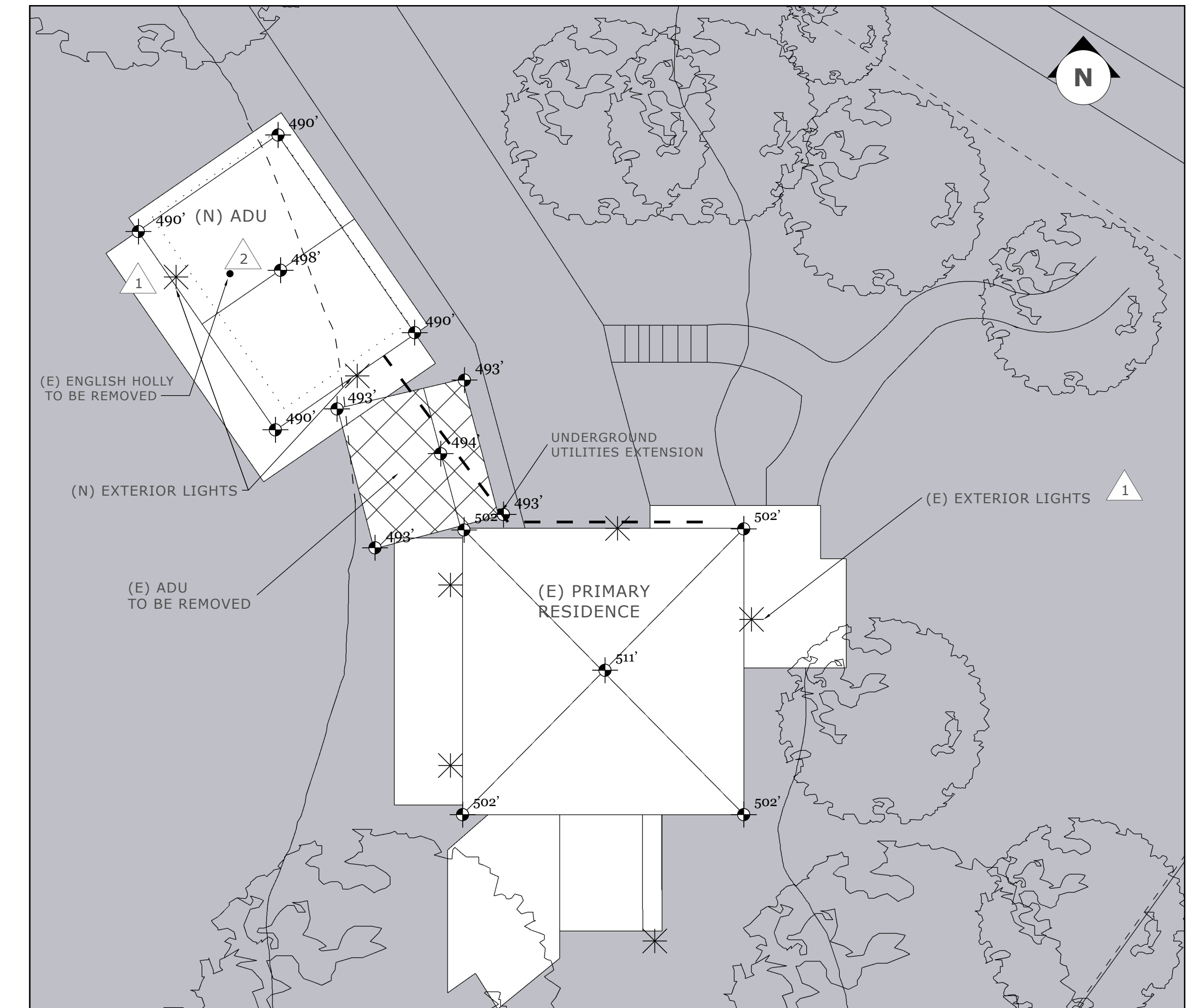


1. SITE PLAN

SCALE: 1" = 20'

NOTES

1. 5' WIDE EASEMENTS FOR UTILITIES AND PEDESTRIAN INGRESS AND EGRESS (280, 282, AND 2722-471); 10' X 20' WIDE EASEMENT FOR SEPTIC LEACHING FROM NEIGHBORING LOT TO THE NE (2628-698).
2. 20' WIDE EASEMENTS FOR EGRESS, INGRESS AND PUBLIC UTILITIES (2593-278, 280 AND 282).
3. 25' WIDE EASEMENT FOR PUBLIC ROADWAY AND PUBLIC UTILITIES.



2. SITE PLAN - FOCUS AREA

SCALE: 1" = 10'

NOTES

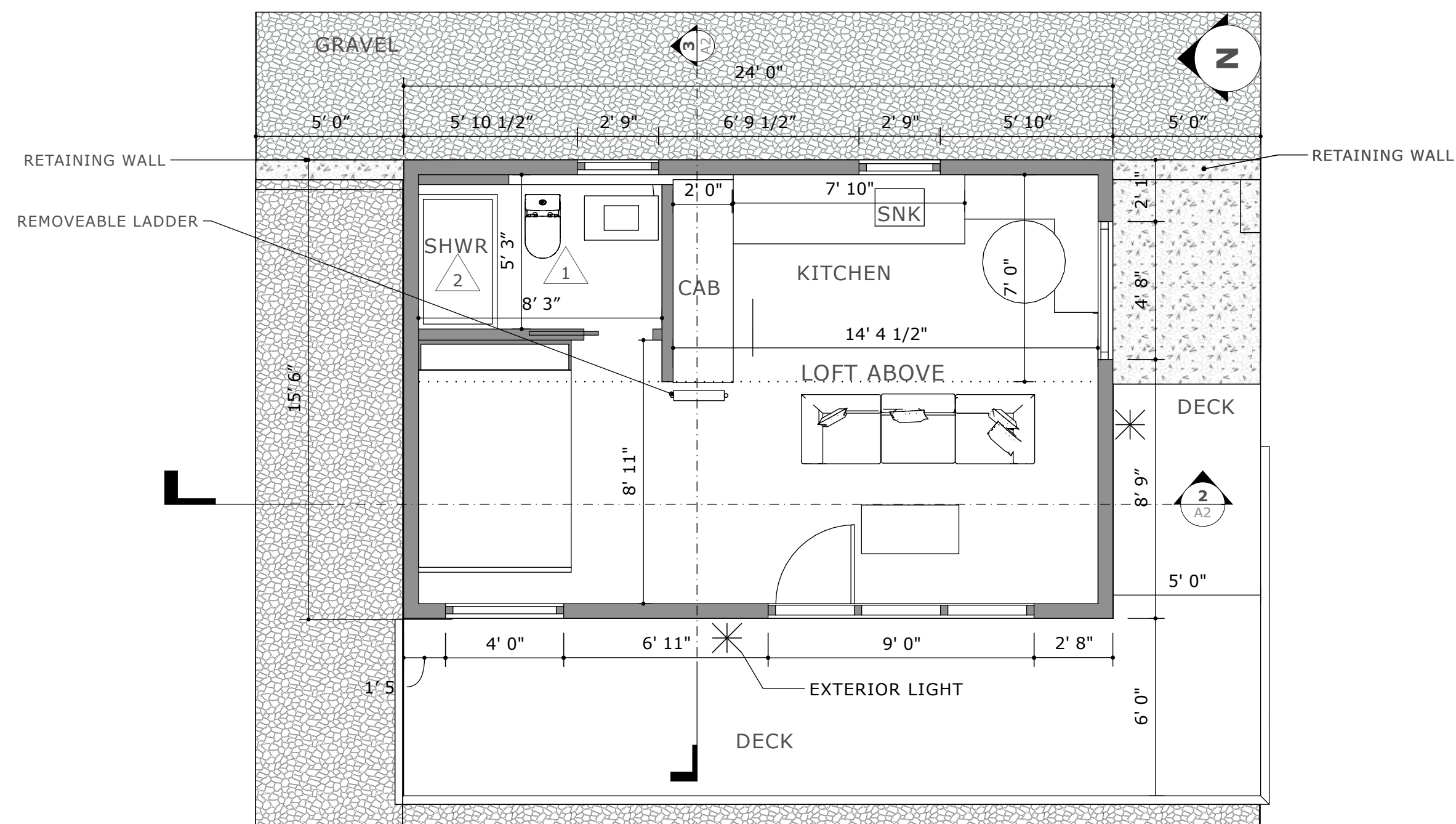
1. TWO NEW LED EXTERIOR LIGHTS (580 LUMENS) WILL BE MOUNTED ON THE (N) ADU W/ MOTION/DAYTIME SENSORS. EXISTING OUTDOOR LIGHTS ON PRIMARY RESIDENCE ALSO SHOWN ON DRAWING #2.
2. (E) ENGLISH HOLLY TO BE REMOVED. SEE LANDSCAPE PLAN BELOW.

3. UTILITIES PLAN

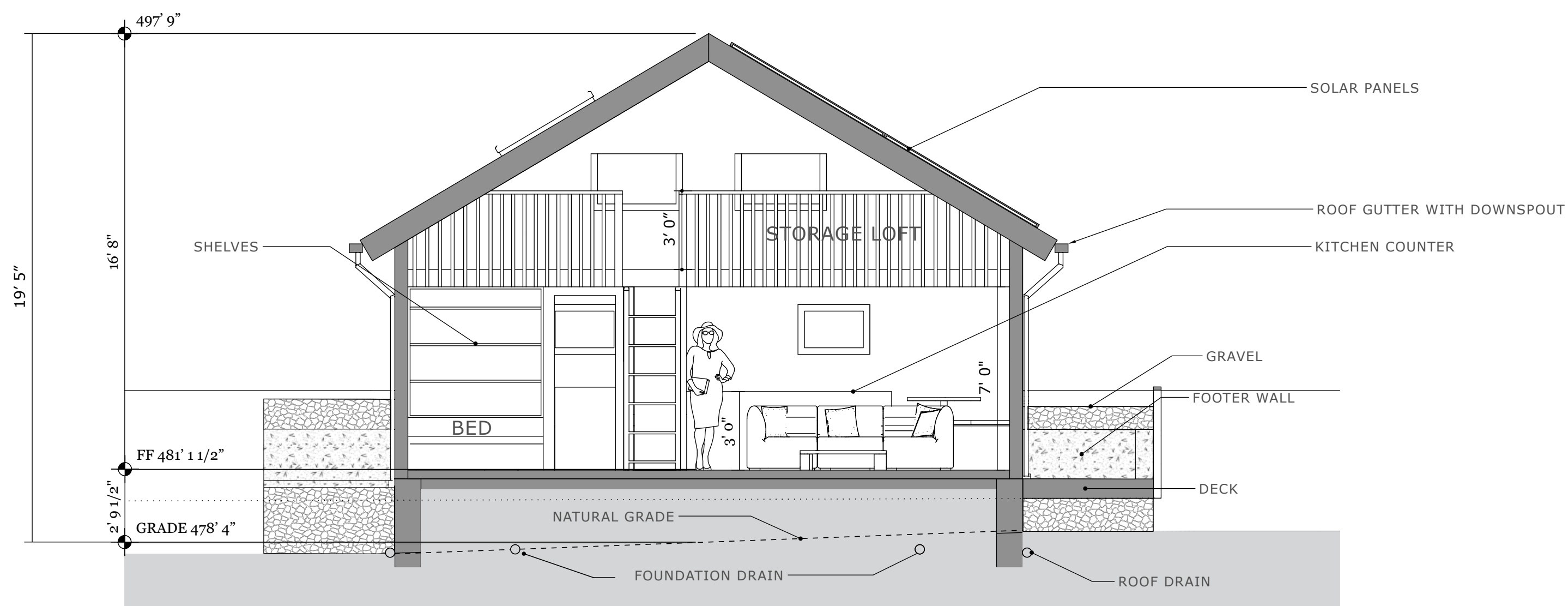
RUN A NEW UTILITIES EXTENSION (WATER, POWER AND DATA) FROM THE PRIMARY RESIDENCE TO THE (N) ADU UNDERGROUND AT LOCATION INDICATED IN DRAWING #2.

4. LANDSCAPE PLAN

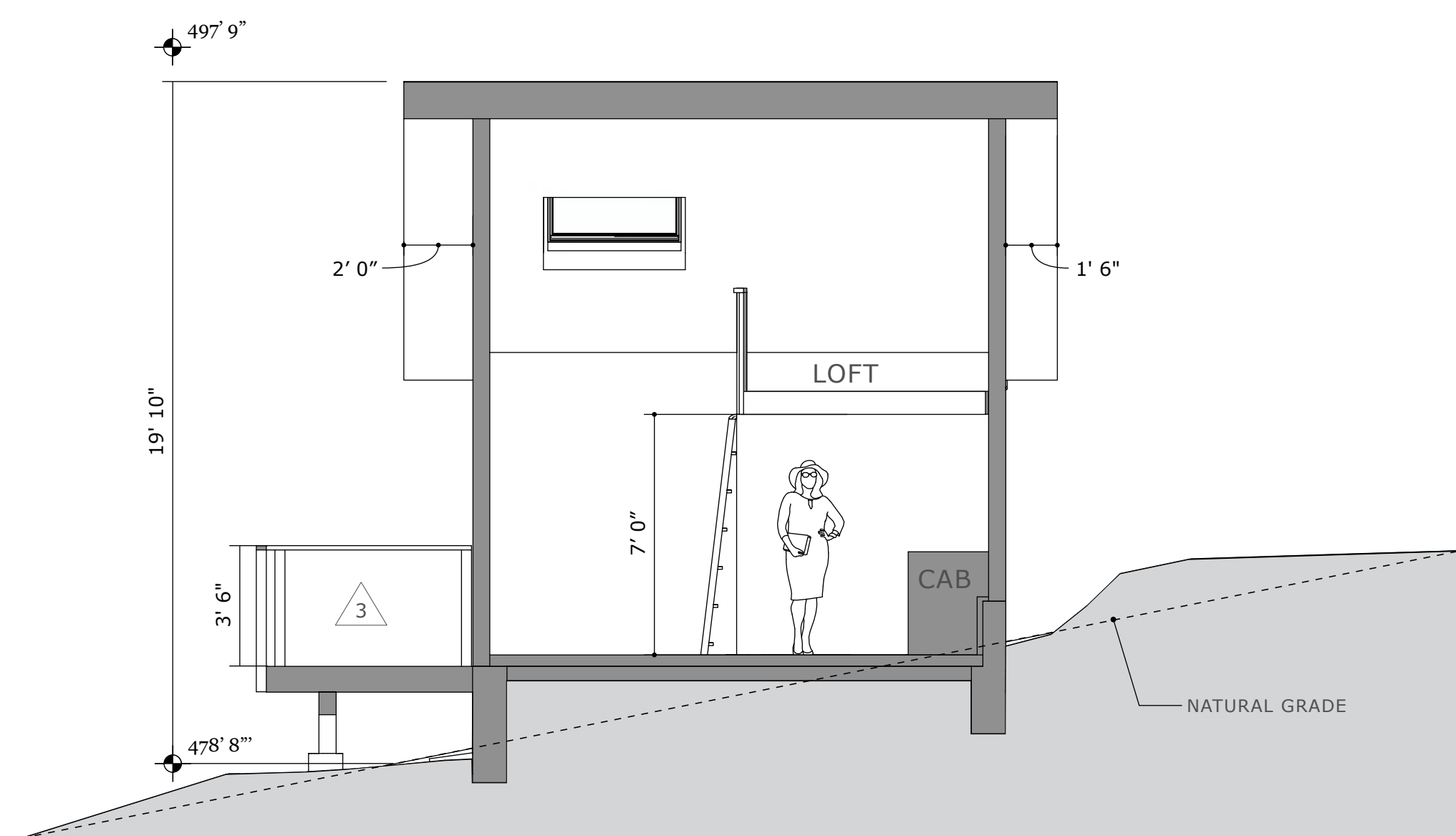
REMOVE AN INVASIVE ENGLISH HOLLY (*Ilex aquifolium*, TRUNK APPROX 8" DIAMETER) STANDING APPROXIMATELY 18' NNW OF THE NW CORNER OF THE (E) ADU. FILL IN CUT LEFT FROM (E) ADU.



1. GROUND FLR PLAN (SCALE: 1/4" = 1')



2. SECTION A (SCALE: 1/4" = 1')

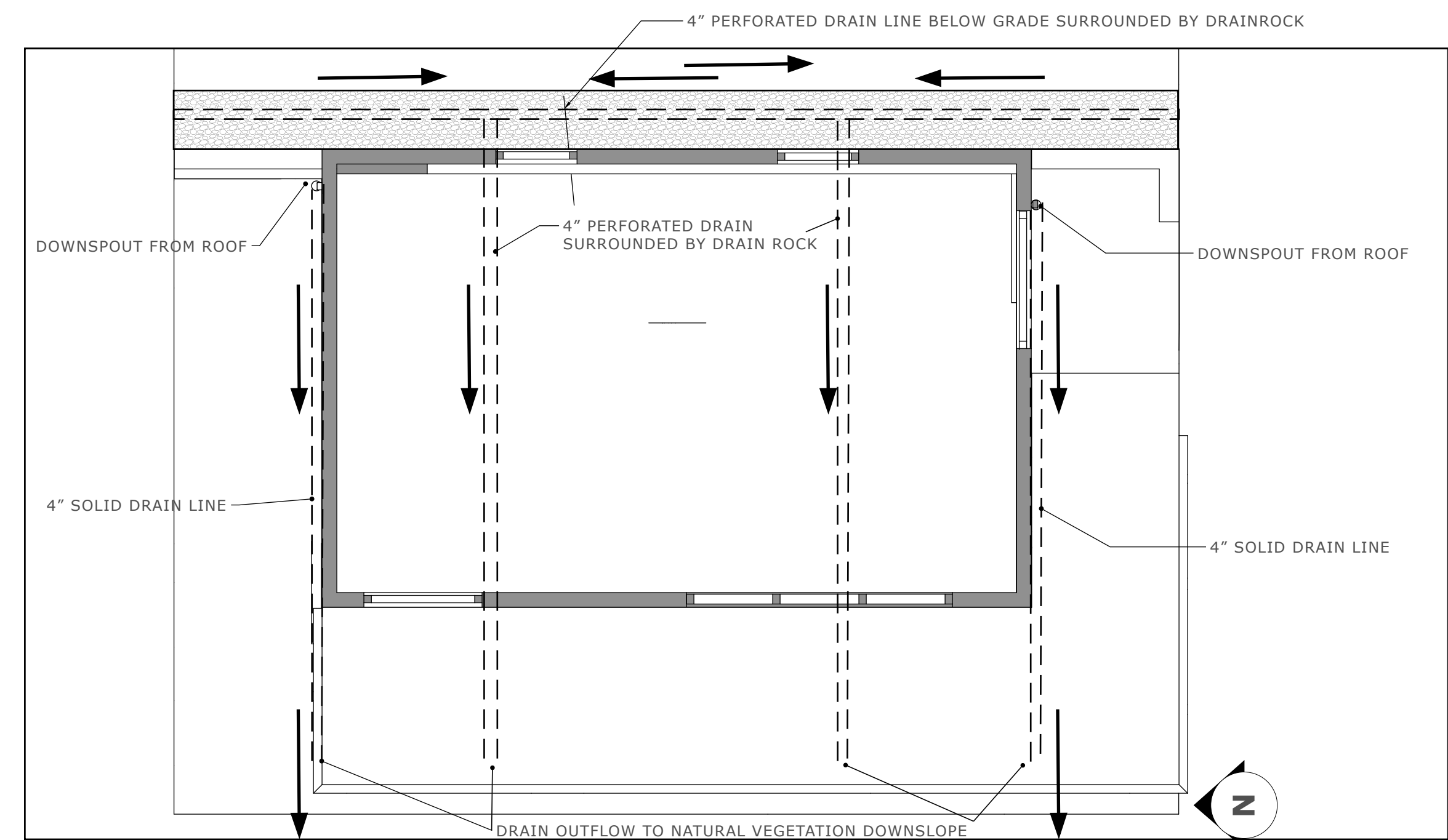


3. SECTION B (SCALE: 1/4" = 1')

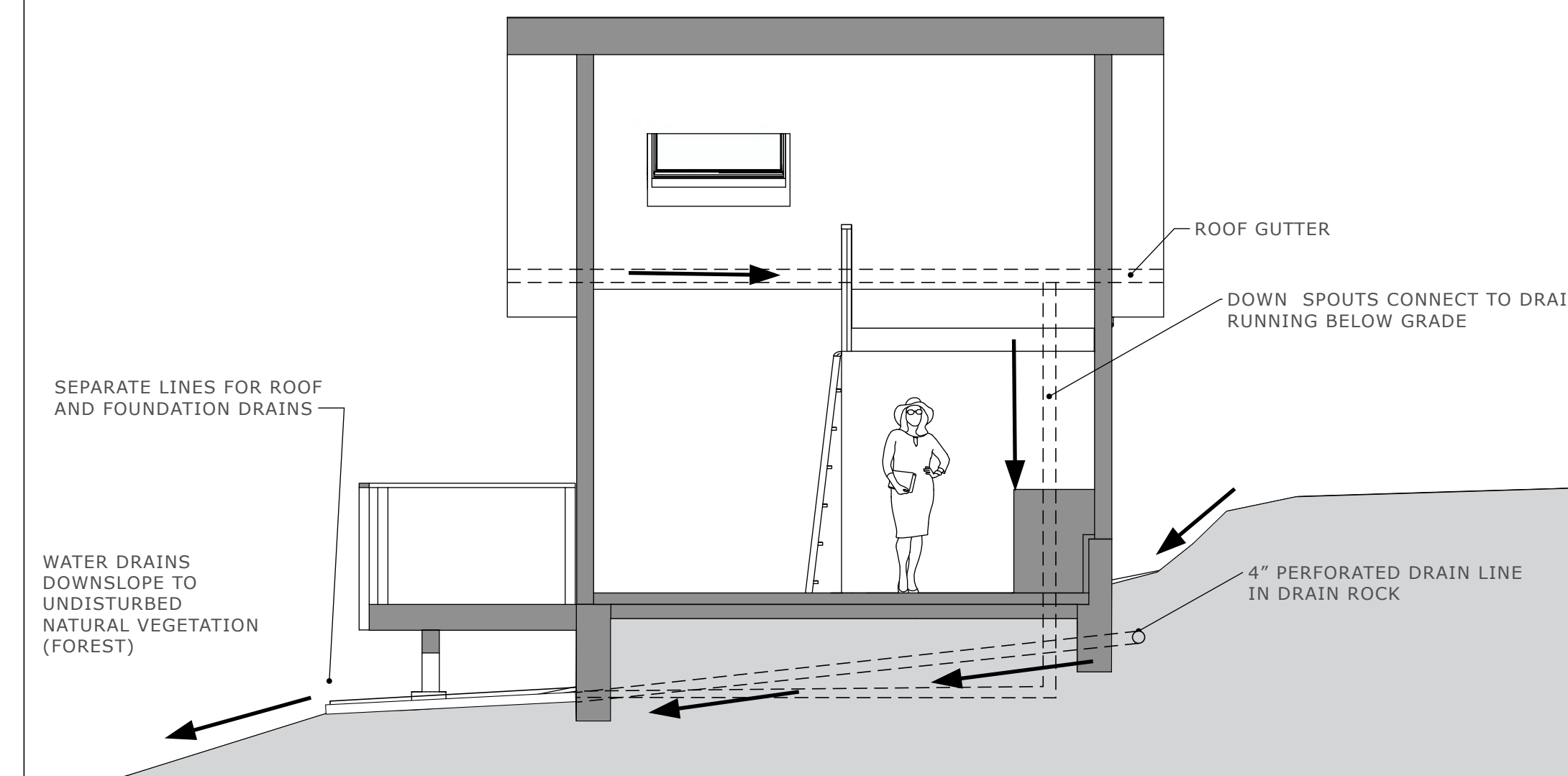
NOTES

1. MAINTAIN AT LEAST 15" ON EITHER SIDE OF TOILET FROM CENTERLINE OF TOILET TO VANITY AND SHOWER. ENSURE AT LEAST 24" CLEARANCE IN FRONT OF TOILET.
2. INSTALL SHOWER CURTAIN OR ENSURE 22" MIN. CLEARANCE IN FRONT OF OUTSWING SHOWER DOOR.
3. DECK RAILING FRAMES TO BE FILLED WITH HOGWIRE (NOT SHOWN).

4. DRAINAGE PLAN (SCALE: 1/4" = 1')

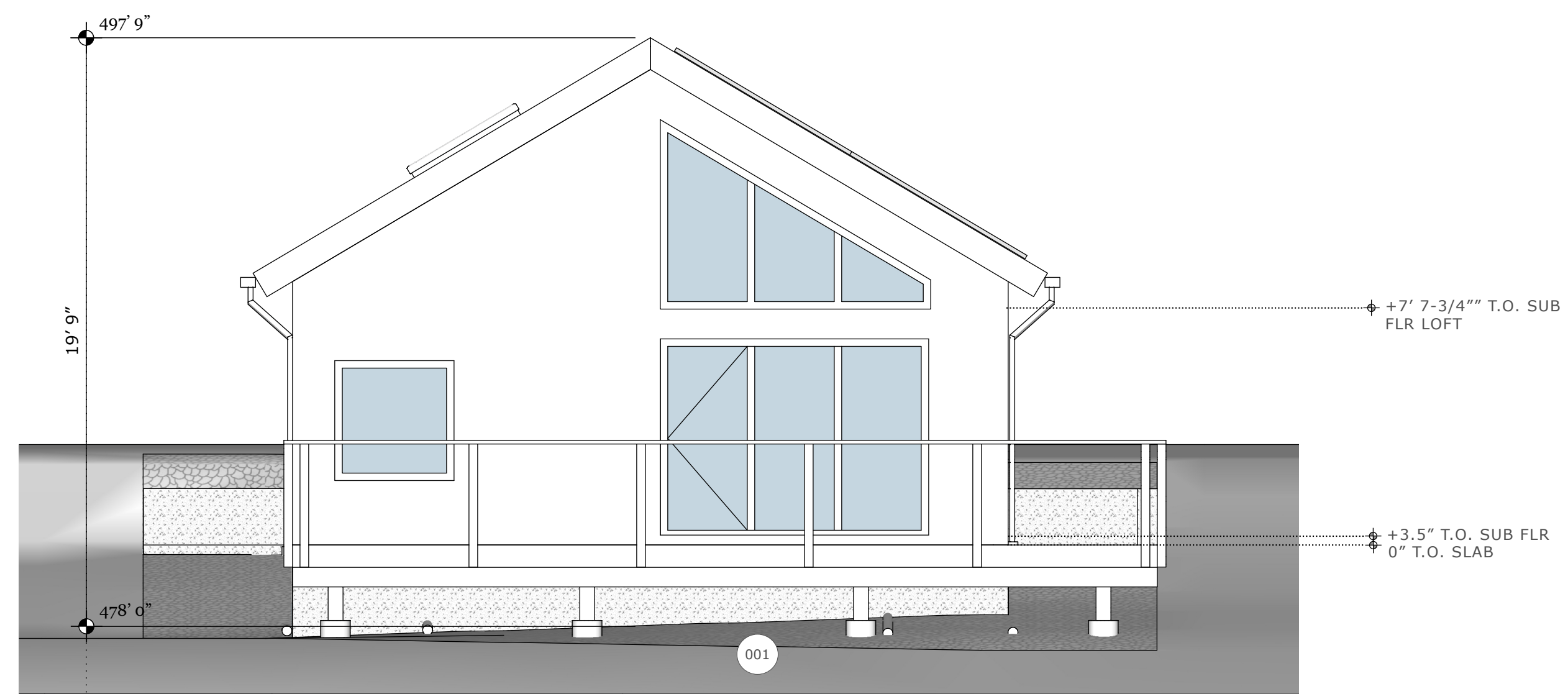


4. GROUND FLR – DRAINAGE FOCUS

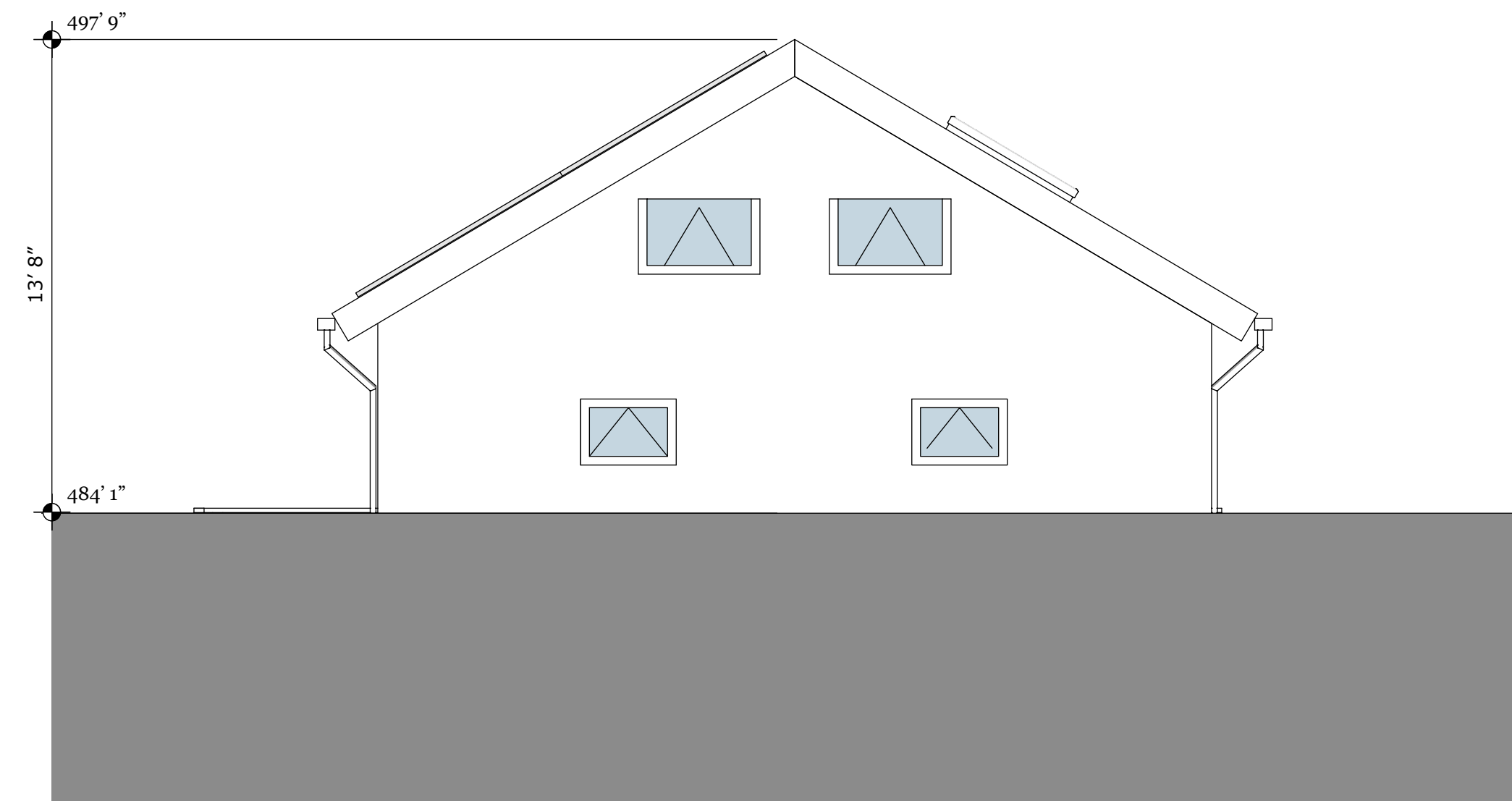


5. SECTION B - DRAINAGE FOCUS

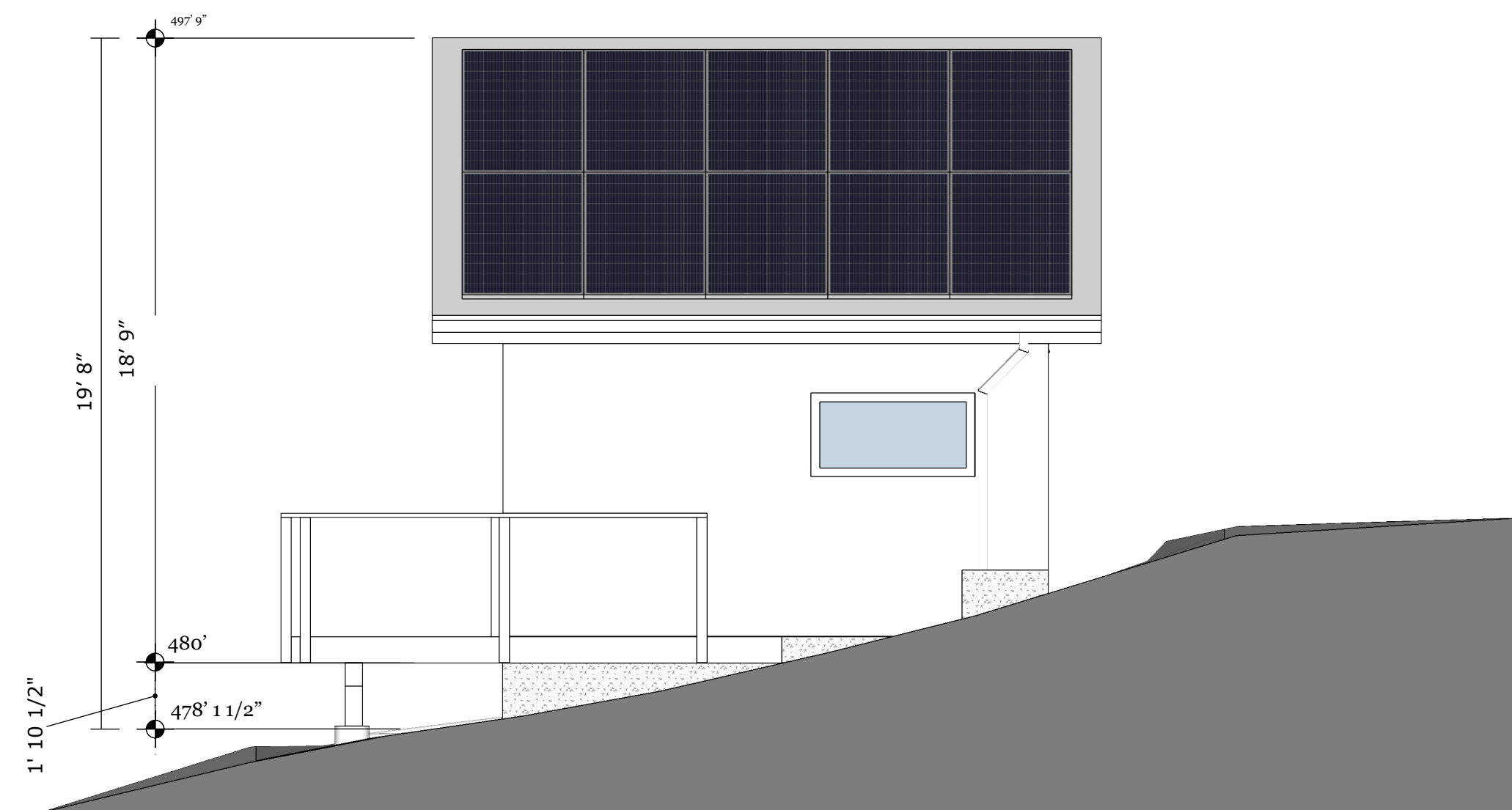
ROOF DRAINAGE: WATER IS CAPTURED IN ROOF GUTTERS ON NORTH AND SOUTH ELEVATIONS AND DIRECTED TO DOWNSPOUTS AND SUBTERRANEAN DRAINS THAT FLOW WEST INTO INTO NATURAL UNDISTURBED VEGETATION. FOUNDATION AND RETAINING WALL DRAINS: A 4" PERFORATED DRAIN SURROUNDED BY DRAIN ROCK RUNS ALONG THE BOTTOM OF THE RETAINING WALL ON THE EAST SIDE AND DRAINS TO WEST VIA TWO DEDICATED LINES RUNNING UNDER THE STRUCTURE. ROOF AND FOUNDATION DRAINS ON ARE SEPARATE LINES. DRAIN OUTLETS ON SPLASH BLOCKS (NOT SHOWN).



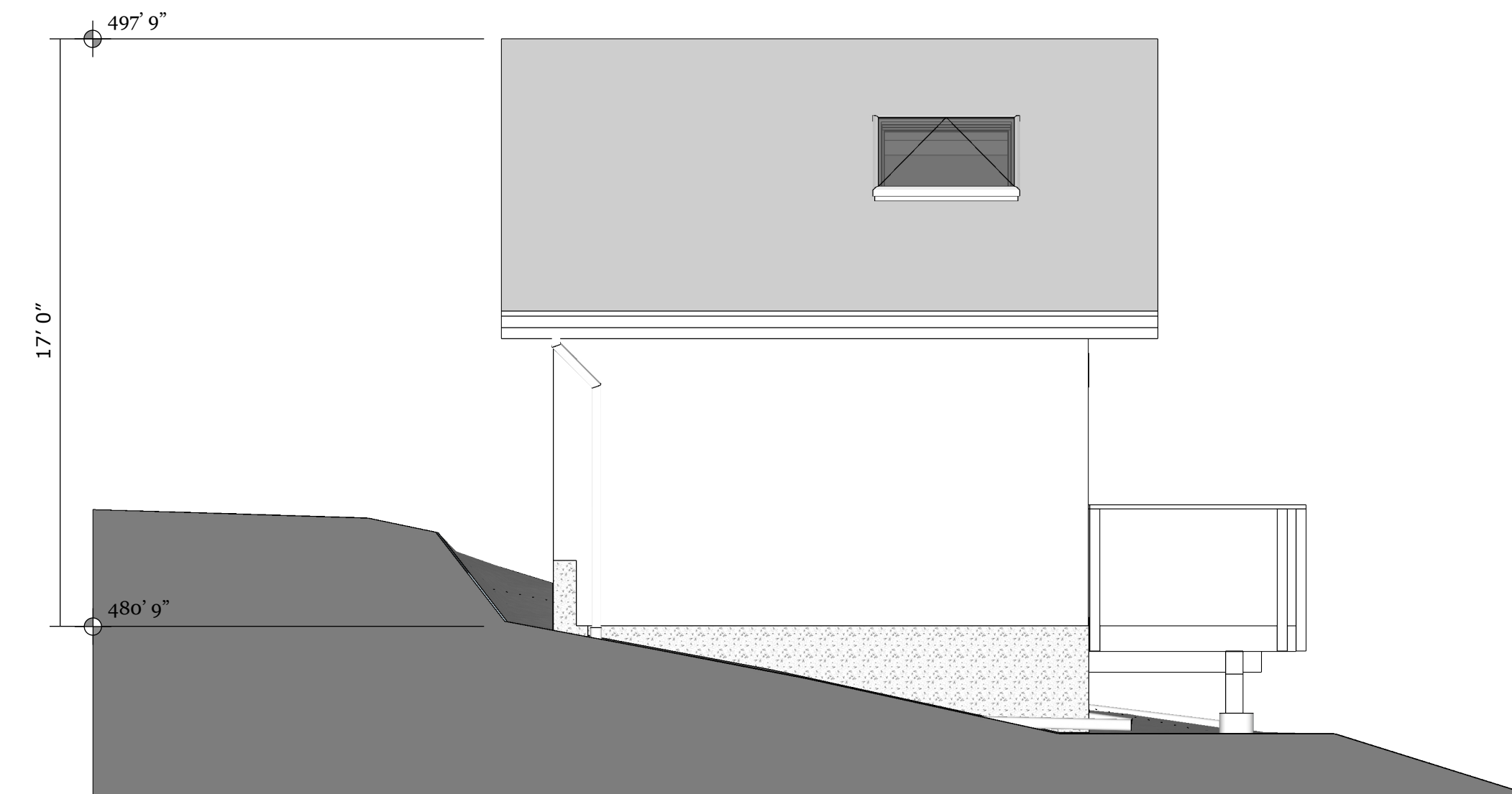
1. WEST ELEVATION
SCALE: 1/4" = 1'



3. EAST ELEVATION
SCALE: 1/4" = 1'



2. SOUTH ELEVATION
SCALE: 1/4" = 1'

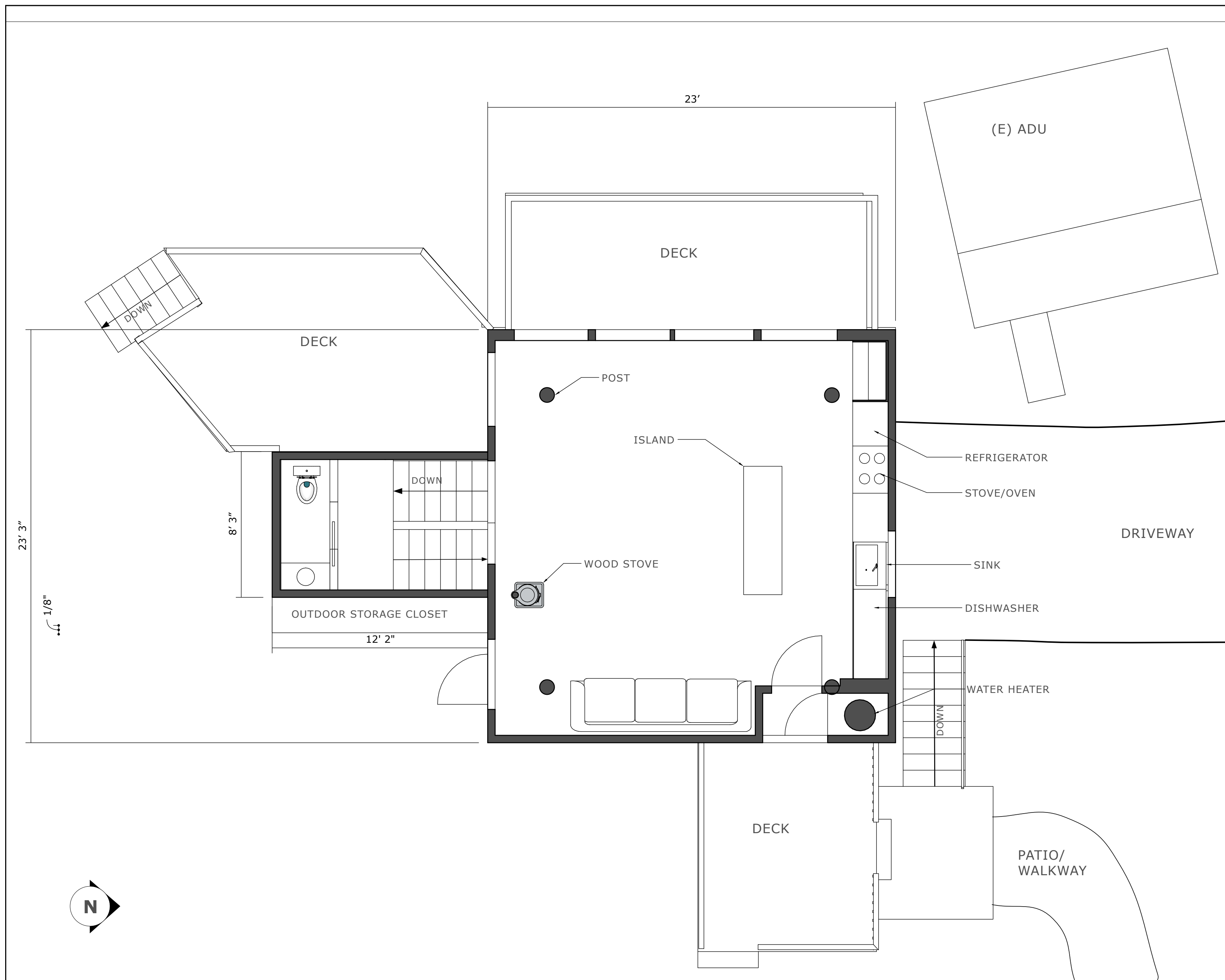


4. NORTH ELEVATION
SCALE: 1/4" = 1'

5. MATERIALS, COLORS AND DETAILS

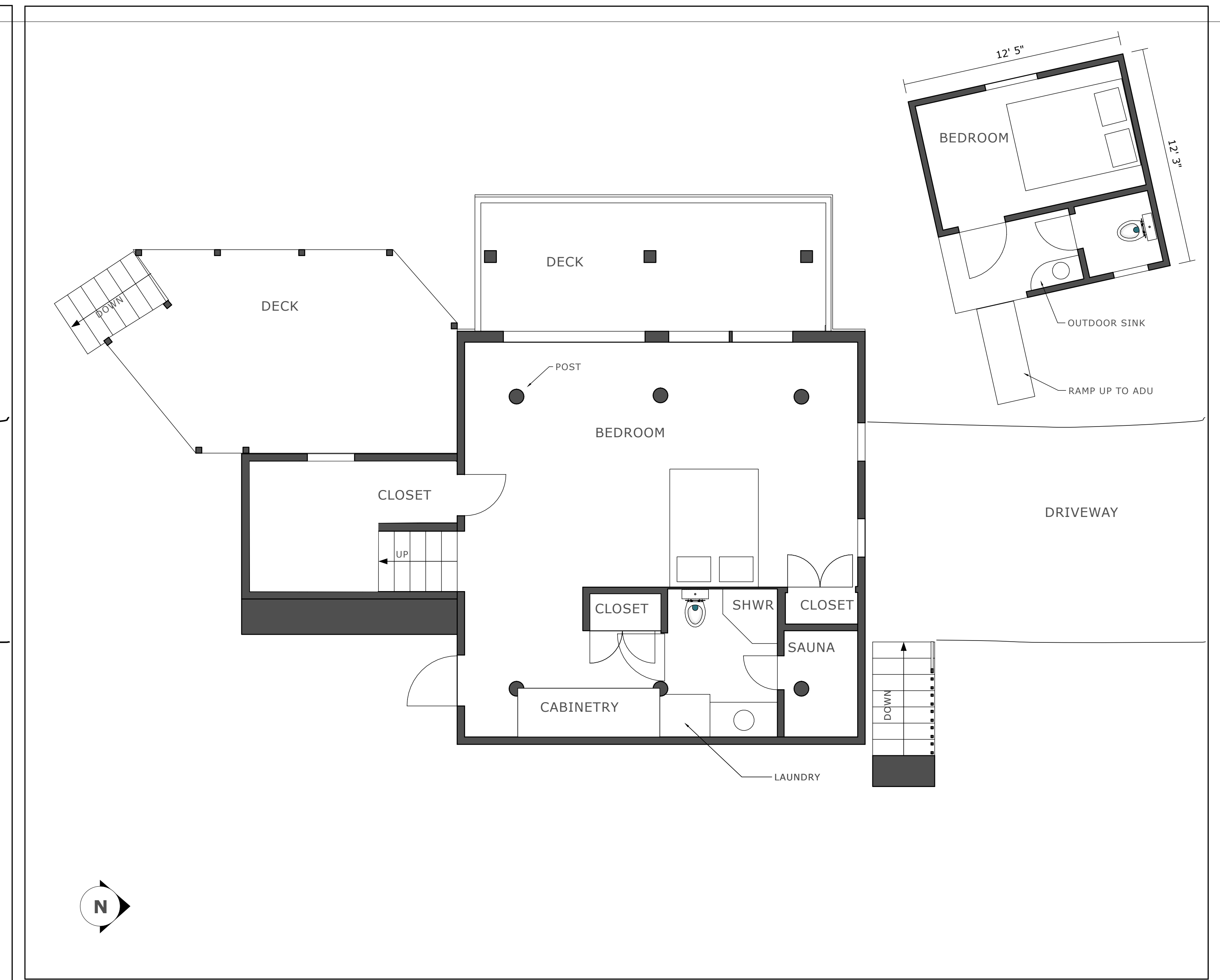
CEMENT FIBERBOARD WILL BE USED FOR EXTERIOR SIDING INSTALLED IN A TRADITIONAL BOARD AND BATTEN STYLE. COLOR WILL BE DARK BROWN TO MATCH PRIMARY RESIDENCE (APPROX PANTONE 7532C). EXTERIOR WINDOW AND DOORS WILL BE CLAD IN ALUMINUM AND POWDERCOATED TO MATCH.





1. (E) PRIMARY HOUSE AND (E) ADU - UPPER LVL FLOOR PLAN

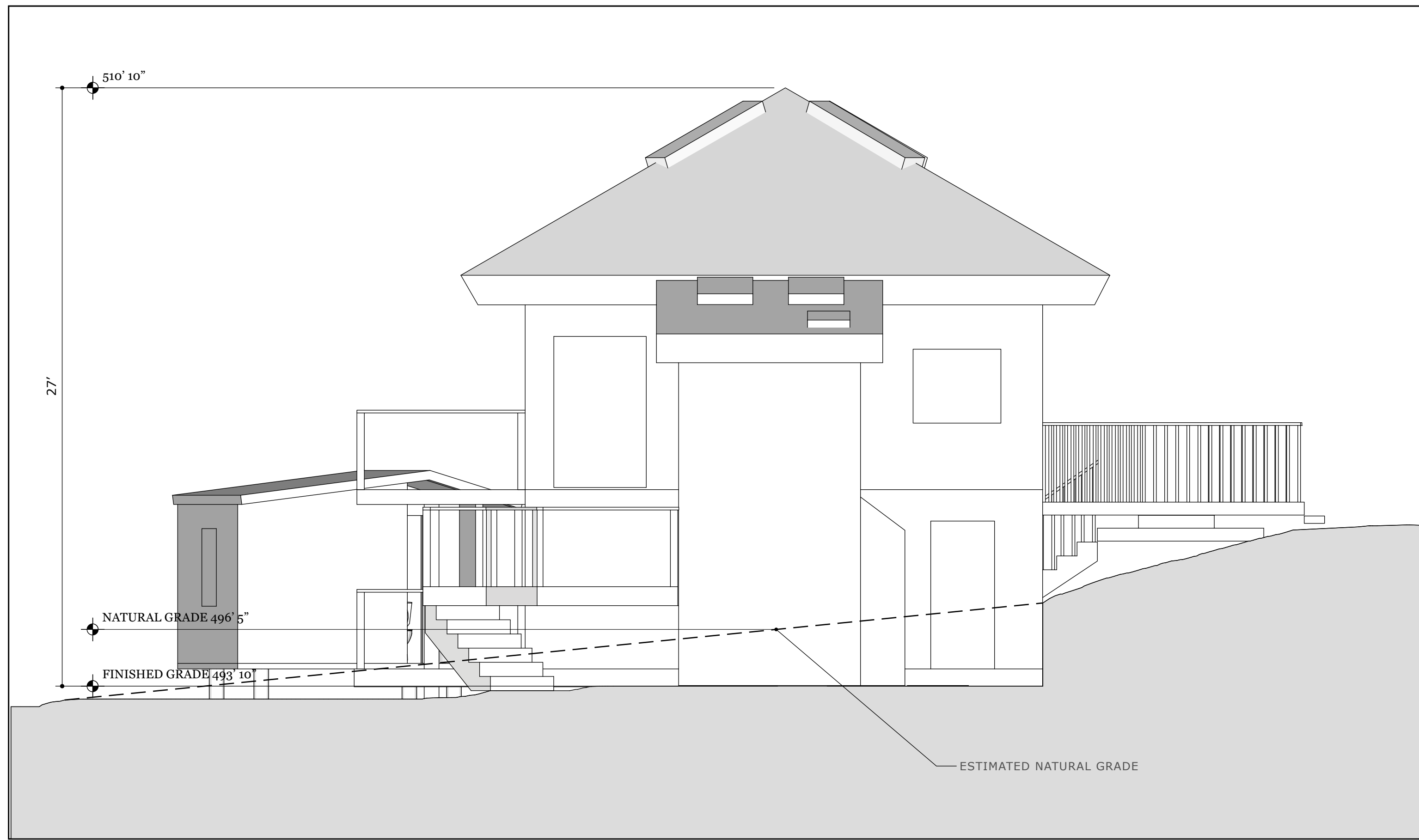
SCALE: 1/4" = 1'



2. (E) PRIMARY HOUSE AND (E) ADU - LOWER LVL FLOOR PLAN

SCALE: 1/4" = 1'

JONATHAN KAPLAN



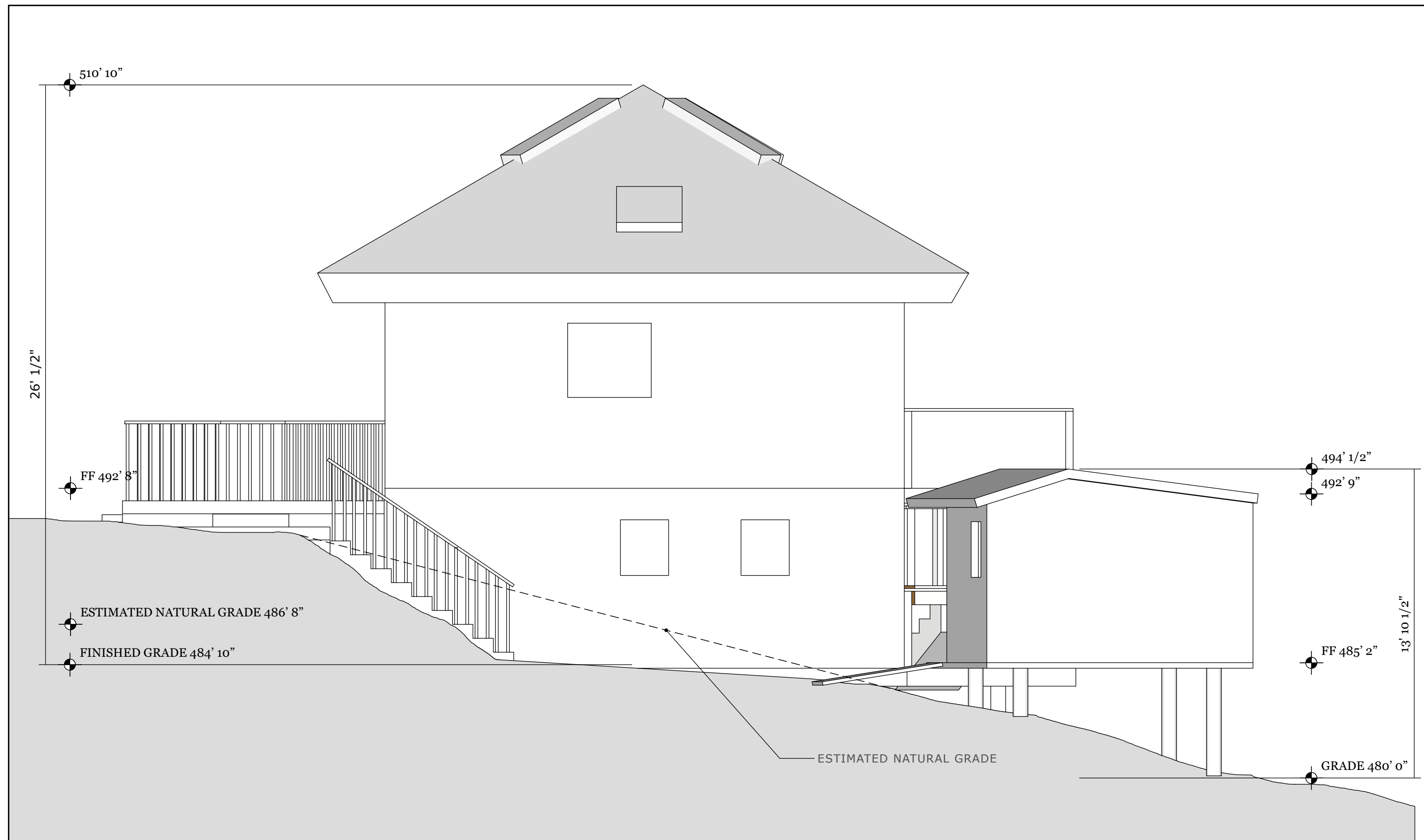
1. (E) PRIMARY HOUSE AND (E) ADU - NORTH ELEVATION

SCALE: 1/4" = 1'



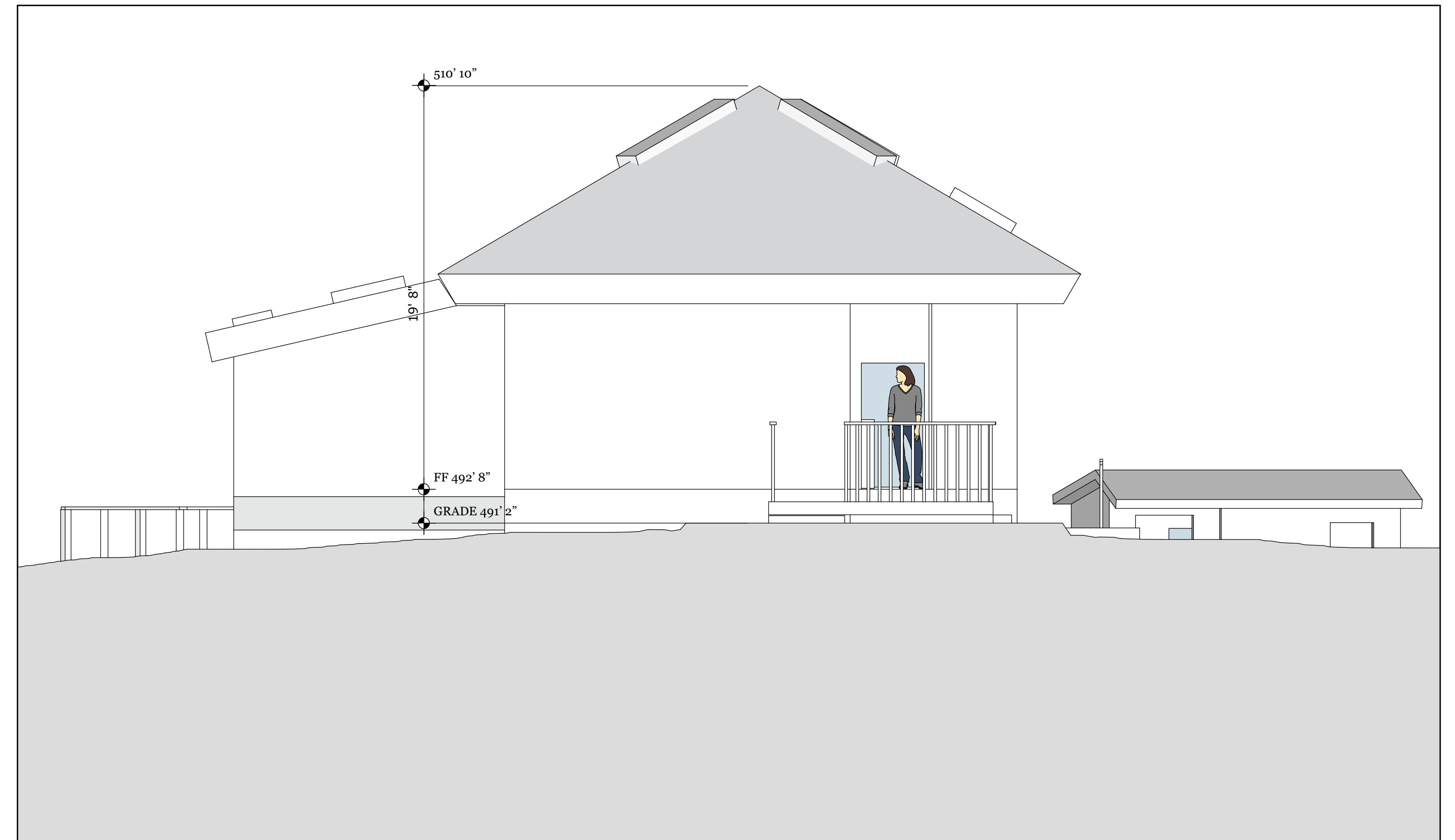
2. (E) PRIMARY HOUSE AND (E) ADU - WEST ELEVATION

SCALE: 1/4" = 1'



3. (E) PRIMARY HOUSE AND (E) ADU - NORTH ELEVATION

SCALE: 1/4" = 1'



4. (E) PRIMARY HOUSE AND (E) ADU - EAST ELEVATION

SCALE: 1/4" = 1'