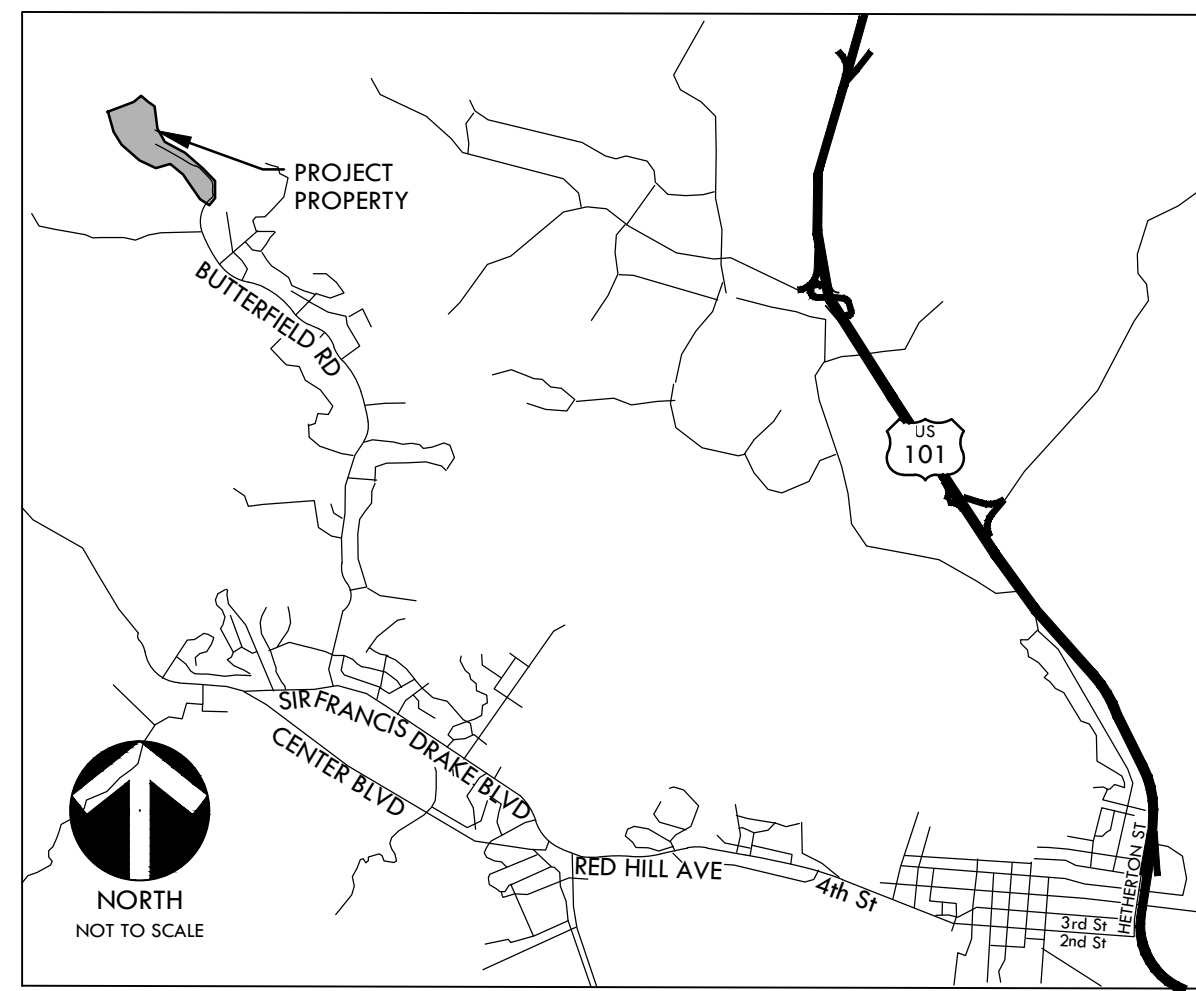
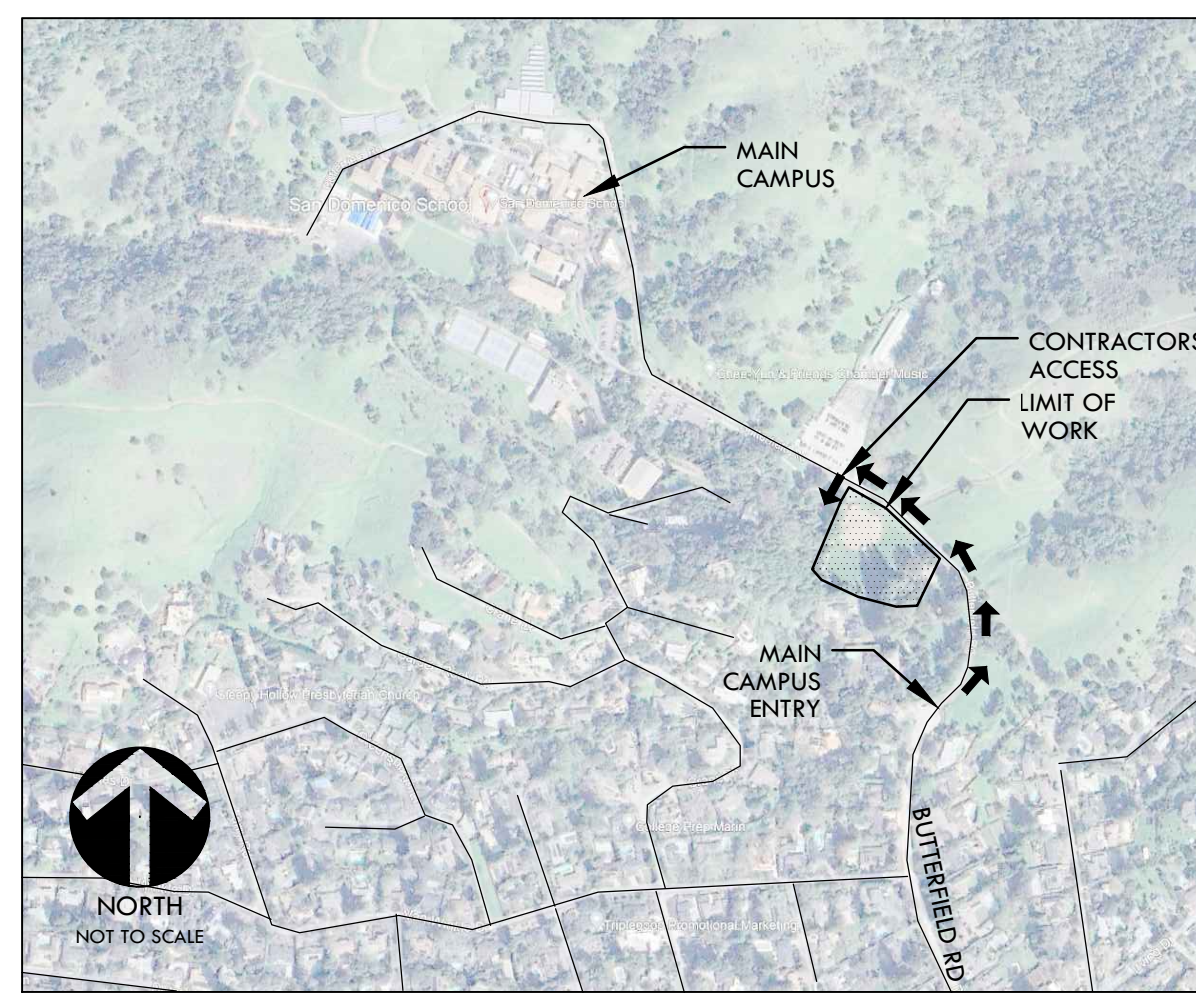


PROJECT MAPS



VICINITY MAP

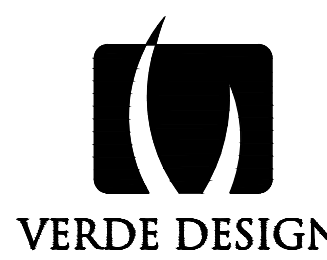


SITE MAP

CONSTRUCTION DRAWINGS FOR San Domenico School Athletic Field Improvements

1500 Butterfield Rd
San Anselmo, CA 94960
VERDE DESIGN, INC. PROJECT NO. 2305600

PREPARED BY



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
3558 Round Barn Blvd. Suite 200
Santa Rosa, CA 95403
tel: 707.800.4204
fax: 408.985.7260
www.VerdeDesignInc.com

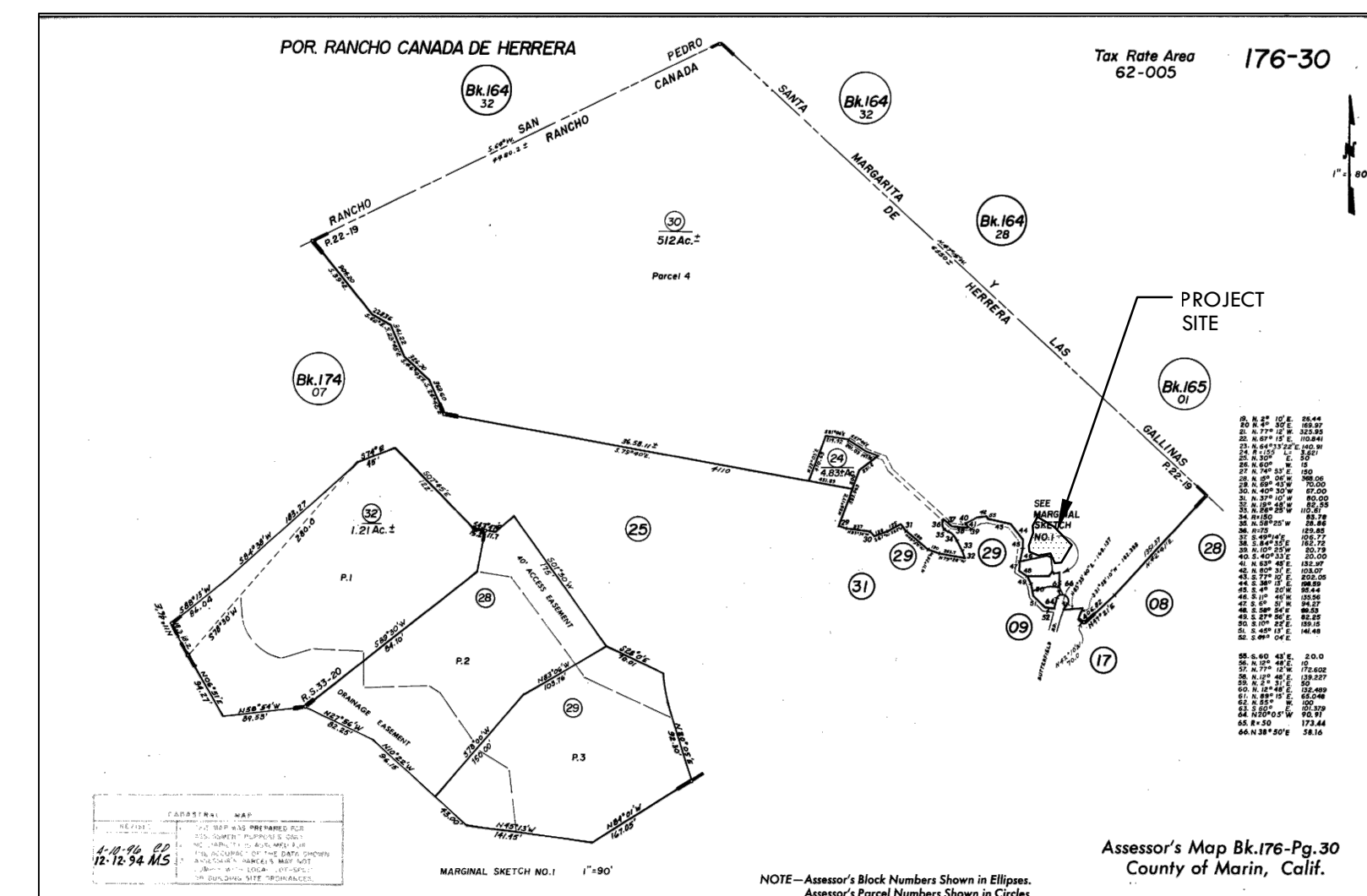
SCOPE OF WORK

THE SCOPE OF WORK IS TO INCLUDE, BUT NOT LIMITED TO, REMOVAL OF EXISTING BASEBALL BACKSTOP, INFIELD FINES, NATURAL GRASS FIELD, PARTS OF THE EXISTING BUILDING RUINS, VEGETATION, AND PERIMETER PATHWAYS. IMPROVEMENTS TO INCLUDE, BUT NOT LIMITED TO, A NEW SYNTHETIC TURF MULTI-USE FIELD WITH HOODED BASEBALL BACKSTOP, ENCLOSED DUGOUTS, WALLS AND CURBS, PERIMETER FENCING AND GATES, TALL NETTING, AND NEW PERIMETER PAVING. IMPROVEMENTS TO ALSO INCLUDE MODIFICATIONS TO EXISTING DRAINAGE SYSTEM AND IRRIGATION SYSTEMS.

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE HEREIN REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL / OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION; NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

PROPERTY MAP



PROPERTY SIZE: 512 AC.
PROJECT SIZE: 2.6 AC

CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER SAN DOMENICO SCHOOL	JOHN CAMPBELL	(415) 258-1990
CIVIL ENGINEER / LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEVIN CONWAY WES DOWNING	(408) 850-3420 (808) 800-4204
CIVIL ENGINEER MUNSELLE CIVIL ENGINEERING	DAN HUGHES	(707) 775-8986

SHEET INDEX (1.4 Sheets)

SHEET NO.	SHEET DESCRIPTION
C0.0	COVER SHEET
LANDSCAPE/CIVIL	
L1.0	EXISTING CONDITIONS PLAN - FIELD
L3.0	DEMOLITION PLAN
L4.0	GRADING PLAN - FIELD
L5.0	DRAINAGE AND UTILITY PLAN - FIELD
L7.0	MATERIAL AND DETAIL REFERENCE PLAN - FIELD
L7.1	ELEVATION PLAN - FIELD
L7.2	ELEVATION PLAN - FIELD
L9.0	PLANTING PLAN
L9.1	PLANTING PLAN - CAAMPUS
CIVIL	
C1.0	GRADING PLAN
C1.1	GRADING PLAN
C2.0	DRAINAGE AND UTILITY PLAN
C2.1	DRAINAGE AND UTILITY PLAN

APPLICABLE CODES

1. 2022 CBC CHAPTER 35; PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2021 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2020 NATIONAL ELECTRICAL CODE)
- 2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R. (2021 UNIFORM MECHANICAL CODE)
- 2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2021 UNIFORM PLUMBING CODE)
- 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
- 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS)
- 2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R. (2021 INTERNATIONAL EXISTING BUILDING CODE)
- 2021 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
- 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
- 2022 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)
AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(C)
OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)
FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) 28 CFR 36.406
2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS	2022 EDITION
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")	2022 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2022 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2019 EDITION
ASME 17.1	ELEVATOR STANDARD	2019 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2022 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

3. ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

C0.0

COVER SHEET

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF VERDE DESIGN, INC. AND WERE CREATED, EVALUATED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE PROJECT. ANY REUSE, REPRODUCTION, OR PUBLICATION OF THIS DRAWING OR ANY PART OF IT WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC. IS STRICTLY PROHIBITED. ANY SUCH IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED, REPRODUCED, OR PUBLISHED BY ANY METHOD, IN WHOLE OR IN PART, OR IN CONNECTION WITH ANY PROJECT, WITHOUT THE WRITTEN PERMISSION OF VERDE DESIGN, INC.

SAN DOMENICO SCHOOL ATHLETIC FIELD IMPROVEMENTS

PLANNING PERMIT RESUBMITTAL - 03/07/25

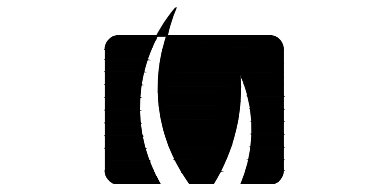
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SHEET INFO AND REFERENCE

- THIS TOPOGRAPHIC SURVEY WAS PROVIDED BY ADOBE ASSOCIATES, INC. (TELEPHONE: (707) 541-2301 (ADDRESS): 1220 N. DUTTON AVE, SANTA ROSA, CALIFORNIA 95401.
- NOTE THAT THIS IS NOT A COMPLETE UNDERGROUND SURVEY. THIS DRAWING CONTAINS ONLY PARTIAL INFORMATION FOR THE EXISTING IRRIGATION, SANITARY SEWER, STORM DRAIN SYSTEMS, ETC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS.

SURVEY LEGEND

60.4	SPOT ELEVATION	⊗	WATER VALVE
60	CONTOUR	⊙	SANITARY SEWER VALVE
RDWD 60"	TREE - 60" DIAMETER	□	UTILITY BOX
---	TREE DRIFLINE	▣	DRAIN INLET
---	WATER LINE	---	6" PVC UTILITY CALLOUT
---	SANITARY SEWER LINE	---	INV: 56.4'
---	STORM DRAIN LINE	---	
---	ELECTRICAL LINE	---	
---	EDGE OF UTILITY EASEMENT	---	
---	TOP OF BANK	---	
---	TOE OF BANK	---	
---	GRADE BREAK	---	
---	CENTER OF VALLEY	---	
---	CHAIN LINK FENCE	---	
---	WOODEN FENCE	---	
N88°11'01"E	COORDINATES	---	
---	PROPERTY LINE	---	



VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
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 3558 Round Barn Blvd, Suite 200
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 Tel: 707.800.4204
 Fax: 408.985.7260
 www.VerdeDesign.com

STAMP

CONSULTANT

SHEET TITLE
EXISTING CONDITIONS PLAN FIELD

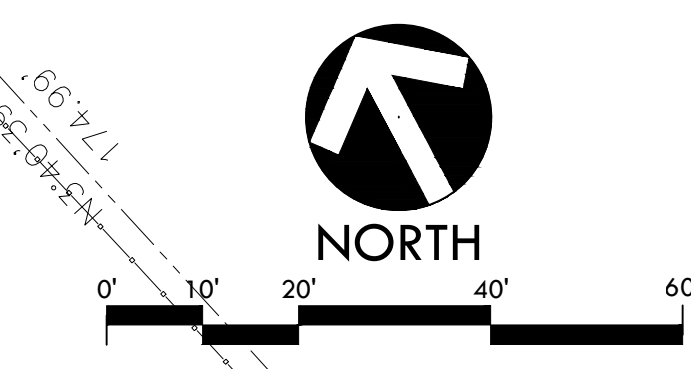
PROJECT NAME
SAN DOMENICO SCHOOL ATHLETIC FIELD IMPROVEMENTS

PROJECT ADDRESS
**1500 BUTTERFIELD RD
 SAN ANSELMO, CA 94960**

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

NO.	REVISIONS	DATE

DRAWN BY	CHECKED BY
	WD/DC
DATE ISSUED	SCALE
03/07/25	1"=20'-0"
PROJ. NO.	
	2305600
SHEET NO.	
L1.0	OF SHEETS



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DEMOLITION LEGEND

SYM	DESCRIPTION	SYM	DESCRIPTION
	LIMIT OF WORK / CONSTRUCTION FENCING		DEMOLISH AND REMOVE EXISTING WOODEN FENCE, INCLUDING RAILING, POSTS, AND FOOTINGS
	EXISTING SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. CLEAR AND GRUB AREAS WHERE SYNTHETIC TURF OR PAVING WILL BE INSTALLED. CONTRACTOR SHALL STOCKPILE TOP 6" OF SOIL AS NEEDED FOR NEW PLANTING. UNUSED TOP SOIL TO BE OFF-HAULED. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.		SAWCUT EXISTING PAVING
	KILL TURF AND PULVERIZE, REFER TO SPECIFICATIONS		EXISTING ASPHALT HARDSCAPE PAVING INCLUDING BASE MATERIAL TO BE DEMOLISHED AND REMOVED.
	EXISTING INFIELD FINES TO BE DEMOLISHED AND REMOVED	DEMOLITION ITEMS	
	EXISTING CONCRETE HARDSCAPE PAVING INCLUDING BASE MATERIAL TO BE DEMOLISHED AND REMOVED.	ITEMS TO BE DEMOLISHED AND/OR REMOVED	
	EXISTING LOOSE GRAVEL TO BE DEMOLISHED AND REMOVED		EXISTING BACKSTOP, INCLUDING FOOTINGS, TO BE DEMOLISHED AND REMOVED.
	REMOVE EXISTING TREES		EXISTING BUILDING STAIRS, INCLUDING BASE MATERIAL, TO BE DEMOLISHED AND REMOVED.
	DEMOLISH AND REMOVE EXISTING FENCE, INCLUDING GATES, POSTS, HARDWARE, FABRIC AND FOOTINGS		EXISTING BUILDING WALL, INCLUDING FOOTINGS AND BASE MATERIAL, TO BE DEMOLISHED AND REMOVED.

- ITEMS TO BE PROTECTED OR RELOCATED**
- A** EXISTING DRINKING FOUNTAIN TO BE SALVAGED AND RELOCATED WITHIN PROJECT. WATER LINE TO REMAIN AND BE EXTENDED TO NEW DRINKING FOUNTAIN LOCATION.
 - B** EXISTING BUILDING WALL, INCLUDING FOOTINGS, TO REMAIN AND BE PROTECTED

DEMOLITION NOTES

- THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTAL TO DETERMINE THE EXACT EXTENT AND DEPTH OF SITE DEMOLITION REQUIRED AND VERIFY COMPLIANCE WITH DRAWINGS. THE OWNER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
- ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 6 FEET HIGH WITH A TOP AND BOTTOM RAIL WITH KNUCKLED TOP AND BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). ALL FENCING SHALL INCLUDE FULL HEIGHT SCREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIP LINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
- DEMOLITION SHALL INCLUDE THE REMOVAL OF ITEM AND ANY FOUNDATION OR STRUCTURAL SUPPORT RELATED TO ITEM FOR PLANT MATERIAL THIS SHALL INCLUDE STUMPS AND ROOTS OVER 2 INCHES IN DIAMETER. DISPOSAL SHALL BE OFF-SITE IN A LEGAL MANNER ACCEPTABLE TO THE OWNER'S REPRESENTATIVE AND IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING AND OTHER PERTINENT INFORMATION.



STAMP	
CONSULTANT	
SHEET TITLE	
DEMOLITION PLAN - FIELD	
PROJECT NAME	
SAN DOMENICO SCHOOL ATHLETIC FIELD IMPROVEMENTS	
PROJECT ADDRESS	
1500 BUTTERFIELD RD SAN ANSELMO, CA 94960	
SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25
NO. REVISIONS	
DATE	
DRAWN BY	
WD	
CHECKED BY	
WD/DC	
DATE ISSUED	SCALE
03/07/25	1"=20'-0"
PROJ. NO.	
2305600	
SHEET NO.	
L3.0	OF SHEETS
DEMOLITION PLAN - FIELD	

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GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK / CONSTRUCTION FENCING
	PROPOSED CONTOUR
	CONNECTION OF PROPOSED AND EXISTING CONTOURS
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	PROPOSED ELEVATION OF TOP OF SYNTHETIC TURF INFILL
	SLOPE VALUE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION


GRADING NOTES

- EXISTING GRADES ARE BASED ON INFORMATION PROVIDED BY: ADOBE ASSOCIATES INC. CONTRACTOR SHALL VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE AND REDIRECT WORK TO AVOID DELAY.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDER GROUND SERVICE ALERT (UGSA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF UGA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IF PUDDLING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.



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REGISTERED PROFESSIONAL ENGINEER
 DANY
 No. C-56494
 EXPIRES June 30, 2025
 CIVIL
 STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE

**GRADING
 PLAN - FIELD**

PROJECT NAME

**SAN DOMENICO SCHOOL
 ATHLETIC FIELD
 IMPROVEMENTS**

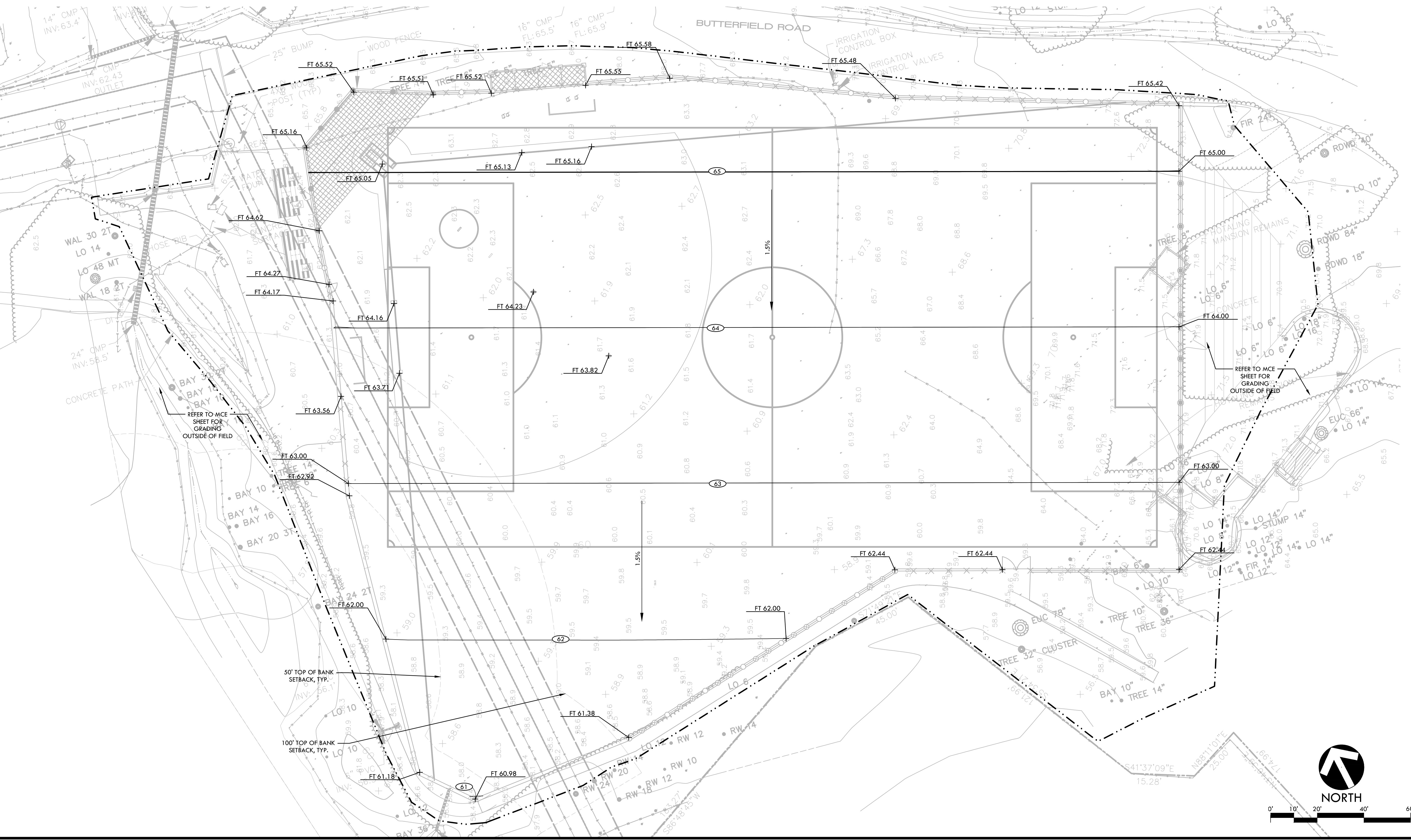
PROJECT ADDRESS

**1500 BUTTERFIELD RD
 SAN ANSELMO, CA 94960**

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

NO.	REVISIONS	DATE

DRAWN BY KL	CHECKED BY WD/DC
DATE ISSUED 03/07/25	SCALE 1"=20'-0"
PROJ. NO. 2305600	
SHEET NO. L4.0	OF SHEETS



DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER SHEET NUMBER	SYM	DESCRIPTION	SYM	DESCRIPTION
⊙	JUNCTION BOX, SIZE PER PLAN	(B) LD1.0	(E)	EXISTING	N, S, W, EA,	NORTH, SOUTH, WEST, EAST
●	MODIFIED CATCH BASIN (MOD)	(C) LD1.0	CB	CATCH BASIN	---	LIMIT OF WORK / CONSTRUCTION FENCING
⊙	CLEANOUT IN SYNTHETIC TURF	(G) DL1.0	INV	INVERT		
SD	SOLID WALL STORM DRAIN	(A) LD1.0	RIM	RIM ELEVATION		
PERF	PERFORATED SUBDRAIN LINE	(D) LD1.0	TOR	TOP OF ROCK ELEVATION		
FP	FLAT PANEL DRAIN	(E) LD1.0	LF	LINEAR FEET		
→	PIPE SLOPE DIRECTION		COIT	CLEANOUT IN TURF		
(A)	PROPOSED STORM DRAIN POINT OF CONNECTION TO EXISTING SYSTEM. CONTRACTOR TO VERIFY TIE-IN LOCATIONS AND EXISTING INVERTS PRIOR TO DEMOLITION.		S=0.5%	SLOPE		

DRAINAGE & UTILITY NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDER GROUND SERVICE ALERT (USA) AT (800) 227-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
2. ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
3. THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
4. COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
5. THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
6. ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
7. PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLING. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
8. WHEN WORK HAS TO OCCUR UNDER THE DRIPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.



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REGISTERED PROFESSIONAL ENGINEER
No. C-56494
EXPIRES June 30, 2025
CIVIL
STATE OF CALIFORNIA

CONSULTANT

SHEET TITLE
DRAINAGE AND UTILITY PLAN FIELD

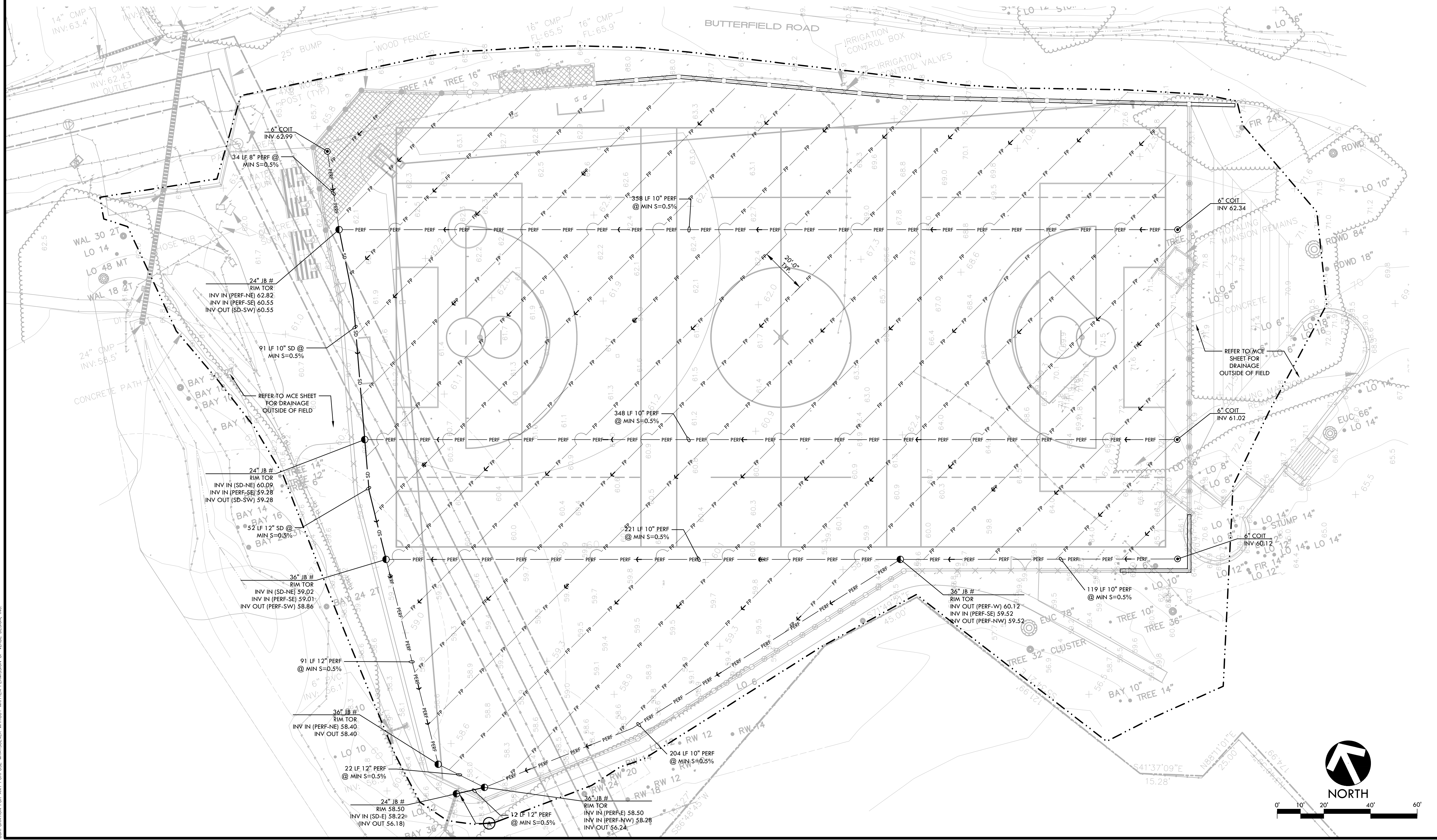
PROJECT NAME
SAN DOMENICO SCHOOL ATHLETIC FIELD IMPROVEMENTS

PROJECT ADDRESS
**1500 BUTTERFIELD RD
SAN ANSELMO, CA 94960**

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

NO.	REVISIONS	DATE

DRAWN BY WD	CHECKED BY WD/DC
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PROJ. NO. 2305600	
SHEET NO. L5.0	OF SHEETS

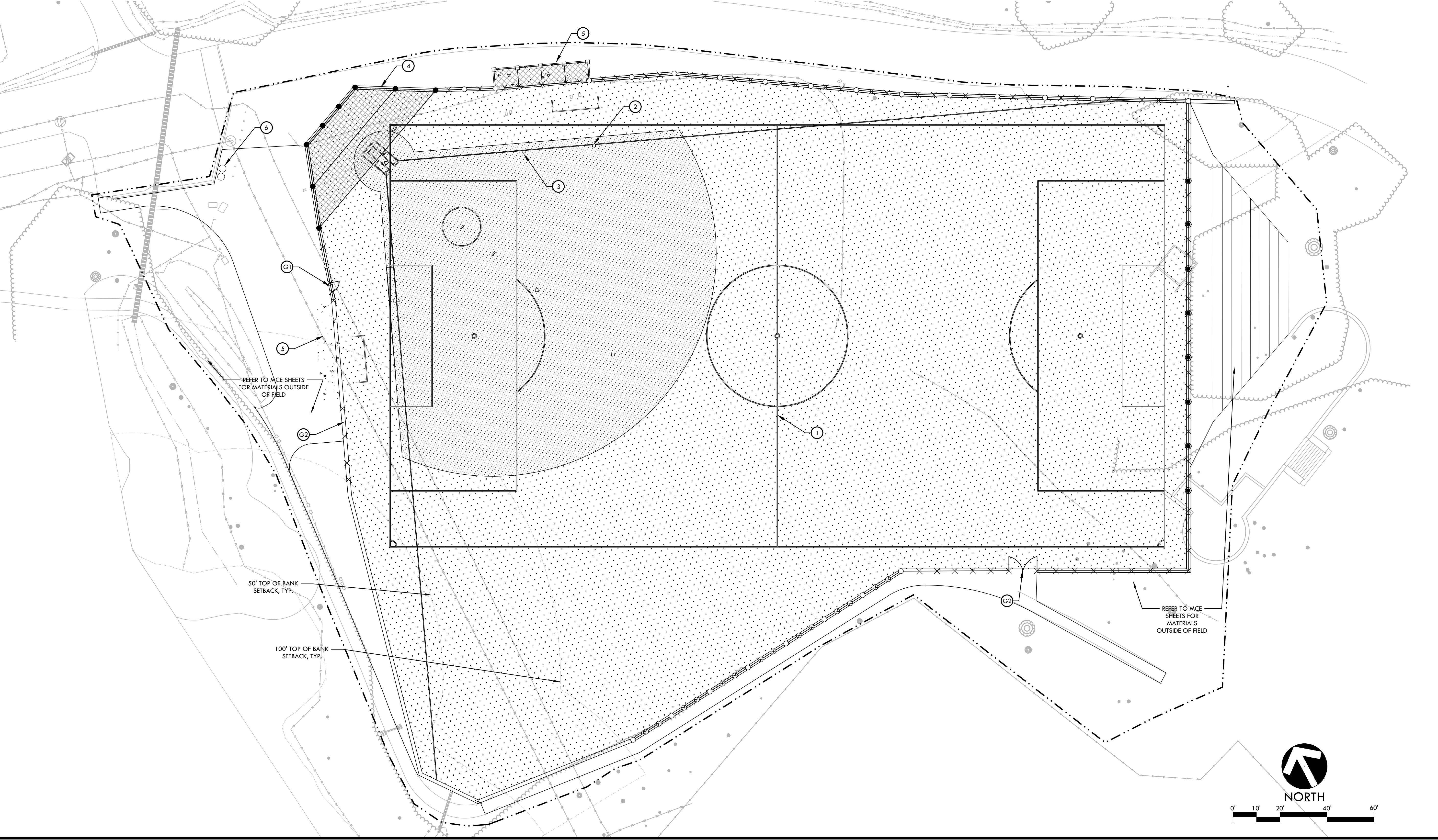


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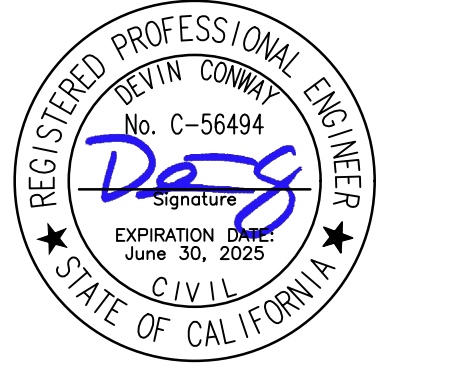
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MATERIAL LEGEND			
SYM	DESCRIPTION	DTL	
	SYNTHETIC TURF (GREEN)		
	SYNTHETIC TURF (BROWN)		
	CONCRETE PAVING		
	8' TALL CHAIN LINK FENCE		
	10' TALL CHAIN LINK FENCE		
	20' TALL CHAIN LINK FENCE		
	20' TALL NETTING SYSTEM		
	30' TALL NETTING SYSTEM		
	30' TALL BASEBALL BACKSTOP		
	4' WIDE X 10' TALL CHAIN LINK GATE		
	12' WIDE X 10' TALL DOUBLE SWING CHAIN LINK GATE		
	60 X 110 YD SOCCER FIELD		
	BASEBALL INFIELD		
	SOFTBALL INFIELD		
	30' TALL HOODED BASEBALL BACKSTOP		
	CHAIN LINK BASEBALL DUGOUT		
	TRASH AND RECYCLABLE BINS		
	LIMIT OF WORK / CONSTRUCTION FENCING		

- ### MATERIAL NOTES
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
 - THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM AND BE SMOOTH AND UNIFORM.
 - ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
 - CONCRETE FINISHES SHALL BE AS NOTED. CONTRACTOR SHALL PROVIDE 4"x4" SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW AND POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE OWNER'S REPRESENTATIVE. ACCEPTED SAMPLES SHALL BE PROTECTED AND REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.
 - ALL FENCES AND GATES SHOWN ON PLAN ARE GRAPHIC REPRESENTATIONS; REFER TO DETAILS AND SPECIFICATIONS FOR PRECISE LOCATION.
 - ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.



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STAMP
 CONSULTANT

SHEET TITLE
**MATERIAL AND
 DETAIL REFERENCE
 PLAN
 FIELD**

PROJECT NAME
**SAN DOMENICO SCHOOL
 ATHLETIC FIELD
 IMPROVEMENTS**

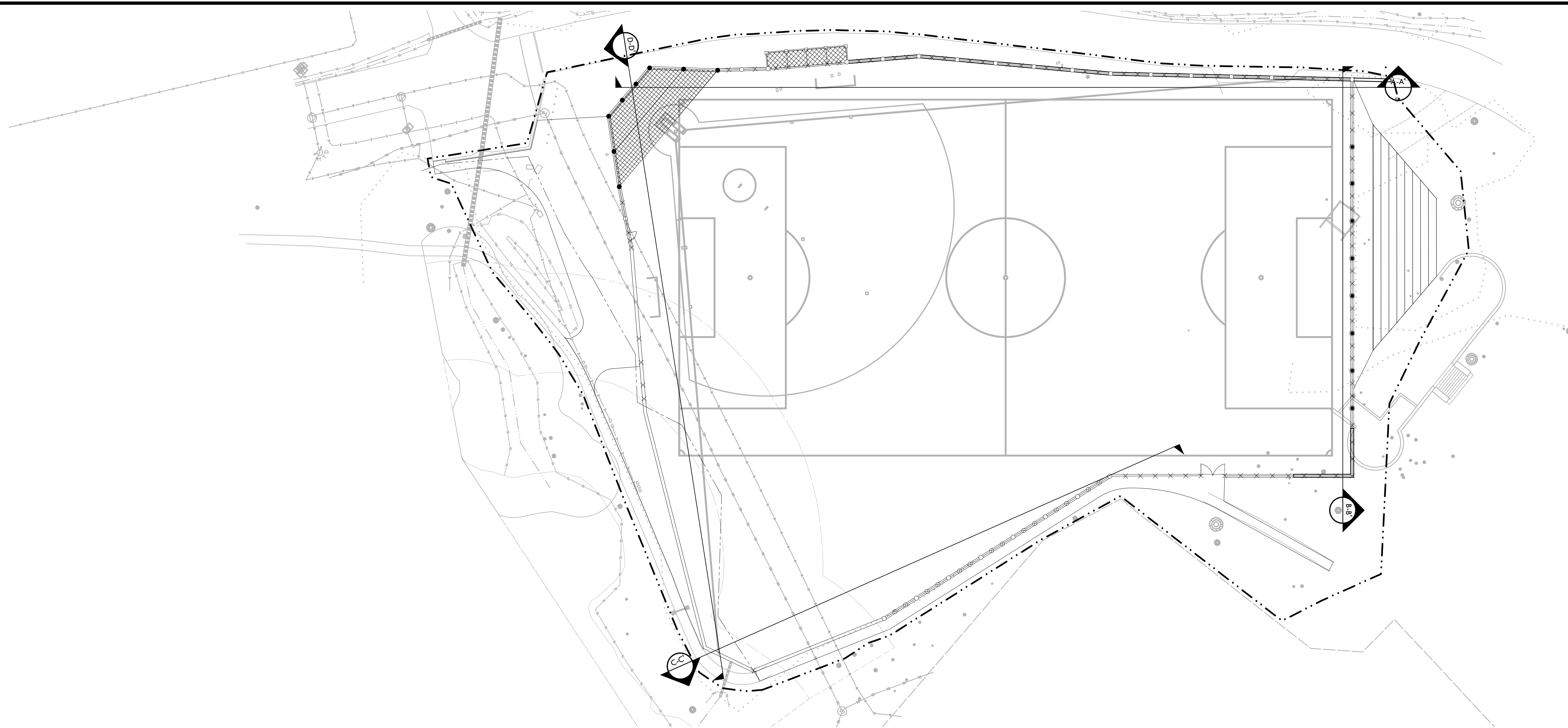
PROJECT ADDRESS
**1500 BUTTERFIELD RD
 SAN ANSELMO, CA 94960**

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PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

NO.	REVISIONS	DATE

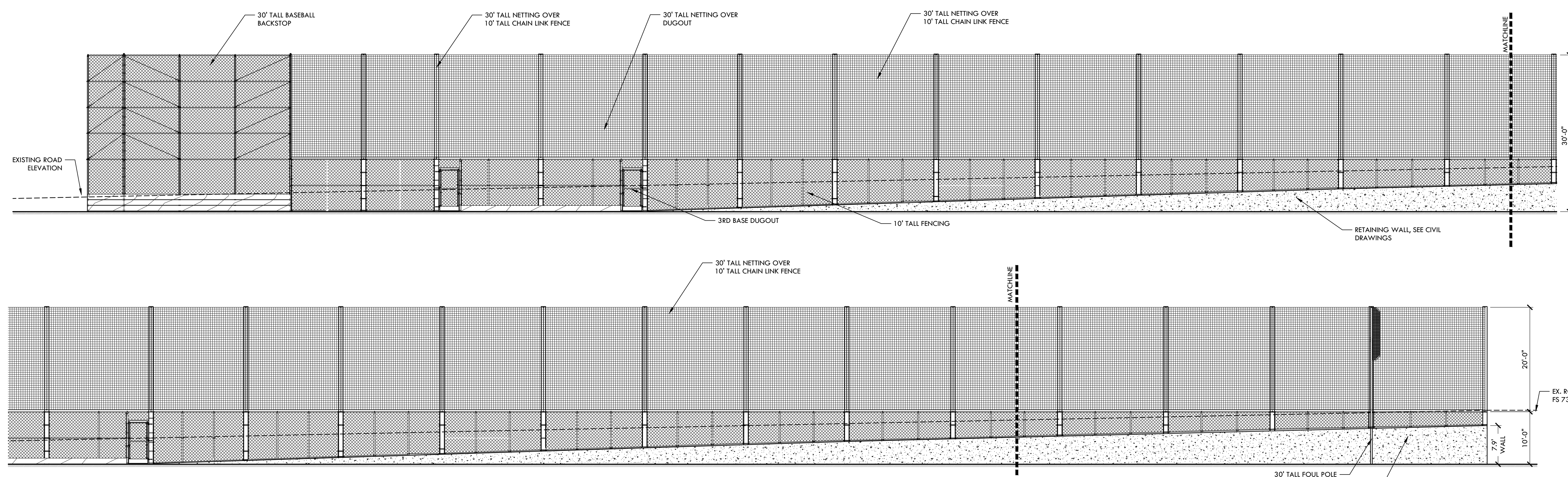
DRAWN BY: KL CHECKED BY: WD/DC
 DATE ISSUED: 03/07/25 SCALE: 1"=20'-0"
 PROJ. NO.: 2305600
 SHEET NO.: **L7.0** OF SHEETS

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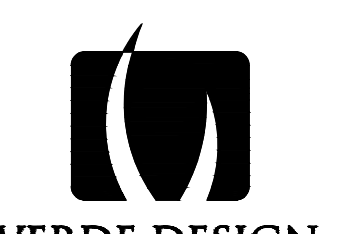
PLAN VIEW

SCALE: 1" = 30'-0"

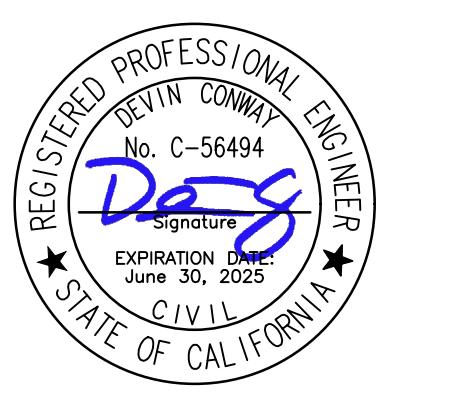


SECTION A-A'

SCALE: 1" = 10'-0"



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STAMP

CONSULTANT

SHEET TITLE

**ELEVATION PLAN
 FIELD**

PROJECT NAME

**SAN DOMENICO SCHOOL
 ATHLETIC FIELD
 IMPROVEMENTS**

PROJECT ADDRESS

**1500 BUTTERFIELD RD
 SAN ANSELMO, CA 94960**

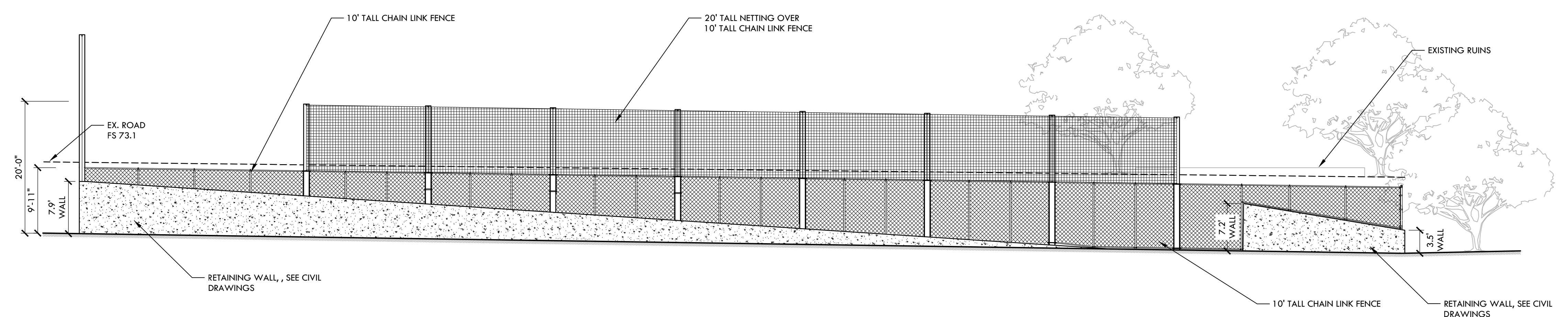
SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
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PROJ. NO. 2305600	
SHEET NO. L7.1	OF SHEETS

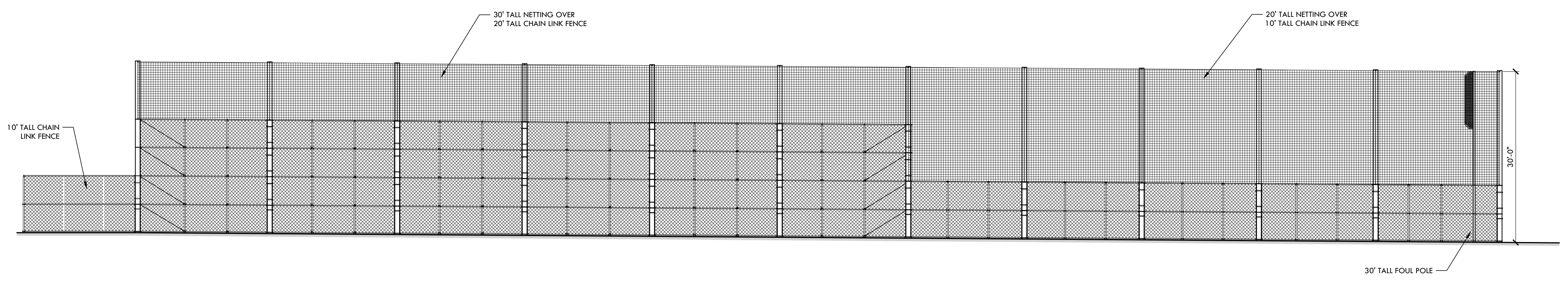
ELEVATIONS - FIELD

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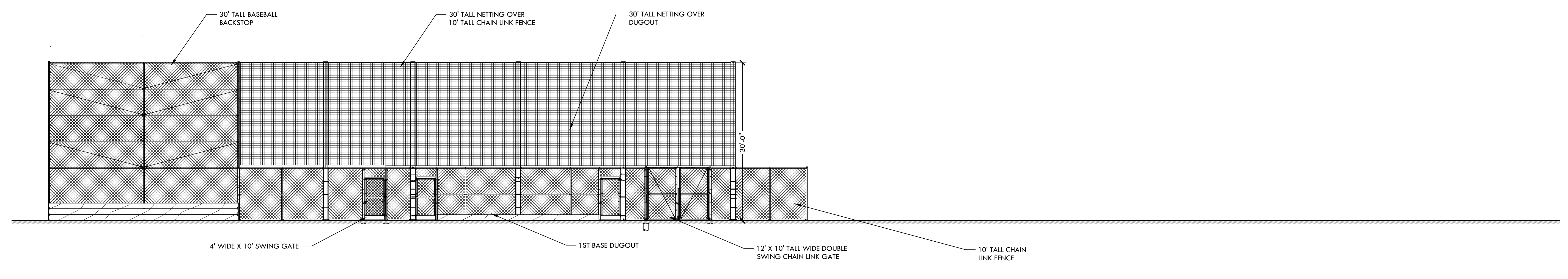
SECTION B-B'

SCALE: 1" = 10'-0"



SECTION C-C'

SCALE: 1" = 10'-0"

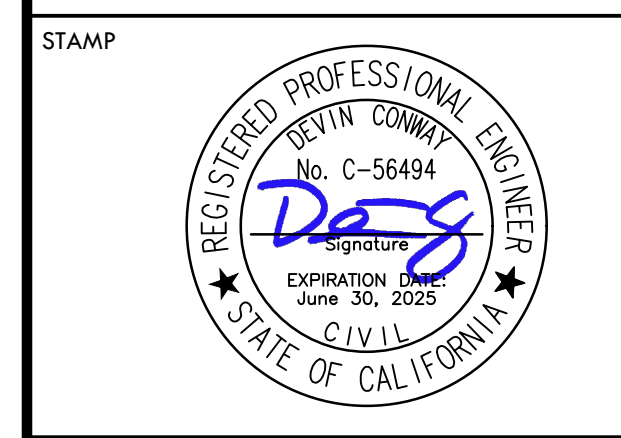


SECTION D-D'

SCALE: 1" = 10'-0"



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STAMP
 CONSULTANT

SHEET TITLE
**ELEVATION PLAN
 FIELD**

PROJECT NAME
**SAN DOMENICO SCHOOL
 ATHLETIC FIELD
 IMPROVEMENTS**

PROJECT ADDRESS
**1500 BUTTERFIELD RD
 SAN ANSELMO, CA 94960**

SUBMITTAL	DATE
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SHEET NO. L7.2	OF SHEETS

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EXISTING SITE PLANTING LIST

SCIENTIFIC NAME	COMMON NAME	SCIENTIFIC NAME	COMMON NAME
<i>Toxicodendron diversilobum</i>	poison oak	<i>Umbellularia californica</i>	California bay
<i>Tarlis arvensis</i>	hedge parsley	<i>Oxalis pes-caprae</i>	Bermuda buttercup
<i>Nerium oleander</i>	oleander	<i>Plantago lanceolata</i>	English plantain
<i>Bellis perennis</i>	English daisy	<i>Avena barbata</i>	wild oat
<i>Carduus pycnocephalus</i>	Italian thistle	<i>Bromus catharticus</i>	rescue grass
<i>Erigeron canadensis</i>	Canada horseweed	<i>Bromus diandrus</i>	ripgut brome
<i>Taraxacum officinale</i>	common dandelion	<i>Cynodon dactylon</i>	Bermuda grass
<i>Brassica nigra</i>	black mustard	<i>Cynosurus echinatus</i>	dogtail grass
<i>Lonicera hispidula</i>	pink honeysuckle	<i>Elymus glaucus</i>	blue wildrye
<i>Symphoricarpos albus</i>	upright snowberry	<i>Hordeum murinum</i>	mouse barley
<i>Spergularia rubra</i>	red sand spurry	<i>Poa annua</i>	annual bluegrass
<i>Sequoia sempervirens</i>	coast redwood	<i>Rumex pulcher</i>	fiddle dock
<i>Genista monspessulana</i>	French broom	<i>Ranunculus muricatus</i>	spiny buttercup
<i>Trifolium repens</i>	white clover	<i>Cotoneaster franchetti</i>	orange cotoneaster
<i>Quercus agrifolia</i>	coast live oak	<i>Prunus cerasifera</i>	cherry plum
<i>Erodium brachycarpum</i>	white-stemmed filaree	<i>Galium aparine</i>	common bedstraw
<i>Juglans hindsii</i>	black walnut		
<i>Mentha pulegium</i>	pennyroyal		

PLANTING LEGEND

SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DTL REF
TREES					
* QA	31	24" BOX	QUERCUS AGRIFOLIA COAST LIVE OAK	AS SHOWN	

PLANTING NOTES

- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR INHIBIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 2 WORKING DAYS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
- WHEN WORK HAS TO OCCUR UNDER THE DRIPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL SHRUB AND TREE AREA SHALL RECEIVE A WEED FABRIC LAYER. INSTALL WITH STAPLES, 3" OVERLAP AND COVER WITH MULCH.
- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE JUTE NETTING IN THE ENTIRE PLANTING AREAS. STAKE JUTE NETTING 36" ON CENTER.



STAMP

CONSULTANT

SHEET TITLE

PLANTING
PLAN
CAMPUS

PROJECT NAME

SAN DOMENICO SCHOOL
MULTI-USE FIELD
PROJECT

PROJECT ADDRESS

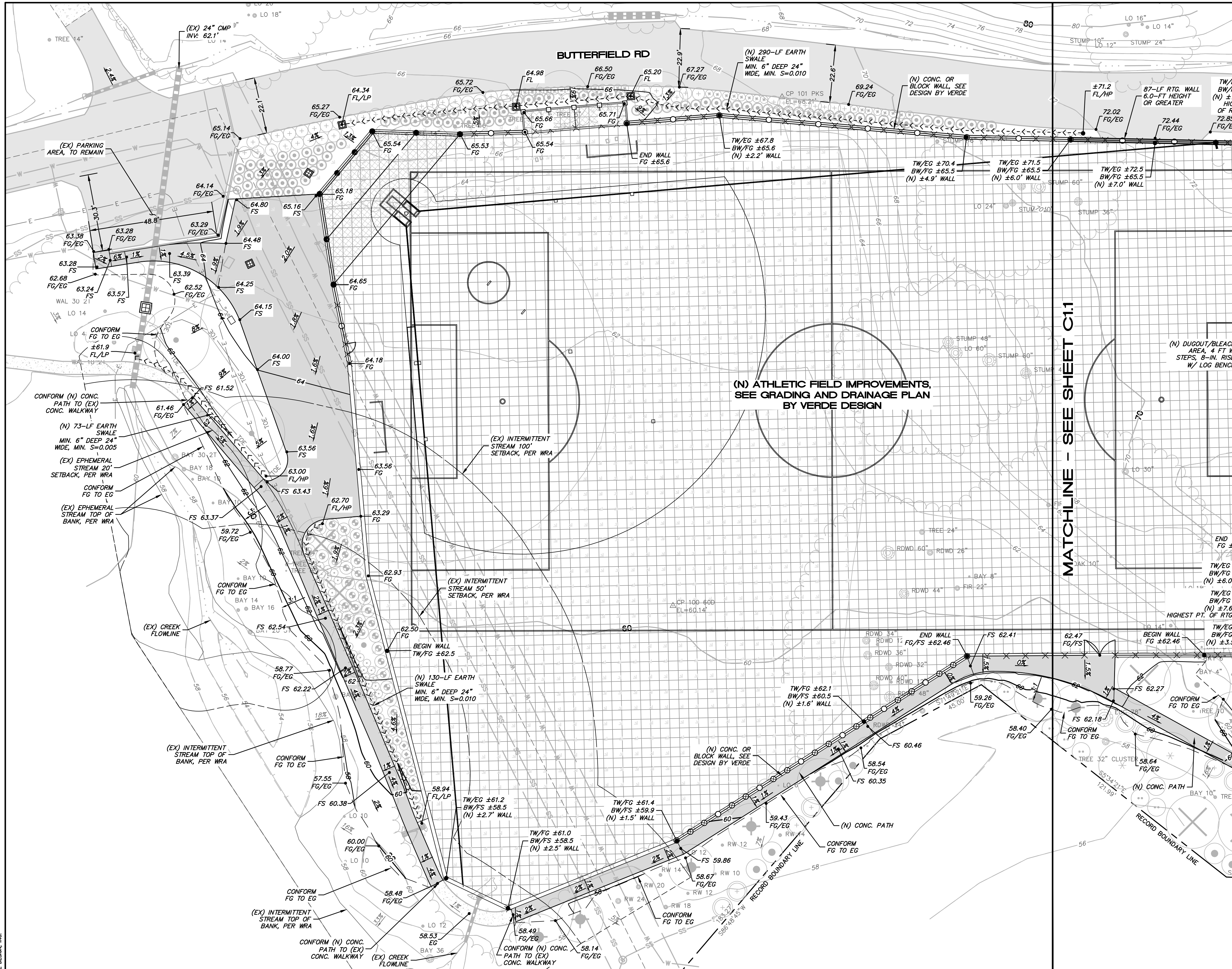
1500 BUTTERFIELD RD
SAN ANSELMO, CA 94960

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
50% SUBMITTAL	04/12/24

NO.	REVISIONS	DATE
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GRADING, DRAINAGE, UTILITY NOTES

- INSTALL RETAINING WALL BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND/OR STRUCTURAL PLANS, AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL HAVE POSITIVE DRAINAGE.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT COORDINATOR FOR RESOLUTION.
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ABBREVIATIONS

AB	AGGREGATE BASE	(N)	NEW
A.C.	ASBESTOS CEMENT PIPE	(P)	PROPOSED
BW	BOTTOM OF WALL	PL	PROPOSED PROPERTY LINE
CB	CATCH BASIN	RD	ROAD
CMP	CORRUGATED METAL PIPE	RD	DROP INLET RIM ELEVATION
CP	CLEANOUT	R.O.W.	R.O.W.
CONC.	CONCRETE	RVSD	ROSS VALLEY SANITARY DISTRICT
CONSTR.	CONSTRUCTION	S	SLOPE
CLUIAB	CLASS 2 AGGREGATE BASE	SD	STORM DRAIN
CW	COLD WATER	SDCO	STORM DRAIN CLEANOUT
DI	DROP INLET	SDDI	STORM DRAIN DROP INLET
ELE.	ELEVATION	S.S.	SANITARY SEWER
EG	EXISTING GRADE	S.S.MH	SANITARY SEWER MANHOLE
EASMT	EASEMENT	TYP.	TYPICAL
(EX), EX	EXISTING	V.C.	VITRIFIED CLAY PIPE
FG	FINISHED GRADE		
FL	FLOWLINE		
FS	FINISH SURFACE ELEVATION		
FG	FINISH GRADE ELEVATION		
HOPE	HIGH DENSITY POLYETHYLENE		
INV	INVERT		
LF	LINEAR FEET		
MCE	MUNSELLE CIVIL ENGINEERING		
MMWD	MARIN MUNICIPAL WATER DISTRICT		

LEGEND

	EXISTING ASPHALT TO REMAIN
	EXISTING CONCRETE
	PROPOSED 6" PCC OVER 4" CLUIAB
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING LAWN/GRASS
	PROPOSED ARTIFICIAL TURF, S.L.D.
	PORTION OF WALL HEIGHT 6-FT OR GREATER
	EXISTING GRADEBREAK
	EXISTING TOP OF BANK
	EXISTING TOE OF BANK
	EXISTING TREE DRILINE
	EXISTING WIRE FENCE
	EXISTING FLOWLINE
	PROPOSED SWALE
	RECORD BOUNDARY LINE
	EASEMENT CENTERLINE
	EASEMENT EDGE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN INLET OR JUNCTION BOX SEE DRAINAGE SCHEDULE
	SURVEY CONTROL POINT
	TREE TYPE AND DIAMETER

EARTHWORK:

CUT = 5,980 CY
 FILL = 5,855 CY
 NET = 125 CY (OFFHAUL)
 1,900 CY (OFFHAUL OR STOCKPILE TOP 6" OF EXISTING ORGANIC MATTER/TOPSOIL IN AREAS WHERE NEW TURF, HARDSCAPE, DUGOUT IS PROPOSED)

- NOTES:**
- THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR UTILITY TRENCHES, BENCHING, KEYWAYS, OVER EXCAVATION, IMPORT FILL, ETC AND/OR OTHER MEASURES DEEMED NECESSARY BY THE GEOTECHNICAL ENGINEER DURING PROJECT CONSTRUCTION.
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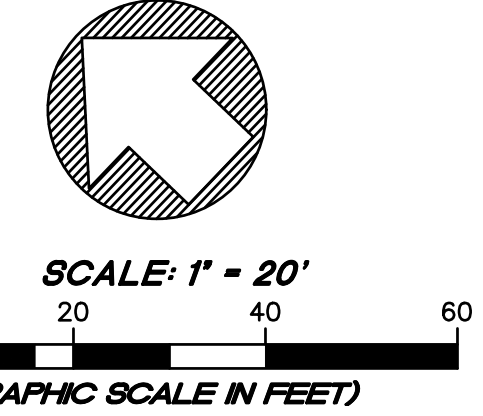
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STAMP

CONSULTANT

SHEET TITLE
 GRADING PLAN

PROJECT NAME
 SAN DOMENICO SCHOOL
 ATHLETIC FIELD
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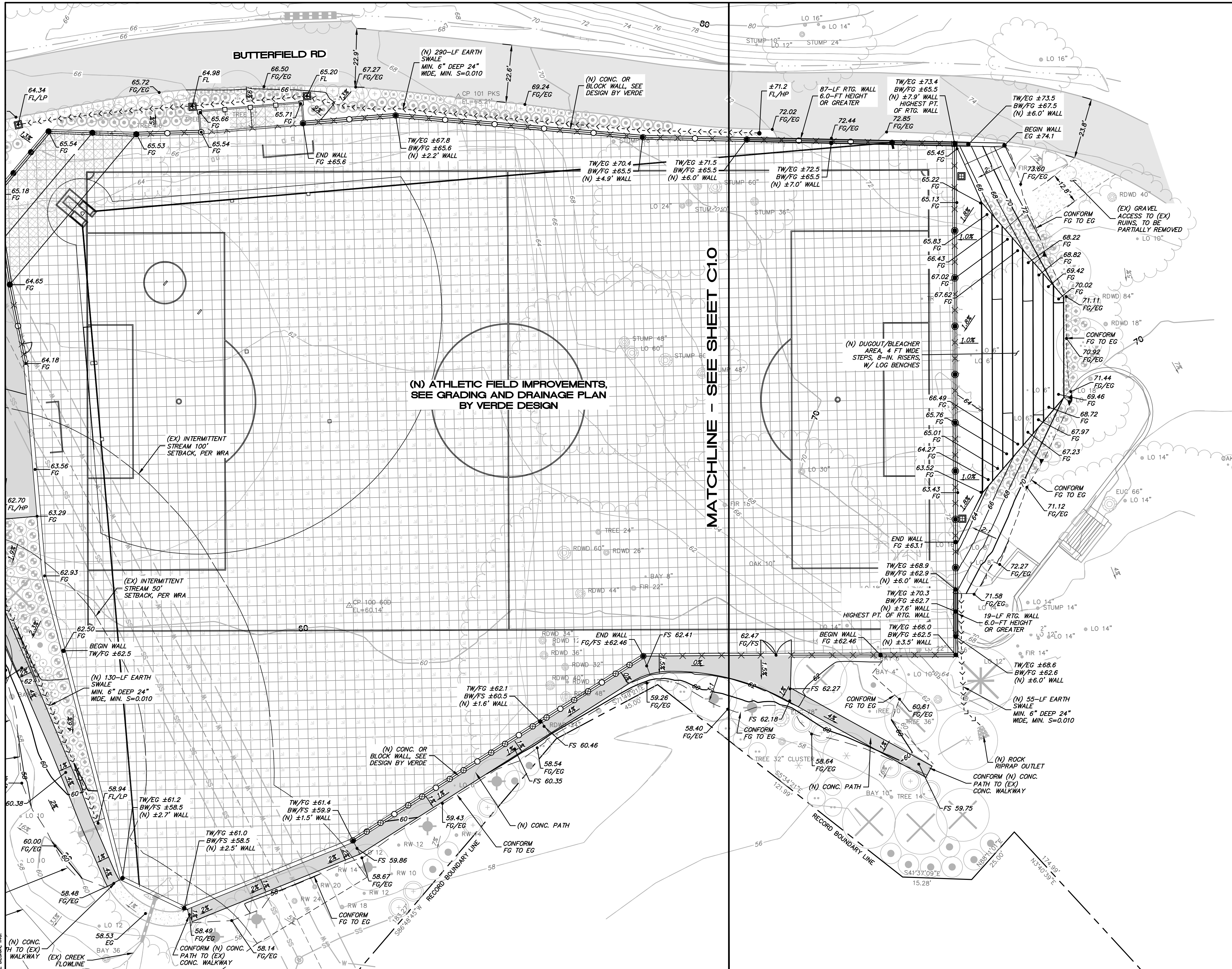
PROJECT ADDRESS
 1500 BUTTERFIELD RD
 SAN ANSELMO, CA
 94960

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

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SHEET NO. C1.0	OF 14 SHEETS

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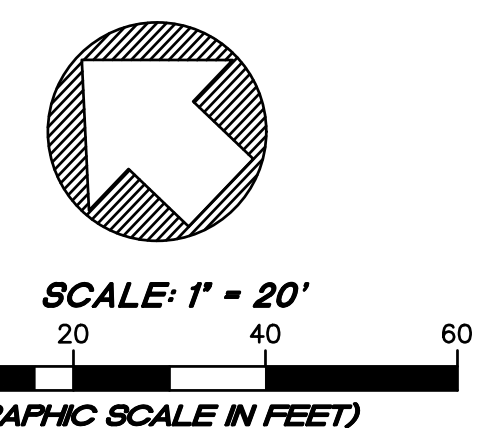
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MCE
 CIVIL ENGINEERING
 LAND SURVEYING

GRADING PLAN

PROJECT NAME
 SAN DOMENICO SCHOOL
 ATHLETIC FIELD
 IMPROVEMENTS

PROJECT ADDRESS
 1500 BUTTERFIELD RD
 SAN ANSELMO, CA
 94960

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

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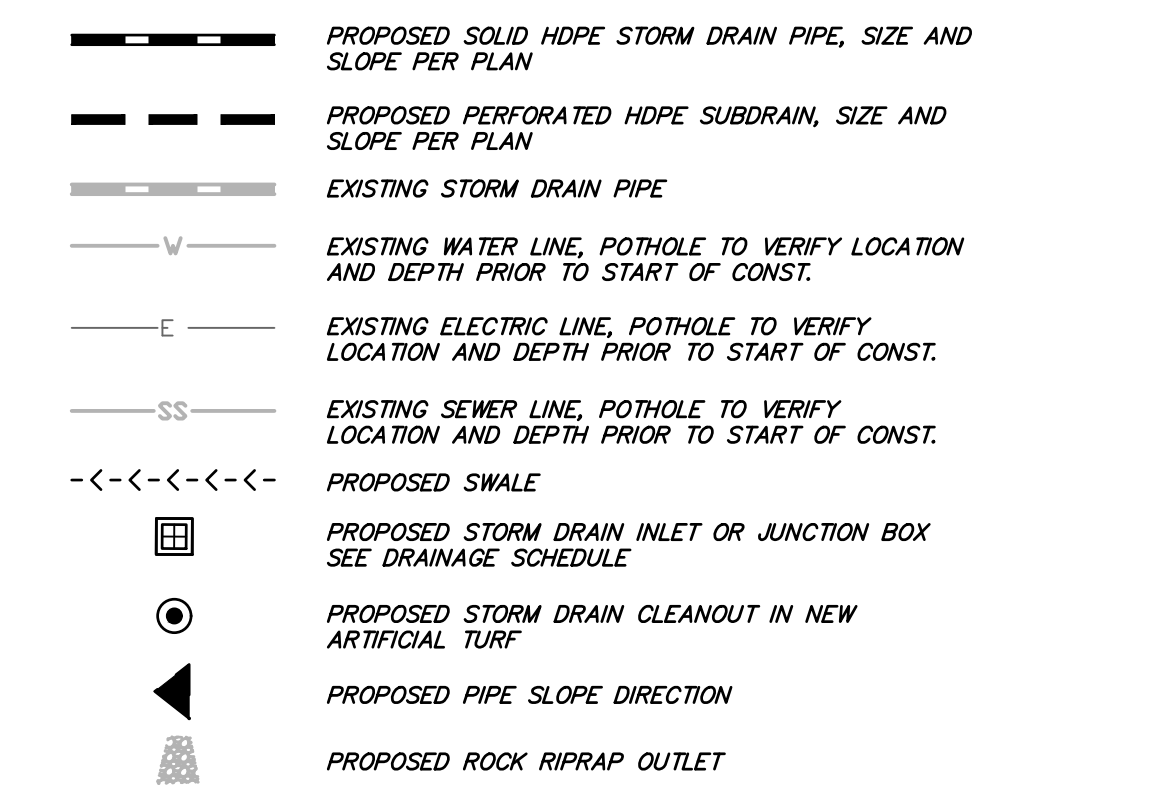
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DRAINAGE SCHEDULE

- #A 24"x24" OLD CASTLE PRECAST CONCRETE DROP INLET WITH GREEN GRATE (OR APPROVED EQUAL)
 - #B 24"x24" JUNCTION BOX (OR APPROVED EQUAL)
 - #C 36"x36" OLD CASTLE PRECAST CONCRETE DROP INLET WITH GREEN GRATE (OR APPROVED EQUAL)
- NOTE: D'S IN ACCESSIBLE WALKWAYS SHALL HAVE A GRATE THAT COMPLIES WITH SECTION 11B-302.3 OF THE CALIFORNIA BUILDING CODE

UTILITY LEGEND



ABBREVIATIONS

AB	AGGREGATE BASE	(N)	NEW
A.C.	ASBESTOS CEMENT PIPE	(P)	PROPOSED
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EL. E.L.E.	ELEVATION	S.L.D.	SEE LANDSCAPE DESIGN
EG	EXISTING GRADE	SS	SANITARY SEWER
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
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LF	LINEAR FEET		
MCE	MUNSELLE CIVIL ENGINEERING		
MMWD	MARIN MUNICIPAL WATER DISTRICT		

UTILITY KEYNOTES

- STORM DRAIN CROSSING OVER SANITARY SEWER LINE, PER ROSS VALLEY SANITARY DISTRICT STANDARDS. POT HOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
- STORM DRAIN CROSSING OVER WATER LINE, PER MARIN WATER STANDARDS. POT HOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
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- (EX) IRRIGATION CONTROL VALVES, TO BE REMOVED AND/OR RELOCATED BY OTHERS
- (EX) IRRIGATION CONTROL BOX, TO BE REMOVED AND/OR RELOCATED BY OTHERS

- (EX) HOSEBIB, TO BE REMOVED OR RELOCATED, BY OTHERS
- (EX) DI, TO BE REMOVED
- (EX) DRINKING FOUNTAIN, REFER TO DEMO PLAN BY VERDE DESIGN
- (EX) WATER SERVICE TO DRINKING FOUNTAIN, AND IRRIGATION

PERMEABILITY CALCULATIONS

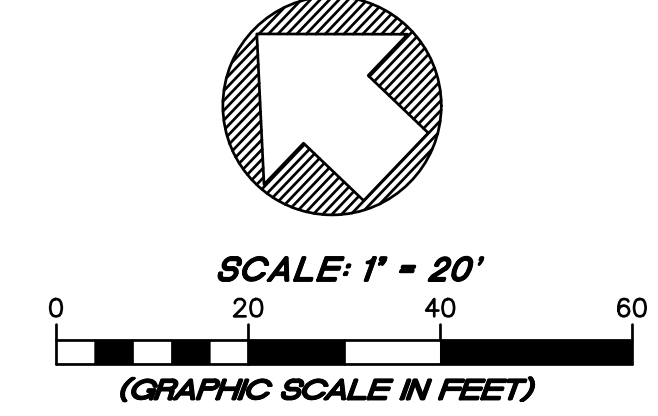
PRE- AND POST-CONSTRUCTION PEROUS/IMPERVIOUS AREAS (WITHIN TRIB LIMITS)

NOTE: TOTAL PARCEL AREA-±512 AC
TOTAL TRIBUTARY AREA-155,414 SF-3.57 AC

	IMPERVIOUS AREA (SF)	% OF TRIB	PERVIOUS AREA (SF)	% OF TRIB
PRE-CONSTRUCTION	19,654 SF	12.6%	135,760 SF	87.4%
POST CONSTRUCTION	23,681 SF	15.2%	131,733 SF	84.8%
POST CONSTRUCTION INCREASED IMPERVIOUS AREA	4,027 SF			

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	7,867 SF
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DRAINAGE AND UTILITY PLAN

PROJECT NAME
SAN DOMENICO SCHOOL
ATHLETIC FIELD IMPROVEMENTS

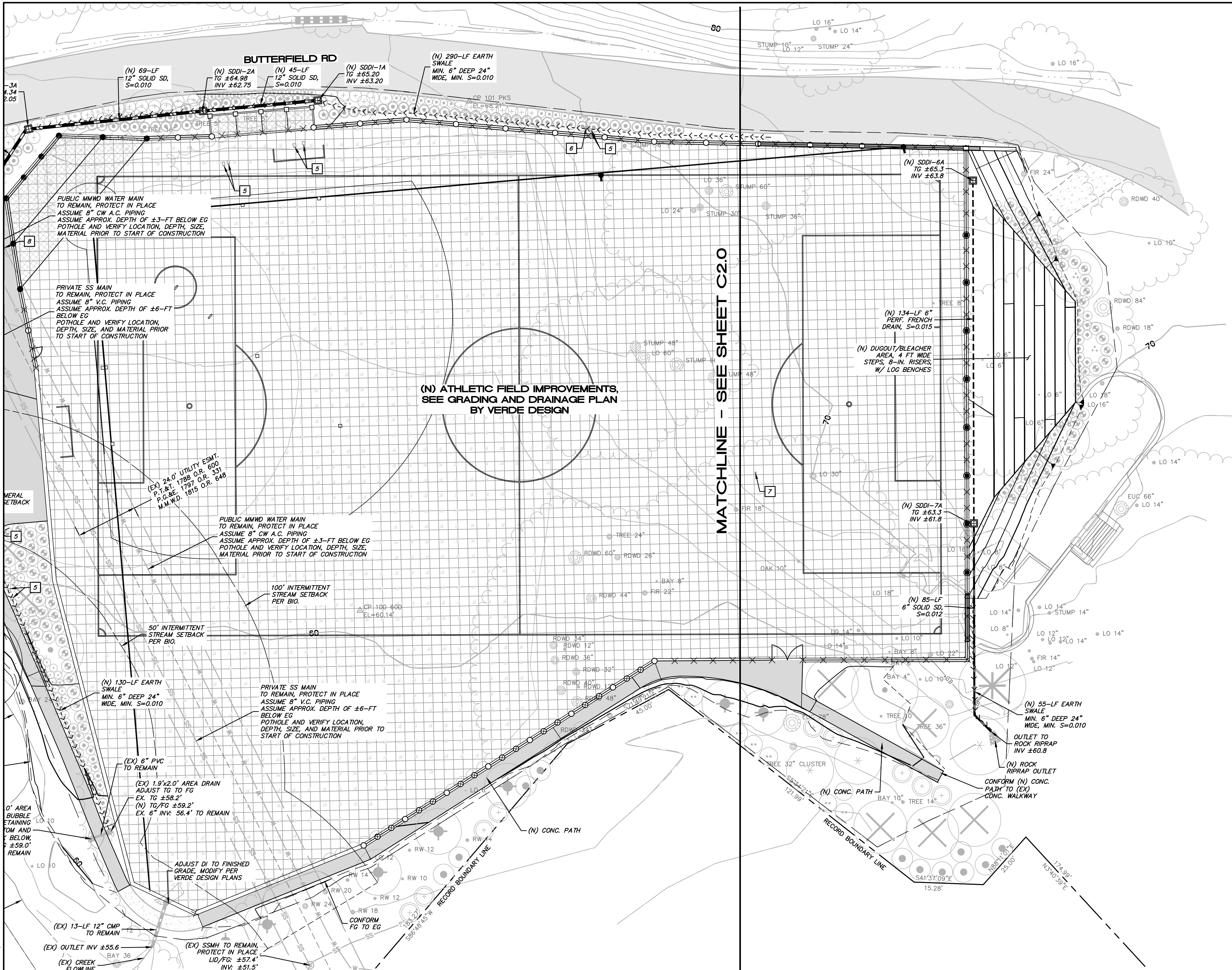
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- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- CONTRACTOR SHALL VERIFY ALL GRADES, EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. ALL DISCREPANCIES OR QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT COORDINATOR FOR RESOLUTION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND CONFIRMING THAT THE PROPOSED IMPROVEMENTS MEET THE CITY OF SAN ANSELMO AND MARIN COUNTY REQUIREMENTS. SHOULD DISCREPANCIES BE FOUND, CONTRACTOR SHALL NOTIFY PROJECT COORDINATOR AND ENGINEER FOR RESOLUTION. COORDINATE POTHOLING OF EXISTING UTILITIES WITH THE UTILITY COMPANIES THAT SERVE THAT LOCATION.
- ALL UTILITY BOXES WITHIN PAVED AND LANDSCAPED AREAS ARE TO BE ADJUSTED AND/OR EXTENDED TO MEET NEW FINISHED GRADES.
- STORM DRAIN INLETS IN ACCESSIBLE WALKWAYS SHALL HAVE A GRATE THAT COMPLIES WITH SECTION 11B-302.3 OF THE CALIFORNIA BUILDING CODE.
- UTILITY ASSUMPTIONS ARE BASED ON MECHANICAL & PLUMBING PLANS DATED MAY 11, 1964 BY SCHUBERT AND FRIEDMAN FOR SAN DOMENICO SCHOOL; TOPOGRAPHIC MAP BY ADOBE ASSOCIATES, INC.; MWD AND RVSD STANDARD SPECIFICATIONS. ALL ASSUMPTIONS SHOULD BE VERIFIED PRIOR TO START OF CONSTRUCTION.

DRAINAGE SCHEDULE

- #A 24"x24" OLD CASTLE PRECAST CONCRETE DROP INLET WITH GREEN GRATE (OR APPROVED EQUAL)
 - #B 24"x24" JUNCTION BOX (OR APPROVED EQUAL)
 - #C 36"x36" OLD CASTLE PRECAST CONCRETE DROP INLET WITH GREEN GRATE (OR APPROVED EQUAL)
- NOTE: D'S IN ACCESSIBLE WALKWAYS SHALL HAVE A GRATE THAT COMPLIES WITH SECTION 11B-302.3 OF THE CALIFORNIA BUILDING CODE

UTILITY LEGEND

- PROPOSED SOLID HDPE STORM DRAIN PIPE, SIZE AND SLOPE PER PLAN
- PROPOSED PERFORATED HDPE SUBDRAIN, SIZE AND SLOPE PER PLAN
- EXISTING STORM DRAIN PIPE
- EXISTING WATER LINE, POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO START OF CONST.
- EXISTING ELECTRIC LINE, POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO START OF CONST.
- EXISTING SEWER LINE, POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO START OF CONST.
- PROPOSED SWALE
- PROPOSED STORM DRAIN INLET OR JUNCTION BOX SEE DRAINAGE SCHEDULE
- PROPOSED STORM DRAIN CLEANOUT IN NEW ARTIFICIAL TURF
- PROPOSED PIPE SLOPE DIRECTION
- PROPOSED ROCK RIPRAP OUTLET

ABBREVIATIONS

AB	AGGREGATE BASE	(N)	NEW
A.C.	ASBESTOS CEMENT PIPE	(P)	PROPOSED
BW	BOTTOM OF WALL	PL	PROPOSED PROPERTY LINE
CB	CATCH BASIN	RD	ROAD
CMP	CORRUGATED METAL PIPE	RI	RIGHT OF WAY
CO	CLEANOUT	R.W.	RIGHT OF WAY
CONC.	CONCRETE	R.V.S.D.	ROSS VALLEY SANITARY DISTRICT
CONST.	CONSTRUCTION	S-	SLOPE
CLIASB	CLASS 2 AGGREGATE BASE	SD	STORM DRAIN
CW	COLD WATER	SDCO	STORM DRAIN CLEANOUT
DI	DROP INLET	SDDI	STORM DRAIN DROP INLET
EL. ELE.	ELEVATION	S.L.D.	SEE LANDSCAPE DESIGN
EG	EXISTING GRADE	SS	SANITARY SEWER
ESMT	EASEMENT	SSMH	SANITARY SEWER MANHOLE
(EX), EX	EXISTING	TG	TOP OF GRATE
FG	FINISHED GRADE	TW	TYPICAL
FL	FLOWLINE	TY	TYPICAL
FS	FINISH SURFACE ELEVATION	V.C.	VITRIFIED CLAY PIPE
FG	FINISH GRADE ELEVATION		
HDPE	HIGH DENSITY POLYETHYLENE		
INV	INVERT		
LF	LINEAR FEET		
MCE	MUNSELLE CIVIL ENGINEERING		
MWD	MARIN MUNICIPAL WATER DISTRICT		

UTILITY KEYNOTES

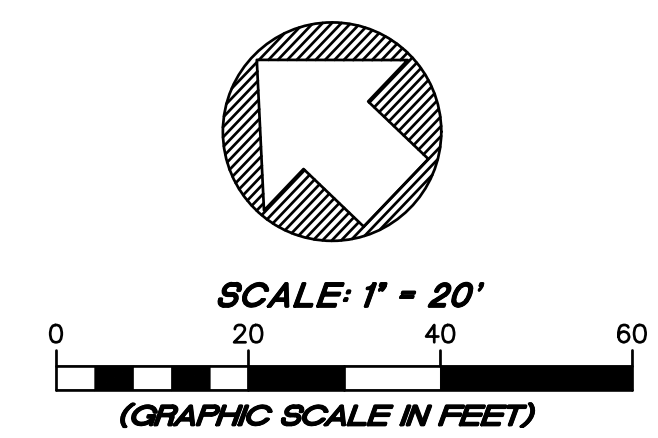
- STORM DRAIN CROSSING OVER SANITARY SEWER LINE, PER ROSS VALLEY SANITARY DISTRICT STANDARDS. POTHOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
- STORM DRAIN CROSSING OVER WATER LINE, PER MARIN WATER STANDARDS. POTHOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
- EXISTING WATER UTILITIES/STRUCTURES, POTHOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
- EXISTING ELECTRIC UTILITIES, POTHOLE EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND VERIFY POTENTIAL DRAINAGE CONNECTIONS. SHOULD DISCREPANCIES ARISE, CONTRACTOR SHALL CONTACT OWNER AND ENGINEER FOR RESOLUTION.
- (EX) IRRIGATION CONTROL VALVES, TO BE REMOVED AND/OR RELOCATED BY OTHERS
- (EX) IRRIGATION CONTROL BOX, TO BE REMOVED AND/OR RELOCATED BY OTHERS
- (EX) HOSEBIB, TO BE REMOVED OR RELOCATED, BY OTHERS
- (EX) DI, TO BE REMOVED
- (EX) DRINKING FOUNTAIN, REFER TO DEMO PLAN BY VERDE DESIGN
- (EX) WATER SERVICE TO DRINKING FOUNTAIN, AND IRRIGATION

PERMEABILITY CALCULATIONS

PRE-AND POST-CONSTRUCTION PERVIOUS/IMPERVIOUS AREAS (WITHIN TRIB LIMITS)			
	IMPERVIOUS AREA (SF)	% OF TRIB	PERVIOUS AREA (SF)
NOTE: TOTAL PARCEL AREA=±512 AC TOTAL TRIBUTARY AREA=155,414 SF=3.57 AC			
PRE-CONSTRUCTION	19,654 SF	12.6%	135,760 SF 87.4%
POST CONSTRUCTION	23,681 SF	15.2%	131,733 SF 84.8%
POST CONSTRUCTION INCREASED IMPERVIOUS AREA	4,027 SF		

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	7,867 SF
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STATE OF CALIFORNIA

CONSULTANT
MCE
CIVIL ENGINEERING
LAND SURVEYING

SHEET TITLE
DRAINAGE AND UTILITY PLAN

PROJECT NAME
SAN DOMENICO SCHOOL ATHLETIC FIELD IMPROVEMENTS

PROJECT ADDRESS
**1500 BUTTERFIELD RD
SAN ANSELMO, CA
94960**

SUBMITTAL	DATE
PLANNING PERMIT SUBMITTAL	03/29/24
PLANNING PERMIT RESUBMITTAL	03/07/25

NO.	REVISIONS	DATE

DRAWN BY: ERL
CHECKED BY: WD/DC
DATE ISSUED: 03/07/25
SCALE:
PROJ. NO.: 2305600
SHEET NO.: C.2.1 OF 14 SHEETS