

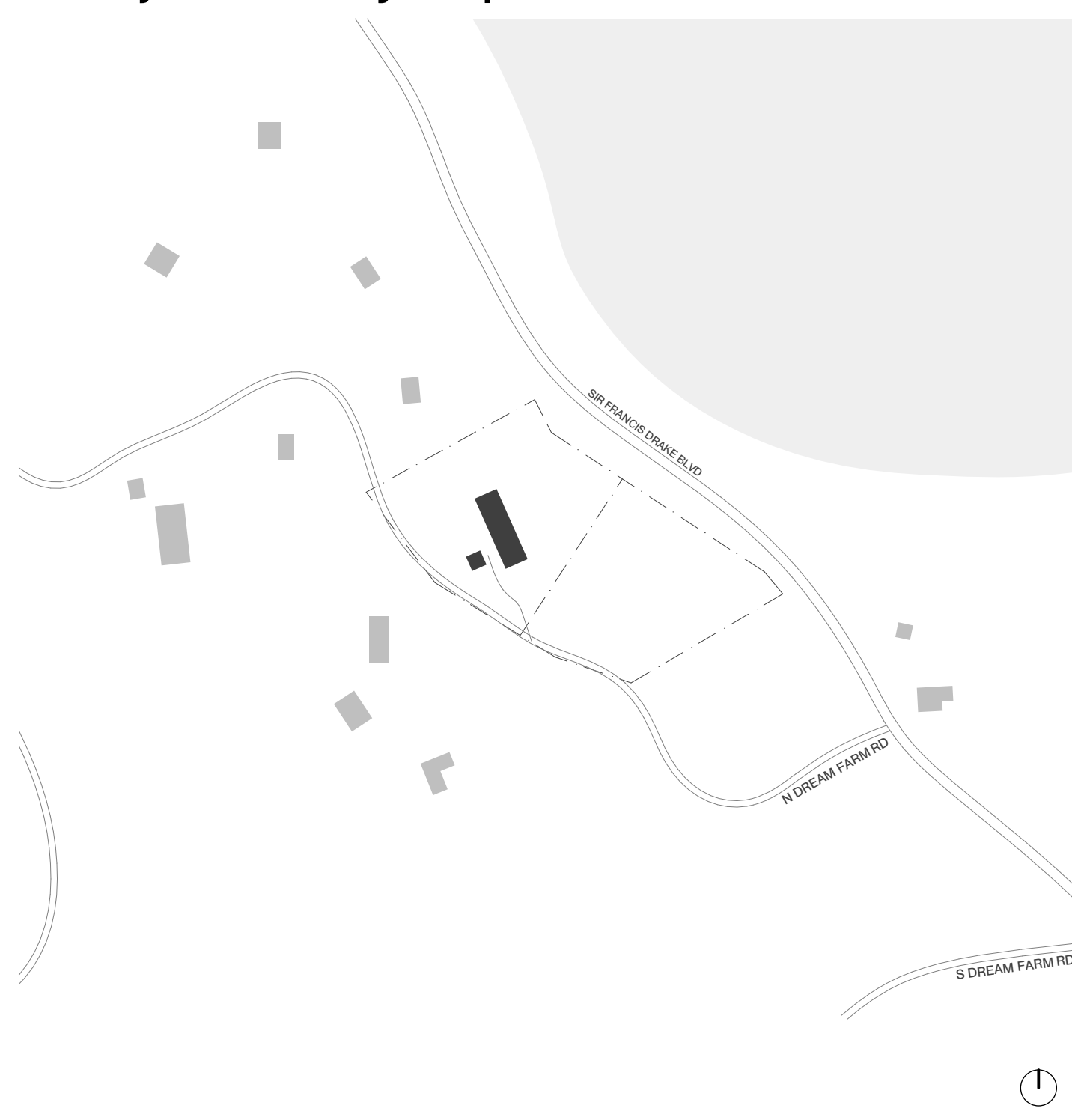
Project Address

APN 114-061-18
North Dream Farm Road
Unincorporated Marin County

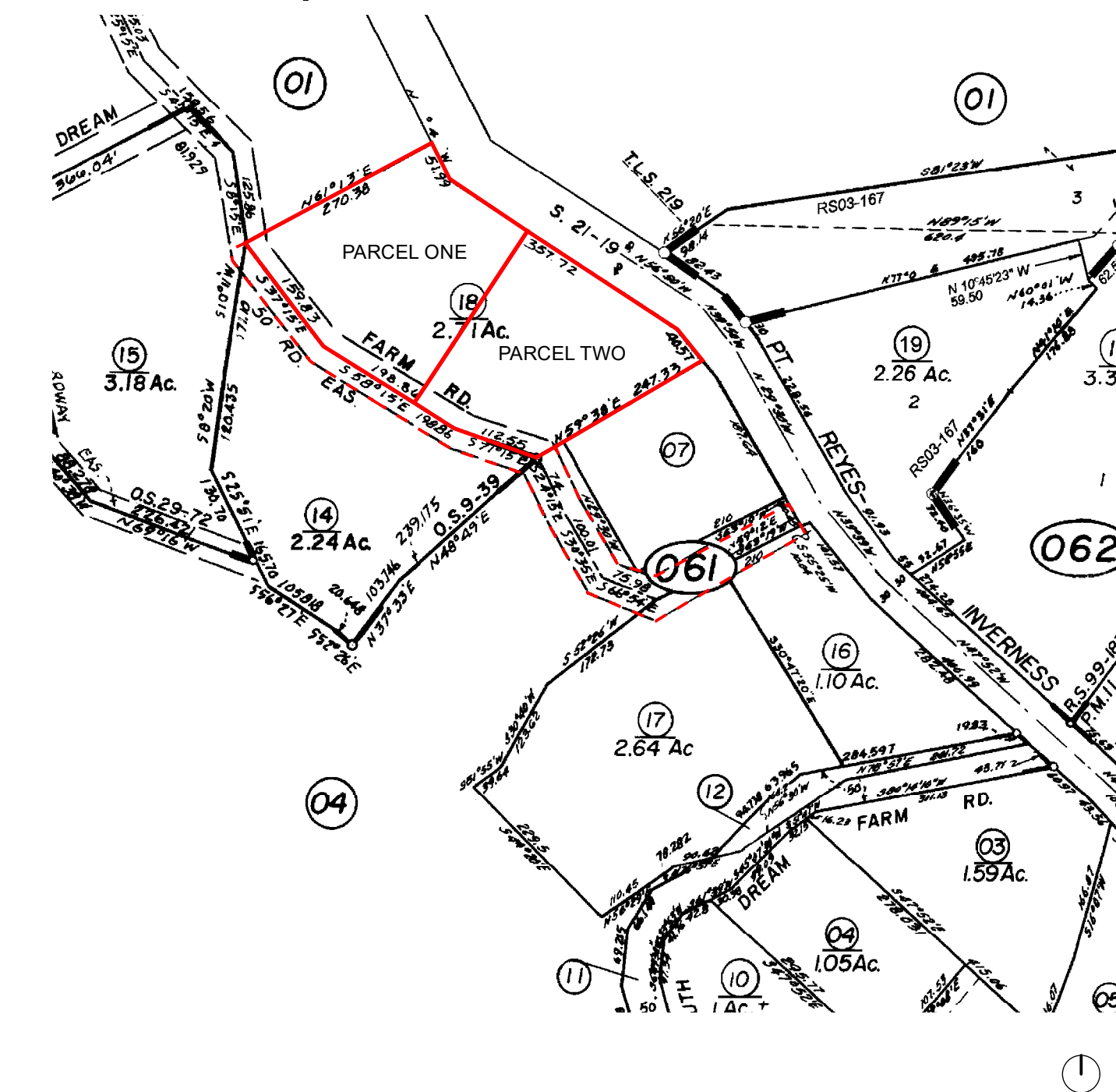
Applicable Codes

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2022 CALIFORNIA STATE ELECTRICAL CODE
- 2022 CALIFORNIA STATE MECHANICAL CODE
- 2022 CALIFORNIA STATE PLUMBING CODE
- CURRENT LOCAL JURISDICTIONAL PLANNING AND ADOPTED BUILDING CODES:
 - MARIN COUNTY COASTAL CODE
 - MARIN COUNTY BUILDING CODE

Project Vicinity Map



Parcel Map



Project Description

Proposed (N) single-family residence with detached garage and ADU on undeveloped lot per plans. Scope includes (N) driveway in area of (E) graded dirt road, (N) on-site wastewater treatment system and leach field, site retaining walls and various site improvements per plans.

Associated Permit Environmental Health Services 04 1878 (Septic System)

Project Data

Parcel numbers: 114-061-18
Jurisdiction: Marin County
Zoning: C-R1-B5
Land Use: Single Family Residential
Community plan: West Marin
Community: Inverness
Local Coastal Plan: Inverness
Fire District: 2
Fire Risk: County Fire
FEMA Flood Zone: Very High
X

Front Setback: 30'
Side Setback: 20'
Rear Setback: 30'
Seasonal Wetland: 100'

Project Areas

GSF AREA SUMMARY* (P)
L1: 1767.11 SF
L2: 439.49 SF
Garage: 500.18 SF
ADU: 455.11 SF
ALL: 3,160.89 SF

PARCEL AREA: 117,448.47 SF
2.7 ACRES

See Civil Sheets C1.0 - C3.0 for impervious surface and area of disturbance data.

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Legal Notes

INDEMNIFICATION
THE OWNER AGREES TO INDEMNIFY THE PLAN PREPARER, AND TO HOLD THE PLAN PREPARER HARMLESS, AGAINST ANY AND ALL LOSSES, DAMAGES, COSTS, EXPENSES (INCLUDING REASONABLE ATTORNEYS FEES), LIABILITIES AND OTHER OBLIGATIONS WHICH THE PLAN PREPARER INCURS AS A RESULT OF ANY THIRD PARTY CLAIM, ACTION OR PROCEEDING BASED ON ALLEGATION THAT THE PLAN PREPARER HAS BREACHED A MATERIAL TERM OF THIS AGREEMENT IN ANY MANNER OTHER THAN BY THE PLAN PREPARER'S SOLE NEGLIGENCE OR WILLFUL MISCONDUCT IN THE PERFORMANCE OF SERVICES, PROVIDED HOWEVER THAT THE PLAN PREPARER SHALL PROMPTLY NOTIFY THE OWNER IN WRITING OF ANY CLAIM OR THREATENED OR ACTUAL ACTION PROCEEDING. THE PLAN PREPARER SHALL CONTROL THE DEFENSE OF ANY SUCH CLAIM, ACTION OR PROCEEDING, INCLUDING THE SELECTION OF COUNSEL, BUT THE OWNER SHALL HAVE THE RIGHT TO PARTICIPATE IN ANY ACTION OR PROCEEDING WITH COUNSEL OF THE OWNER'S SELECTION.

LIMITATION OF LIABILITY
NEITHER THE PLAN PREPARER NOR THE PLAN PREPARER'S CONSULTANTS, AGENTS, REPRESENTATIVES OR EMPLOYEES SHALL BE LIABLE TO THE OWNER FOR ANY INDIRECT, SPECIAL, RELIANCE, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES (OTHER THAN FOR PERSONAL INJURY) ARISING OUT OF, OR IN CONNECTION WITH THE PERFORMANCE OF SERVICES UNDER THIS AGREEMENT, WHETHER IN ACTION BASED ON CONTRACT INCLUDING BREACH OF REPRESENTATION OR WARRANTY, DELAY, NEGLIGENCE (ACTIVE OR PASSIVE), STRICT TORT OR OTHERWISE.

THE ENTIRE LIABILITY OF THE PLAN PREPARER'S CONSULTANTS, AGENTS AND EMPLOYEES, THAT DOES NOT INVOLVE A THIRD PARTY CLAIM, SHALL IN NO EVENT EXCEED THE TOTAL AMOUNT PAID TO THE PLAN PREPARER BY THE OWNER FOR SERVICES PERFORMED HEREUNDER.

THE SOLE REMEDY FOR ANY BREACH OR ALLEGED BREACH OF THIS AGREEMENT IS THE PREPARATION OF CORRECTED DESIGN DOCUMENTS AS MAY BE REQUIRED BY THE JURISDICTION WHICH ISSUES PERMIT.

Abbreviations

+, &	AND
@	AT
ABV	ABOVE
ADA	AMERICAN WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
AL	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATELY
B.O.	BOTTOM OF BOARD
BD	BELOW
BLW	BOTH SIDES
BS	BETWEEN
BTWN	BUILDING
BLDG	BLOCK, BLOCKING
BLK	BEYOND
BYND	
CL	CENTER LINE
CLG	CEILING
CLMN	COLUMN
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
DEMO	DEMOLITION
DIA	DIAMETER
DM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRIC
EO	EDGE OF
EQ	EQUAL
EQUIP	EQUIPMENT
(E)	EXISTING
FB	FABRIC
FD	FLOOR DRAIN
FDN	FOUNDATION
F.O.F.	FACE OF FINISH
FF	FINISHED FLOOR
FL	FLOOR
FIG	FIGURE
FT	FEET
GA	GAUGE, GAGE
GALV	GALVANIZED
G.B.	GRAB BAR
GYP	GYPSUM BOARD
GL	GLASS
GR	GRADE
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
H	HEIGHT
HVAC	HEAT / VENTILATION / AIR CONDITIONING
ID	INSIDE DIMENSION
IN	INCH
INCL	INCLUDING
INFCO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
LIN	LINEAR
LL	LOWER LEVEL
LOC	LOCATION
LP	LOW POINT
MAX	MAXIMUM
MECH	MECHANICAL
MEP	MECHANICAL ELECTRICAL PLUMBING
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
(N)	NEW
NEC	NECESSARY
NTS	NOT TO SCALE
NIC	NOT IN CONTRACT
NIS	NOT IN SCOPE
NO.	NUMBER
OC	ON CENTER
OD	OVERFLOW DRAIN
OP	OWNER PROVIDED
OTB	OPEN TO BEYOND
PR	PAIR
(P)	PROPOSED
PLYWD	PLYWOOD
PAINT	
RAD	RADIUS
RD	ROOF DRAIN
REQ'D	REQUIRED
RM	ROOM
RO	ROUGH OPENING
SC	SOLID CORE
SCHED	SCHEDULE
SEC	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATIONS
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STFRONT	STOREFRONT
STRUC	STRUCTURAL
STUV	STAIN & VARNISH
SUSP	SUSPENDED
TBD	TO BE DECIDED
T.O.	TOP OF
THK	THICK
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VEN	VENEER
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VF	VERIFY IN FIELD
VL	VOLUME
WA	WASHER
W	WITH
WC	WATER CLOSET
WOOD	WOOD
W/O	WITHOUT

Reference Symbols

	CENTERLINE
	ELEVATION REF TOP: POINT REFERENCE BOTTOM: ELEVATION
	ROOM REF TOP: ROOM NAME BOTTOM: ROOM NO.
	ASSEMBLY TYPE REF INSIDE: ASSEMBLY NO.
	GRID LINE INSIDE: GRID REFERENCE
	INTERIOR ELEVATION REF INSIDE: SHEET NO. OUTSIDE: DWG NO.
	SECTION REFERENCE SHEET NO./DWG. NO.
	DETAIL REFERENCE TOP: DRAWING NO. BOTTOM: SHEET NO.
	WINDOW REFERENCE TAG
	DOOR REFERENCE TAG
	SLOPE RATIO REFERENCE TOP: RUN FELT: RISE

Dimensioning Conventions

- DIMENSIONS AS NOTED IN THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DIMENSIONS ARE FROM GRID LINE TO FACE OF CONCRETE OR STUD ON PLANS AND FACE OF FINISH ON ALL OTHER DRAWINGS, UNLESS OTHERWISE NOTED. ANY ERRORS, OMISSIONS, OR AMBIGUITIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SEE ENLARGED PLANS, FOR ADDITIONAL DIMENSIONS & INFORMATION.
- DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE PLANS GOVERN OVER SMALL SCALE PLANS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. IF UNABLE TO LOCATE THE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE &/OR FINISH WALL UNLESS OTHERWISE NOTED.
- ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF SLAB OR PLYWOOD, UNLESS NOTED "A.F.F."
- DIMENSIONS ARE NOT ADJUSTABLE, UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.
- EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS:
 - STRUCTURAL OR DIMENSIONAL GRID LINES
 - CENTERLINE OF STEEL
 - CENTERLINE OF DOOR, WINDOW, OR CASED OPENING
- WHERE WALLS AND / OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES, UNLESS OTHERWISE NOTED.

Drawing References

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S.E.D. See Electrical Drawings
S.M.D. See Mechanical Drawings
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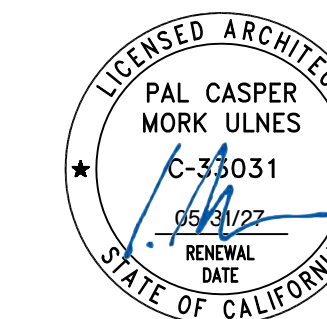
Project Information

Inverness

APN: 114-061-18
(N. Dream Farm Road)

Project No.: 24001

Stamp



Date: Issues and revisions

Sheet Description

Title Sheet

Plot Date: 06.20.2025 Issued For: Coastal Permit

Sheet No. Ref. North

G0.01

Scale
As noted

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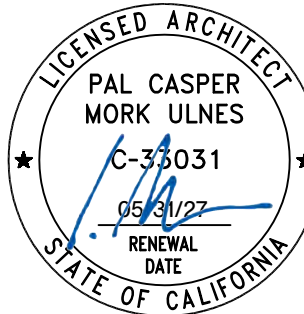
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Stamp



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Sheet Description
General Information

Plot Date: 06.20.2025 Issued For: Coastal Permit

Sheet No. Ref. North

G0.02

Scale
As noted

General Notes

1) ALL ASPECTS OF THE WORK HAVE NOT BEEN EXPLICITLY DESCRIBED. WORK NOT INCLUDED IS EXPLICITLY CALLED OUT. THESE PLANS ARE NOT INTENDED TO BE COMPLETE, OR TO BE USED ALONE AS CONTRACT, BID OR CONSTRUCTION DOCUMENTS.

2) REPORT TO THE PLAN PREPARER ANY ERRORS OR INCONSISTENCIES APPARENT OR SUSPECTED AND AWAIT A RESOLUTION BEFORE PROCEEDING. THE OBLIGATIONS OF THE PLAN PREPARER WITH RESPECT TO ANY SUCH ERRORS OR INCONSISTENCIES SHALL BE STRICTLY LIMITED TO PROVISION OF ADDITIONAL INFORMATION, IN A FORM DEEMED APPROPRIATE SOLELY BY THE PLAN PREPARER ONLY TO THE GENERAL CONTRACTOR.

3) CORRECTIONS OF ERRORS IN THIS DOCUMENT AND ADDITIONAL INFORMATION AS NECESSARY TO COMPLETE THE WORK WILL HAVE TO BE ARRANGED AND PAID FOR AS NECESSARY BY THE OWNER.

4) ALL DIMENSIONS AND (E) LOCATIONS ARE ASSUMED AND TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. DO NOT SCALE OFF THE DRAWINGS.

5) ALL DRAWINGS AND WRITTEN MATERIALS APPEARING HEREIN CONSTITUTE ORIGINAL WORK AND MAY NOT BE USED, DUPLICATED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE PLAN PREPARER. ALL RIGHTS IN THESE DOCUMENTS ARE RESERVED BY THE PLAN PREPARER.

6) THESE DOCUMENTS DO NOT CREATE OR EVIDENCE ANY OBLIGATIONS OR DUTIES OF ANY KIND TO THE OWNER, ANY THIRD PARTY, OR THE GENERAL CONTRACTOR OUTSIDE OF THE ASSISTANCE IN SECURING PERMITS. THEY ARE NOT REPRESENTED TO BE IN COMPLETE CONFORMANCE WITH CODES, REGULATIONS, LAWS, OR ACCEPTED INDUSTRY PRACTICE. THE OWNER IS RESPONSIBLE FOR RETAINING A LICENSED CONTRACTOR DURING CONSTRUCTION SO THAT OBSERVATION AND ADJUSTMENT TO THE STRUCTURE CAN BE MADE AS FIELD CONDITIONS INDICATE.

7) THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, SAFETY, COSTS, SEQUENCES, PROCEDURES, DETAILS AND ALL DAMAGES TO PERSONS OR PROPERTY NOT SPECIFICALLY INDICATED FOR DEMOLITION AS PART OF THE WORK, WHETHER OR NOT COVERED BY THE PAYMENTS MADE. ANY PARTY MAKING ANY USE WHATSOEVER OF THESE DOCUMENTS, OR DERIVING ANY BENEFIT FROM THEM, SHALL FULLY INDEMNIFY AND HOLD HARMLESS THE PLAN PREPARER AND THEIR AGENTS, EMPLOYEES AND CONSULTANTS TO THE FULLEST EXTENT POSSIBLE BY LAW AGAINST ALL OMISSION OF ANY PARTY, SUBCONTRACTOR OR ANY DIRECT OR INDIRECT EMPLOYEE OR AGENT, CLAIMS, LOSSES, AND EXPENSES THAT ARE CAUSED IN WHOLE OR PART BY ANY NEGLIGENT ACT OR OMISSION OF ANY PARTY, SUBCONTRACTOR, OR ANY DIRECT OR INDIRECT EMPLOYEE OR AGENT, WHETHER OR NOT CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER. THIS OBLIGATION SHALL NOT BE LIMITED IN ANY WAYBY ANY EMPLOYEE BENEFIT ACT OR AFFECT ANY OTHER RIGHT OR OBLIGATION.

8) GENERAL CONTRACTOR TO PROVIDE MOCK-UPS OF FINISH MATERIALS TO ARCHITECT PRIOR TO ORDERING AND MANUFACTURE.

9) ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND FIRE CODES, CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA ENERGY CODE.

10) ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO FIXTURE & OR FINISH WALL UNLESS OTHERWISE NOTED.

11) THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS AT THE JOB SITE DURING CONSTRUCTION FOR THE USE OF ALL TRADES AND FOR FIELD INSPECTOR REVIEW. CONSTRUCTION DOCUMENTS SHALL INCLUDE THE PLANS & SPECIFICATIONS. PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

12) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY REGULATORY AUTHORITY OF MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.

13) THE GENERAL CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATORY CITY AND STATE AGENCIES, UON.

14) THE GENERAL CONTRACTOR SHALL APPLY, PAY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES, UON.

15) THE CONTRACTOR AND SUBCONTRACTOR SHALL PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATES SHALL NAME THE OWNER AS ADDITIONALLY INSURED.

16) THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS AND ADJACENT PROPERTIES.

17) THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS.

18) THROUGHOUT THE DURATION OF THE PROJECT THE CONTRACTOR SHALL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF A CLAIM OF LIEN AGAINST THE OWNER BY SUBCONTRACTORS OR SUPPLIERS OF MATERIALS, LABOR, SERVICE, OR EQUIPMENT OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS UNLESS HE CAN SHOW REASONABLE AND JUSTIFIABLE CAUSE. APPROVAL FOR FINAL PAYMENT SHALL BE CONTINGENT UPON THE CONTRACTORS OBTAINING AND FURNISHING TO THE ARCHITECT UPON REQUEST THE SIGNED RELEASE FROM SUCH INDIVIDUALS OR COMPANIES.

19) INFORMATION RELATED TO THE EXISTING CONDITIONS GIVEN HEREIN WAS OBTAINED FROM OWNER-PROVIDED DOCUMENTATION AVAILABLE TO THE ARCHITECT AT THE TIME OF DESIGN. THE ACCURACY OF SUCH INFORMATION HAS NOT BEEN EXHAUSTIVELY VERIFIED. DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND SHALL BE CHECKED BY THE CONTRACTOR.

20) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

21) COMMENCEMENT OF WORK BY ANY TRADE SHALL CONSTITUTE CONTRACTORS DETERMINATION THAT CONDITIONS ARE ACCEPTABLE FOR SUCH WORK.

22) SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASON, UNENFORCEABLE, SUCH UN-ENFORCEABILITY SHALL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR SHALL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT.

23) THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO OBTAIN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE WILL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

24) SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN AND WORKERS, SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST, ESTABLISHED PRACTICE OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED U.O.N. IN DRAWINGS OR SPECIFICATIONS.

25) ALL FURNISHED MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT FOR THE WORK OR OPTION, U.O.N.

26) CONTRACTOR SHALL INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS UNLESS DIRECTED OTHERWISE BY ARCHITECT.

27) THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF WORK.

28) NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. REPLACEMENT OF DEFECTIVE WORK SHALL NOT BE LIMITED TO THE PROJECT WARRANTY PERIOD. SUCH WORK SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONSTRUCTION CONTRACT. NO PAYMENT EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

29) CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER CONTRACT DOCUMENTS, GOVERNING CODES OR ORDINANCES REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

30) THE DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY. EVERY EFFORT HAS BEEN MADE TO COORDINATE THE DRAWINGS AND SPECIFICATION OF THE ARCHITECT AND THE CONSULTING ENGINEERS. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED, ANY ITEM, INSTRUCTION, ETC., SHOWN IN ONE LOCATION SHALL BE REQUIRED AS IF SHOWN ON ALL APPLICABLE LOCATIONS. IN CASE OF DISCREPANCY, CONSULT WITH ARCHITECT BEFORE PROCEEDING.

31) WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACT OR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE SECURING OF ALL ASSOCIATED PERMITS. THE GENERAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE DESIGN-BUILD SUBCONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS. DESIGN-BUILD DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL U.O.N.

32) CONTRACTOR SHALL SCHEDULE AND PERFORM THE WORK DURING NORMAL WORKING HOURS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. ANY OVERTIME REQUIRED SHALL BE INCLUDED IN THE BID. NO CHANGES IN THE CONTRACT AMOUNT WILL BE AUTHORIZED AS A RESULT OF OVERTIME INCURRED.

33) CONTRACTOR TO PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM THE CONSTRUCTION AREA. REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM THE CONTRACTOR'S OPERATIONS DAILY. REMOVE RUBBISH AND DEBRIS AS IT ACCUMULATES AND KEEP AREA BROOM CLEAN. CONTRACTOR SHALL NOT STORE RUBBISH ON SITE.

34) CONTRACTOR SHALL PROVIDE PROTECTION TO ALL (E) FINISHED IN PUBLIC CORRIDORS AND SPACES. EXTERIOR GLAZING AND SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED THEREBY BY CONTRACTOR OR SUBCONTRACTORS.

35) THE CONTRACTOR SHALL PREPARE AND SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON-SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE SCHEDULE SHALL BE SUBMITTED AS PART OF THE BID. THE SCHEDULE WITH NECESSARY MODIFICATIONS AS MUTUALLY AGREED TO BY OWNER AND CONTRACTOR SHALL BECOME PART OF THE CONTRACT FOR CONSTRUCTION.

36) THE WORK SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, DELIVERY AND EQUIPMENT, INCLUDING SCAFFOLDING, SHORING, DISPOSAL, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WORK AS INDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND MANUFACTURER'S REQUIREMENTS.

37) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS SUPERVISION AND SHALL MAINTAIN CURRENT CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.

38) THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK IS BEING PERFORMED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.

39) CONTRACTOR SHALL PROVIDE A DEDICATED TELEPHONE AND FAX MACHINE ON SEPARATE LINES AT THE JOB SITE DURING THE ENTIRE DURATION OF CONSTRUCTION.

40) THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE AND SUBMIT TO THE ARCHITECT ALL SHOP DRAWINGS. THE CONTRACTOR SHALL CHECK AND COORDINATE ALL PRODUCT DATA AND SAMPLES AND VERIFY THAT ALL MATERIALS, FIELD MEASUREMENTS AND RELATED FIELD CONSTRUCTION CRITERIA CONTAINED WITHIN SUCH SUBMITTALS CONFORMS WITH THE REQUIREMENTS OF WORK, THE PROJECT AND THE CONTRACT DOCUMENTS. USE THE ARCHITECT'S SUBMITTAL FORM. THE ARCHITECT WILL NOT REVIEW, APPROVE, OR TAKE THE APPROPRIATE ACTION ON SHOP DRAWINGS, PRODUCT DATA AND SAMPLES UNLESS THE CONTRACTOR HAS SUBMITTED A RECOMMENDATION FOR ACTION. SUBMIT SHOP DRAWINGS, MOCK-UPS, SAMPLES AND OTHER REQUIRED SUBMITTALS IN A TIMELY MANNER SO AS NOT TO DELAY THE PROJECTS. ALLOW THE ARCHITECT ONE WEEK FOR REVIEW AND APPROVAL.

41) REQUIRED SUBMITTALS SHALL INCLUDE, (BUT NOT LIMITED) TO THE FOLLOWING:

- A. MILL WORK AND LAVATORY
- B. ALL FINISH ITEMS
- C. DOORS, FRAMES, GLAZED PARTITIONS AND WINDOWS
- D. FIRE DOORS AND FINISH HARDWARE
- E. LIFE SAFETY DEVICES
- F. SECURITY DEVICES
- G. LIGHT FIXTURES
- H. ELECTRIC HARDWARE
- I. PLUMBING FIXTURES AND FITTINGS
- J. HVAC DISTRIBUTION AND EQUIPMENT
- K. STRUCTURAL STEEL

CONTRACTOR SHALL SUBMIT A MINIMUM OF FOUR SAMPLES OR FOUR COPIES OF SCHEDULES AND DATA FOR EACH ITEM. SUBMIT ONE REPRODUCIBLE AND THREE PRINTS OF EACH SHOP DRAWING.

42) THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S OR OWNER'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES. UNLESS THE CONTRACTOR HAS SPECIFICALLY NOTIFIED THE ARCHITECT OF SUCH DEVIATION IN WRITING AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN SPECIFIC APPROVAL TO THE SPECIFIC DEVIATION.

43) THERE SHALL BE NO SUBSTITUTION OF MATERIAL, WHERE A MANUFACTURER IS SPECIFIED WHERE THE TERM "OR APPROVED EQUIVALENT" IS USED. THE ARCHITECT ALONE SHALL DETERMINE QUALITY BASED UPON COMPLETE INFORMATION SUBMITTED BY THE CONTRACTOR. SUBSTITUTIONS SHALL NOT BE MADE UNLESS DRAWINGS AND/OR CUT SHEETS ARE SUBMITTED TO THE ARCHITECT FOR APPROVAL. USE ARCHITECT'S SUBMITTAL FORMS.

44) THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, TELEPHONE, ELECTRICAL, SECURITY, LIFE SAFETY AND SPRINKLER WORK SO AS TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

45) FINAL LOCATIONS OF ALL EQUIPMENT, PANEL BOARDS, FIXTURES, ETC. SHALL BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

46) ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY AND FREE OF VIBRATION. SEE MANUFACTURER'S RECOMMENDATIONS FOR ACOUSTICALLY SOUND CONSTRUCTION METHODS.

47) THE CONTRACTOR SHALL ASSIST THE OWNER IN THE INSTALLATION AND/OR COORDINATION OF ALL ITEMS NOT IN CONTRACT, INCLUDING BUT NOT LIMITED TO APPLIANCES, FIXTURES, TELEPHONES, AUDIO-VISUAL, CABLE TELEVISION, ARTWORKS, SIGNAGE, ETC.

48) UPON COMPLETION OF THE WORK OR SHORTLY BEFORE, THE CONTRACTOR SHALL DIRECT THE ARCHITECT AND ENGINEERS TO PREPARE A PUNCH LIST OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT SHALL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE OWNER - CONTRACTOR AGREEMENT.

49) THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF REPRODUCIBLES OF THE SHOP DRAWINGS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME AND SHALL MARK-UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER'S PURPOSES. CONTRACTOR SHALL GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE OR RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED 'AS-BUILT'S' DRAWINGS.

50) THE CONTRACTOR SHALL FURNISH TO THE OWNER TWO COPIES OF MANUFACTURER'S INSTRUCTION, OPERATION, AND MAINTENANCE MANUALS FOR PRODUCTS AND EQUIPMENT SPECIFIED IN THE CONTRACT DOCUMENTS, INCLUDING SPECIAL TOOLS, ACCESSORIES, SPARE PARTS, ETC.

51) GENERAL CONTRACTOR SHALL PROVIDE WRITE UP ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY PERIOD SHALL COMMENCE AT THE DATE OF OCCUPANCY.

52) ALL WORK SHALL PROVIDE FOR MATERIAL EXPANSION AND CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS SUFFICIENT TO PREVENT CRACKS, BUCKLING, WARPING, OR OTHER DEFORMATION DUE TO HUMIDITY AND TEMPERATURE CHANGE AND NORMAL LOADINGS.

53) ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

54) DETAILS SHALL GOVERN OTHER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. DIE DIMENSIONING NOTES. 55) LIFE SAFETY SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.

56) MECHANICAL AND PLUMBING SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES. CONTRACTOR TO FORWARD CUT SHEETS OF UNITS PRIOR TO FIRST SLOOF FRAMING AND NOTIFY ARCHITECT OF CLEARANCES REQUIRED BY UNITS.

57) ELECTRICAL SYSTEMS WORK SHALL BE PROVIDED ON A DESIGN-BUILD BASIS THROUGH THE GENERAL CONTRACTOR U.O.N. WORK TO COMPLY WITH APPLICABLE CODES.

58) THE APPLIANCE OF THE ARCHITECT'S IDENTIFICATION BLOCK ON DRAWINGS PREPARED BY OTHER FIRMS SHALL NOT BE CONSTRUED TO INDICATE RESPONSIBILITY FOR THE CONTENTS OF SUCH DRAWINGS ON THE PART OF THE ARCHITECT, EXCEPT AS REQUIRED BY LAW.

59) THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE ARCHITECT.

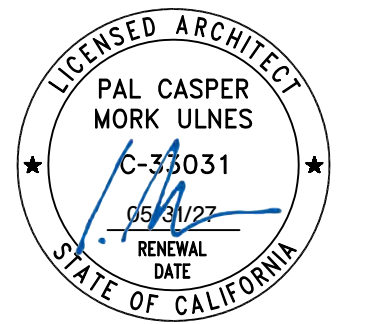
60) THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS, LEAD PAINT, OR OTHER HAZARDOUS MATERIALS ON THE PROJECT SITE PRIOR TO STARTING WORK. THE CONTRACTOR SHALL MAKE A GOOD FAITH EFFORT TO IDENTIFY ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK, OR DURING DEMOLITION, STOP WORK IMMEDIATELY AND CONTACT THE OWNER AND ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.

61) MORK-ULNES ARCHITECTS DOES NOT CARRY LIABILITY INSURANCE TO COVER WORK DONE REGARDING THE IDENTIFICATION, REPAIR, REMOVAL OR ENCAPSULATION OF HAZARDOUS MATERIALS. ANY WORK RELATED TO THE IDENTIFICATION AND REMOVAL OF HAZARDOUS MATERIALS IS SPECIFICALLY EXCLUDED FROM THE SCOPE OF WORK REPRESENTED IN THESE DOCUMENTS AND SHALL BE PERFORMED UNDER SEPARATE CONTRACT.

Project Information
Inverness

APN: 114-061-18
(N. Dream Farm Road)
Project No.: 24001

Stamp



Date: Issues and revisions

Sheet Description
Site Plan (E) / Constraints Map

Plot Date: 06.20.2025 Issued For: Coastal Permit

Sheet No. Ref. North

A0.01

Scale: As noted

GENERAL NOTES

- THESE DRAWINGS REPRESENT APPROXIMATIONS OF THE EXISTING CONDITIONS. ALL CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTORS PRIOR TO CONSTRUCTION.
- ALL GRIDLINES CORRESPOND TO FACE OF FRAMING, U.N.O.

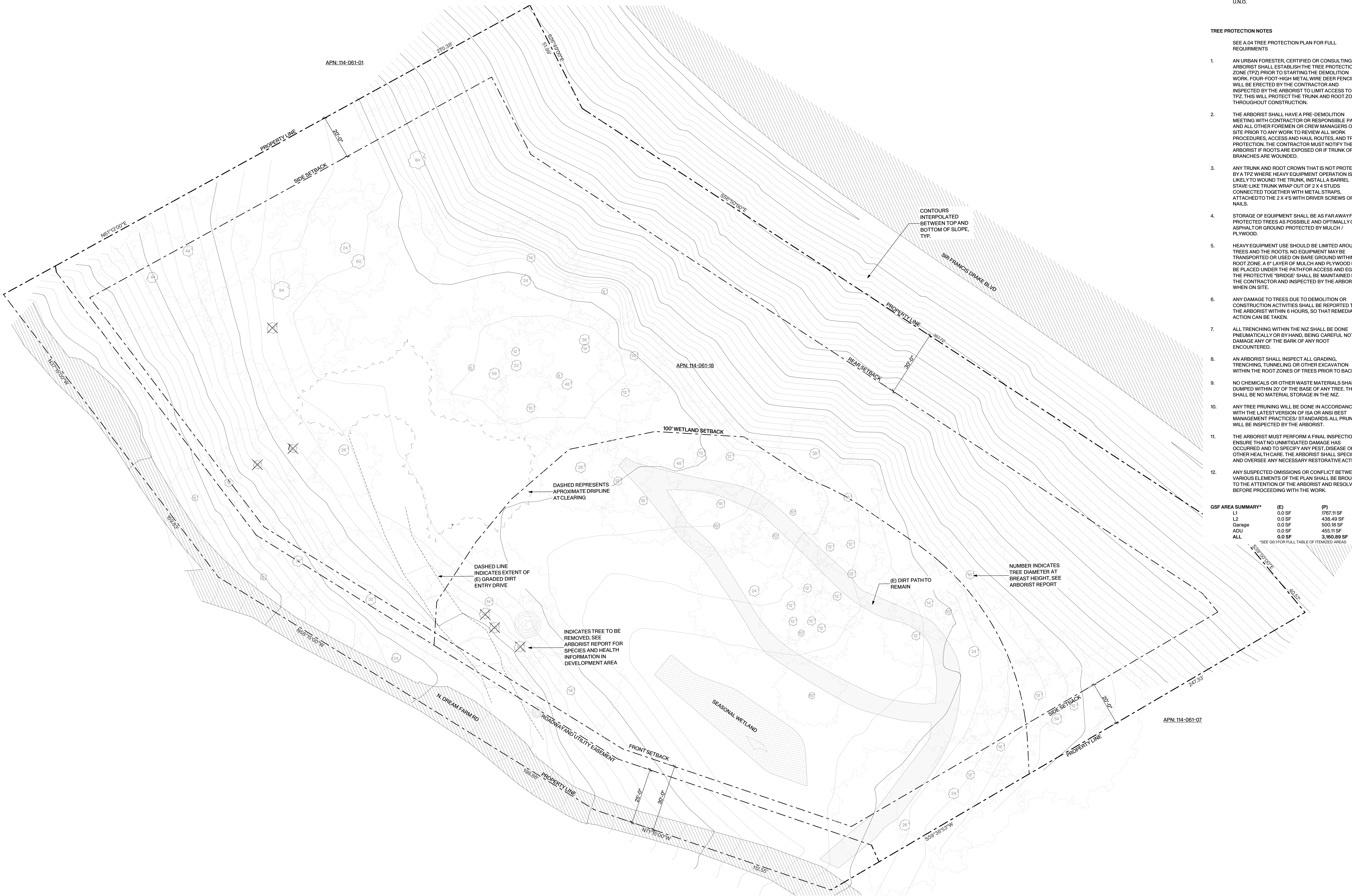
TREE PROTECTION NOTES

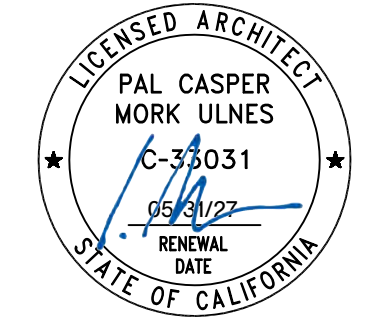
- SEE A.04 TREE PROTECTION PLAN FOR FULL REQUIREMENTS
- AN URBAN FORESTER, CERTIFIED OR CONSULTING ARBORIST SHALL ESTABLISH THE TREE PROTECTION ZONE (TPZ) PRIOR TO STARTING THE DEMOLITION WORK. FOUR-FOOT-HIGH METAL WIRE DEER FENCING WILL BE ERECTED BY THE CONTRACTOR AND INSPECTED BY THE ARBORIST TO LIMIT ACCESS TO THE TPZ. THIS WILL PROTECT THE TRUNK AND ROOT ZONE THROUGHOUT CONSTRUCTION.
- THE ARBORIST SHALL HAVE A PRE-DEMOLITION MEETING WITH CONTRACTOR OR RESPONSIBLE PARTY AND ALL OTHER FOREMEN OR CREW MANAGERS ON SITE PRIOR TO ANY WORK TO REVIEW ALL WORK PROCEDURES, ACCESS AND HAIL ROUTES, AND TREE PROTECTION. THE CONTRACTOR MUST NOTIFY THE ARBORIST IF ROOTS ARE EXPOSED OR IF TRUNK OR BRANCHES ARE WOUNDED.
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- STORAGE OF EQUIPMENT SHALL BE AS FAR AWAY FROM PROTECTED TREES AS POSSIBLE AND OPTIMALLY ON ASPHALT OR GROUND PROTECTED BY MULCH / PLYWOOD.
- HEAVY EQUIPMENT USE SHOULD BE LIMITED AROUND TREES AND THE ROOTS. NO EQUIPMENT MAY BE TRANSPORTED OR USED ON BARE GROUND WITHIN THE ROOT ZONE. A 6" LAYER OF MULCH AND PLYWOOD MUST BE PLACED UNDER THE PATH FOR ACCESS AND EGRESS. THE PROTECTIVE 'BRIDGE' SHALL BE MAINTAINED BY THE CONTRACTOR AND INSPECTED BY THE ARBORIST WHEN ON SITE.
- ANY DAMAGE TO TREES DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE ARBORIST WITHIN 6 HOURS, SO THAT REMEDIAL ACTION CAN BE TAKEN.
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- ANY SUSPECTED OMISSIONS OR CONFLICT BETWEEN VARIOUS ELEMENTS OF THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ARBORIST AND RESOLVED BEFORE PROCEEDING WITH THE WORK.

GSF AREA SUMMARY*

	(E)	(P)
L1	0.0 SF	1767.11 SF
L2	0.0 SF	438.49 SF
Garage	0.0 SF	500.18 SF
ADU	0.0 SF	455.11 SF
ALL	0.0 SF	3,160.89 SF

*SEE G01 FOR FULL TABLE OF ZONED AREAS





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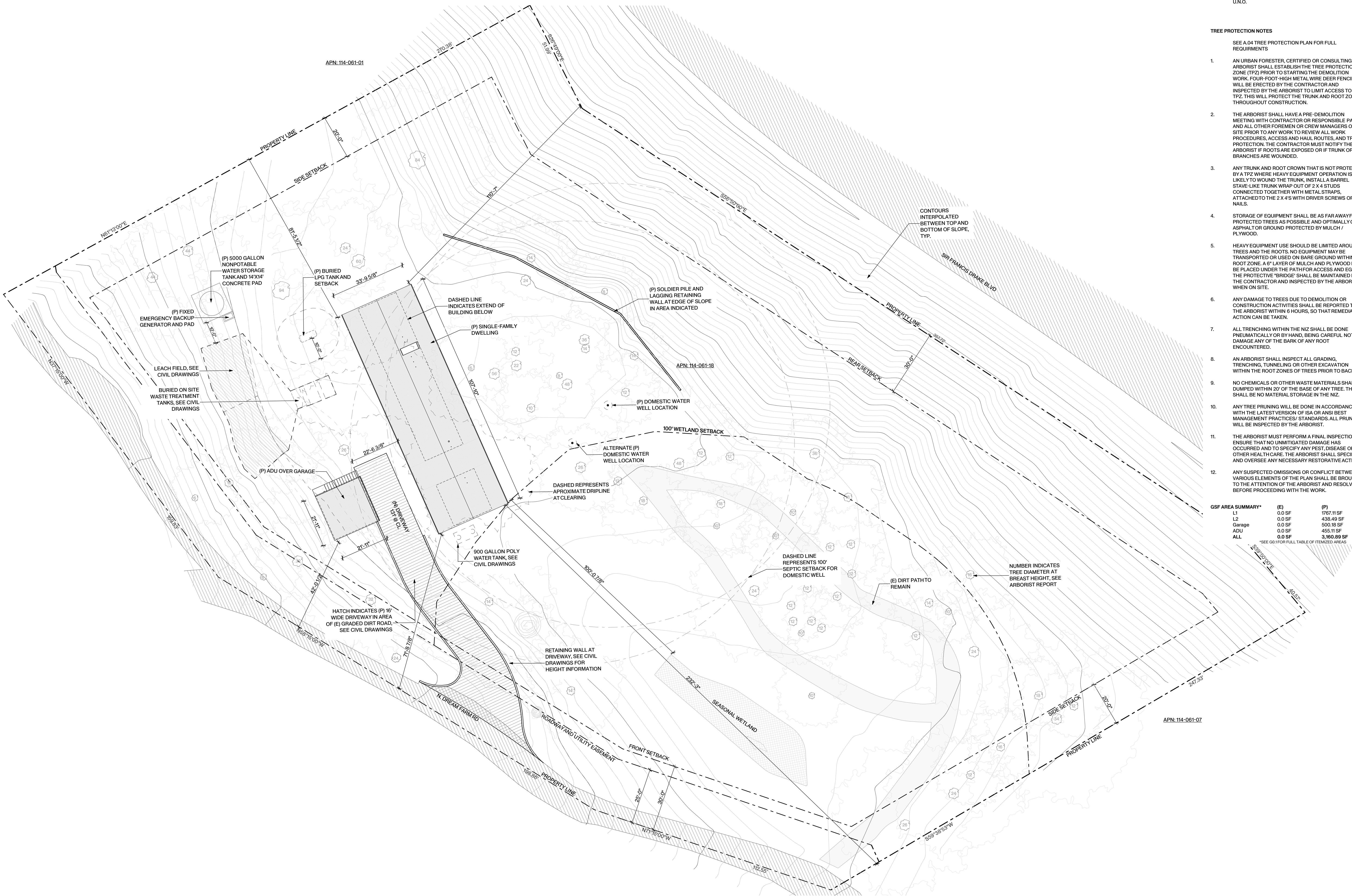
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*SEE G01 FOR FULL TABLE OF ITEMIZED AREAS



MORK-ULNES

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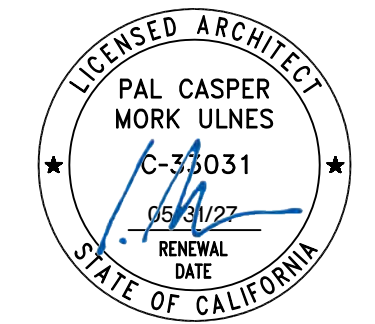
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Project Information Inverness

APN: 114-061-18
(N. Dream Farm Road)

Project No.: 24001

Stamp



Date: Issues and revisions

Sheet Description
Enlarged Site Plan (P)

Plot Date: 06.20.2025 Issued For: Coastal Permit

Sheet No. Ref. North

A0.03

Scale
As noted

GENERAL NOTES

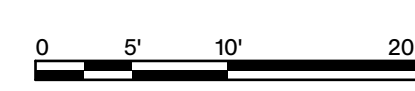
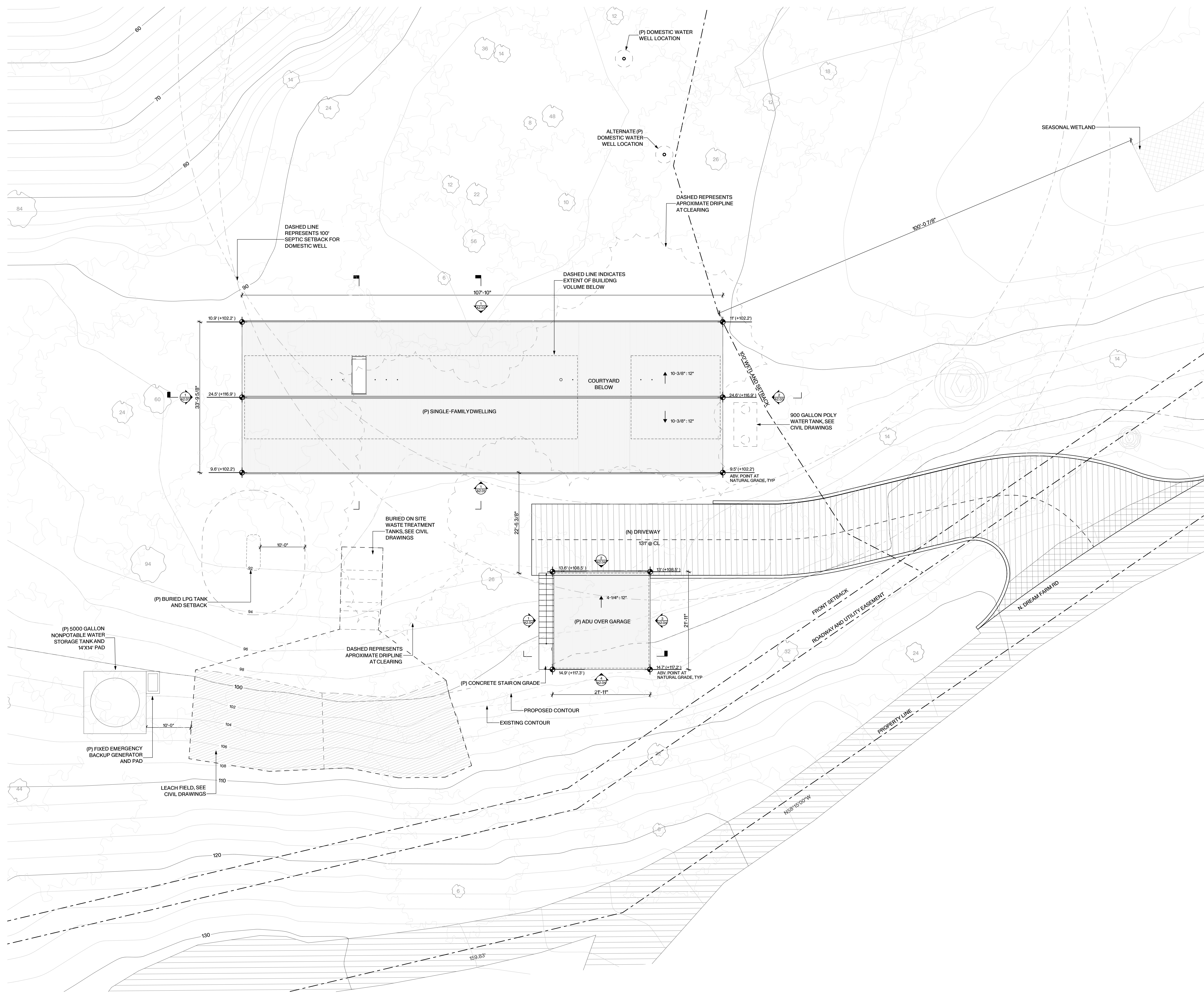
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- ALL ELEVATION MARKERS INDICATE POINT ABOVE NATURAL GRADE
- CORNER ELEVATIONS CORRESPOND TO STORY POLE ELEVATIONS

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L1	0.0 SF	1767.11 SF
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Garage	0.0 SF	500.16 SF
ADU	0.0 SF	465.17 SF
ALL	0.0 SF	3,160.89 SF

*SEE G0.1 FOR FULL TABLE OF ITEMIZED AREAS



Mork Ulnes Architects
morkulnes.com

Owner
Elizabeth and Mike Gallucci
1836 Laguna St
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Architect + Applicant
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Phone: (415) 925-2000
gdegheh-bgroup.com

Arboret

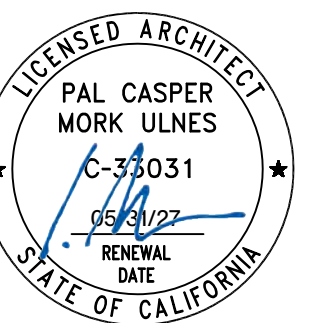


URBAN FORESTRY ASSOCIATES, INC.

Project Information
Inverness

APN: 114-061-18
(N. Dream Farm Road)
Project No.: 24001

Stamp



Date: Issues and revisions

THIS PLAN WAS ADAPTED FROM THE SITE PLAN PROVIDED BY MORK-ULNES ARCHITECTURE

Zachary Vought
ISA BCMA, WE-9995B
RCAR# 691
zach@urbanforestryassociates.com
04/24/2025

Sheet Description
Tree Protection Plan

Plot Date: 06.20.2025
Issued For: Coastal Permit

Sheet No. Ref. North

A0.04

Scale
As noted

ARBORIST'S CHECKLIST

- An urban forester, certified or consulting arborist shall establish the Tree Protection Zone (TPZ) prior to starting the demolition work. Four-foot-high metal wire deer fencing will be erected by the contractor and inspected by the arborist to limit access to the TPZ. This will protect the trunk and root zone throughout construction.
- The Arborist shall have a pre-demolition meeting with contractor or responsible party and all other foremen or crew managers on site prior to any work to review all work procedures, access and haul routes, and tree protection. The contractor must notify the Arborist if roots are exposed or if trunk or branches are wounded.
- Any trunk and root crown that is not protected by a TPZ where heavy equipment operation is likely to wound the trunk, install a barrel stave-like trunk wrap out of 2 X 4 studs connected together with metal straps, attached to the 2 X 4's with driver screws or 1" nails.
- Storage of equipment shall be as far away from protected trees as possible and optimally on asphalt or ground protected by mulch / plywood.
- Heavy equipment use should be limited around trees and the roots. No equipment may be transported or used on bare ground within the root zone. A 6" layer of mulch and plywood must be placed under the path for access and egress. The protective "bridge" shall be maintained by the contractor and inspected by the arborist when on site.
- Any damage to trees due to demolition or construction activities shall be reported to the arborist within 6 hours, so that remedial action can be taken.
- All trenching within the NIZ shall be done pneumatically or by hand, being careful not to damage any of the bark of any root encountered.
- An arborist shall inspect all grading, trenching, tunneling or other excavation within the root zones of trees prior to backfill.
- No chemicals or other waste materials shall be dumped within 20' of the base of any tree. There shall be no material storage in the NIZ.
- Any tree pruning will be done in accordance with the latest version of ISA or ANSI best management practices/ standards. All pruning will be inspected by the arborist.
- The arborist must perform a final inspection to ensure that no unmitigated damage has occurred and to specify any pest, disease or other health care. The arborist shall specify and oversee any necessary restorative actions.
- Any suspected omissions or conflict between various elements of the plan shall be brought to the attention of the arborist and resolved before proceeding with the work.

INSPECTION SCHEDULE

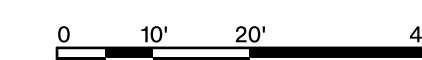
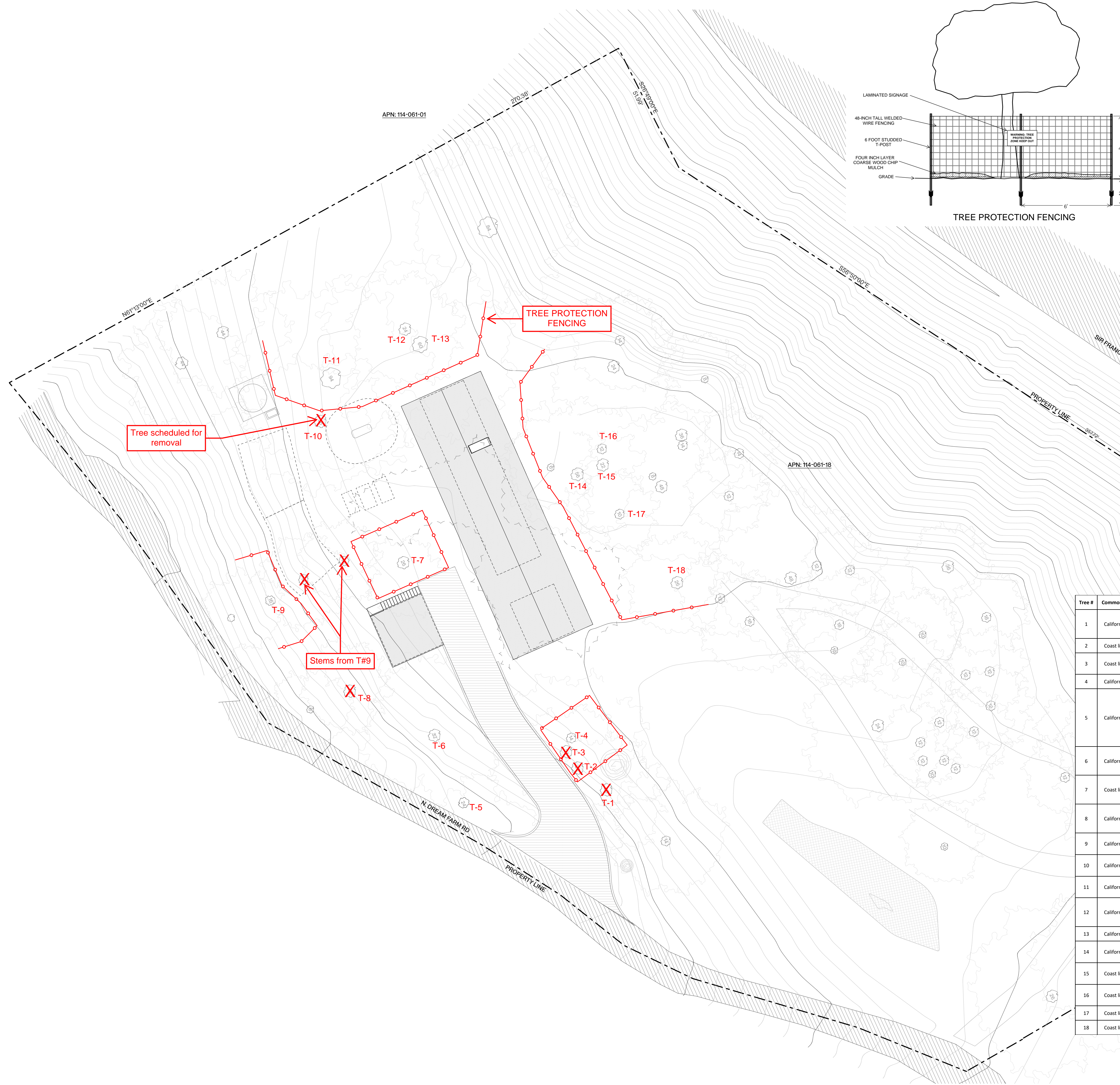
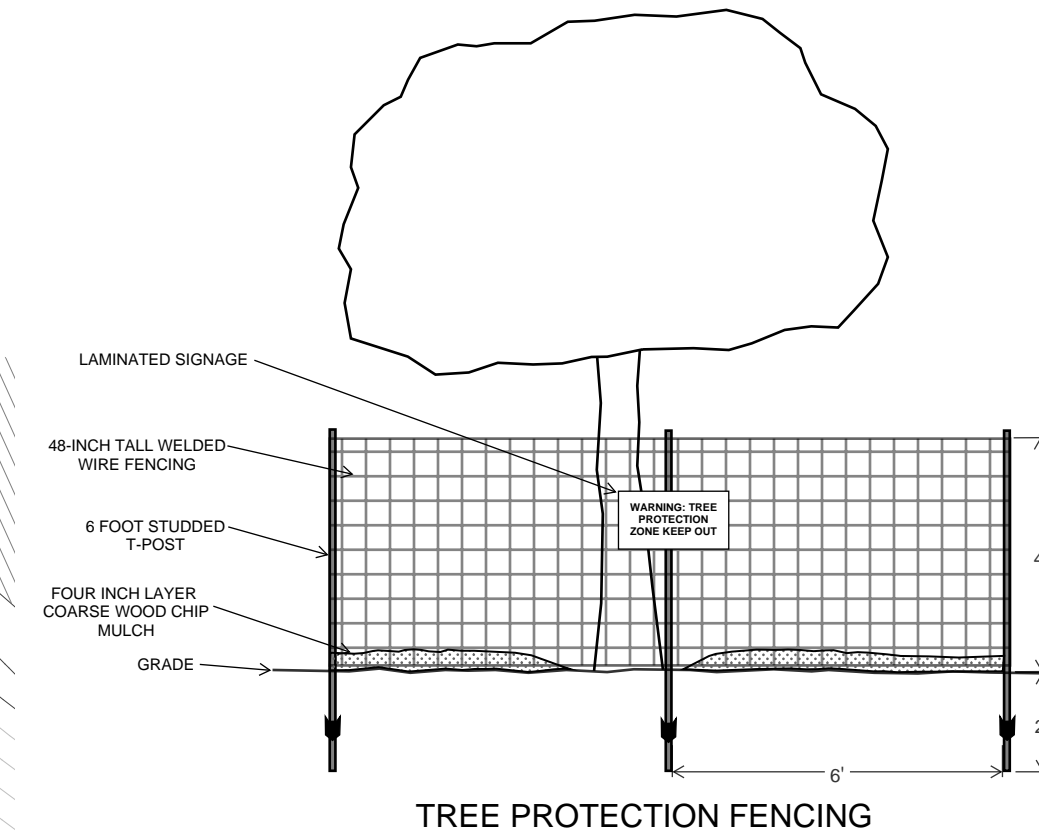
Inspection of site: Prior to Equipment and Materials Move In, Site Work, Demolition and Tree Removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection / non-intrusion zone fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: After installation of NIZ fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by contractor for access, soil disturbance or excavation areas within root zones of protected trees. Assess any changes in the health of trees since last inspection.

Inspection of site: During excavation or any activities that could affect trees: Inspect site during any activity within the Non-Intrusion Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction: Inspect for tree health and make any necessary recommendations.

Tree #	Common Name	Botanical Name	Trunk Diameter	Protected Status	Health	Structure	Form	Comments	Recom'd
1	California Bay	<i>Umbellularia californica</i>	18.5	Protected	Good	Very Poor	Very Poor	This is the remaining portion of tree still standing after it split apart, exposing extensive internal decay. The remaining part of the tree leans heavily over the proposed driveway and targets the main road.	Whole tree removal
2	Coast live oak	<i>Quercus agrifolia</i>	20.5	Heritage	Fair to Good	Fair	Poor to Fair	Active fungal disease in lower trunk. Symptoms consistent with sudden oak death.	Whole tree removal
3	Coast live oak	<i>Quercus agrifolia</i>	22	Heritage	Fair	Fair to Good	Fair	Asymmetrical canopy distributed to the north. Multiple areas of active sapwood disorder on the south and east side of the trunk up to about 5 feet.	Whole tree removal
4	California Bay	<i>Umbellularia californica</i>	14	Protected	Good	Good	Fair	Asymmetrical canopy distributed north.	Preserve and Prune
5	California Bay	<i>Umbellularia californica</i>	40, 24	Heritage	Good	Fair to Good	Fair to Good	Trunk lean and canopy distribution south over the main road.	Preserve and Prune
6	California Bay	<i>Umbellularia californica</i>	six stems 8-36" arising from fallen trunk	Heritage	Good	Fair	Fair	This tree failed from the roots in the distant past. There are multiple vertical sprouts originating from the fallen trunk. There are multiple vertical stems with weak attachment points that need to be pruned to mitigate risk.	Preserve and Prune
7	Coast live oak	<i>Quercus agrifolia</i>	28	Heritage	Good	Fair	Fair	Tree is past its prime. Evidence of decay cavities in many large limbs. Limited options to mitigate risk with pruning. Moderate construction impacts due to proximity to new garage and home.	Preserve and Prune
8	California Bay	<i>Umbellularia californica</i>	12.5	Protected	Good	Very Poor	Poor to Fair	Targets the proposed garage. A larger portion of this tree snapped off at the base in the remaining stem is actively falling. There is extensive decay where the fallen stem tore out.	Whole tree removal
9	California Bay	<i>Umbellularia californica</i>	~8"	Heritage	Good	Fair	Fair to Good	Massive tree with over 10 stems, many of which bow heavily over the proposed building site and garage. In the distant past a stem four from the tree, but continued growing.	Preserve and Prune
10	California Bay	<i>Umbellularia californica</i>	~36"	Heritage	Poor to Fair	Very Poor	Poor	Alive but in very poor condition, with extensive decay in the lower trunk, and the only live canopy are small epicormic sprouts from a 15-foot high stump.	Whole tree removal
11	California Bay	<i>Umbellularia californica</i>	6'	Heritage	Good	Fair	Good	Massive mature tree with extensive internal decay and a large wound at 6 feet on the south side of a trunk where a large stem failure occurred.	Preserve and Prune
12	California Bay	<i>Umbellularia californica</i>	5'	Heritage	Poor to Fair	Poor to Fair	Fair	Evidence of extensive internal decay in the lower trunk. A 12 inch vertical branch is completely dead and there is decay in the attachment point of the main leader, which is asymmetric and oriented over the building site.	Preserve and Prune
13	California Bay	<i>Umbellularia californica</i>	36"	Heritage	Fair to Good	Fair	Fair	Strong canopy asymmetry northeast. Growing against the trunk of Tree 12.	Preserve and Prune
14	California Bay	<i>Umbellularia californica</i>	49"	Heritage	Fair	Poor to Fair	Fair	Extensive internal decay in the lower trunk. Scattered die back of twigs in the top of the tree and sparse foliage density, indicating suboptimal health.	Preserve and Prune
15	Coast live oak	<i>Quercus agrifolia</i>	23"	Heritage	Good	Fair	Fair	Strong trunk lean and canopy asymmetry towards the building envelope. Weak union where the trunk divides at about 8 feet above grade.	Prune
16	Coast live oak	<i>Quercus agrifolia</i>	11.5"	Protected	Good	Fair	Poor to Fair	The trunk is supported by Trees#14 and the canopy sweeps low into the proposed building site.	Preserve and Prune
17	Coast live oak	<i>Quercus agrifolia</i>	10.5"	Protected	Good	Good	Fair		Preserve
18	Coast live oak	<i>Quercus agrifolia</i>	24"	Heritage	Fair	Good	Fair to Good	High canopy oriented away from the proposed home. Symptoms of sudden oak death on lower trunk.	Preserve and monitor



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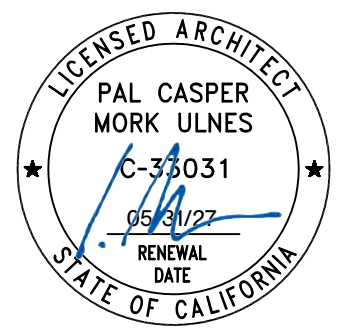
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Project Information

Inverness

APN: 114-061-18
(N. Dream Farm Road)
Project No.: 24001

Stamp



Date: Issues and revisions

Sheet Description
Ground Floor Plan

Plot Date
06.20.2025

Issued For
Coastal Permit

Sheet No.

Ref. North

A1.02

Scale
As noted

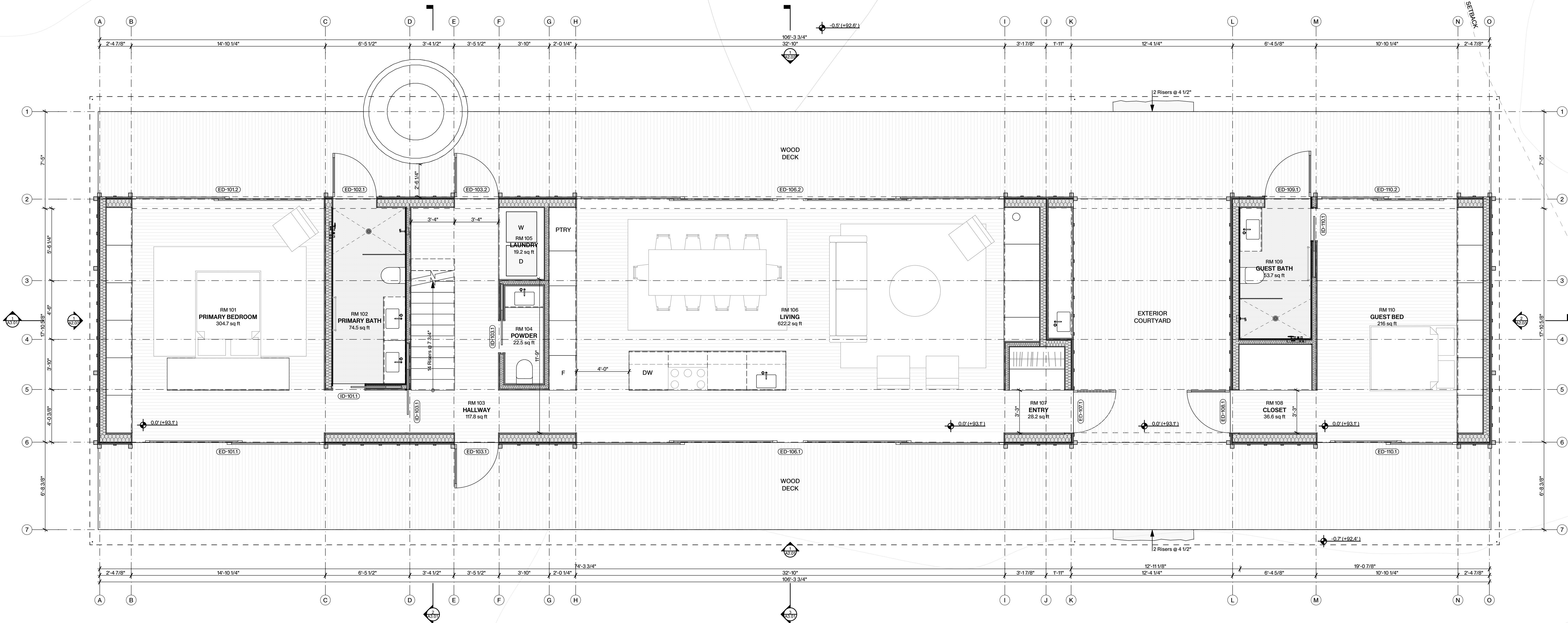
GENERAL NOTES

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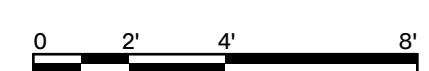
ALL GRIDLINES CORRESPOND TO FACE OF FRAMING, U.N.O.

GSF AREA SUMMARY*	(E)	(P)
L1	0.0 SF	1767.11 SF
L2	0.0 SF	438.49 SF
Garage	0.0 SF	500.18 SF
ADU	0.0 SF	455.11 SF
ALL	0.0 SF	3,160.89 SF

*SEE G01 FOR FULL TABLE OF ITEMIZED AREAS



1 Ground Floor Plan
SCALE: 1/4" = 1'-0"



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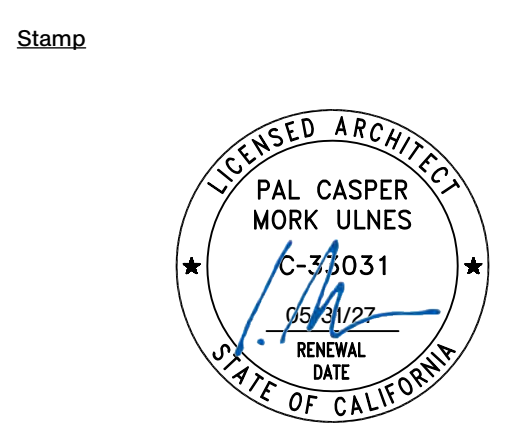
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Date: Issues and revisions

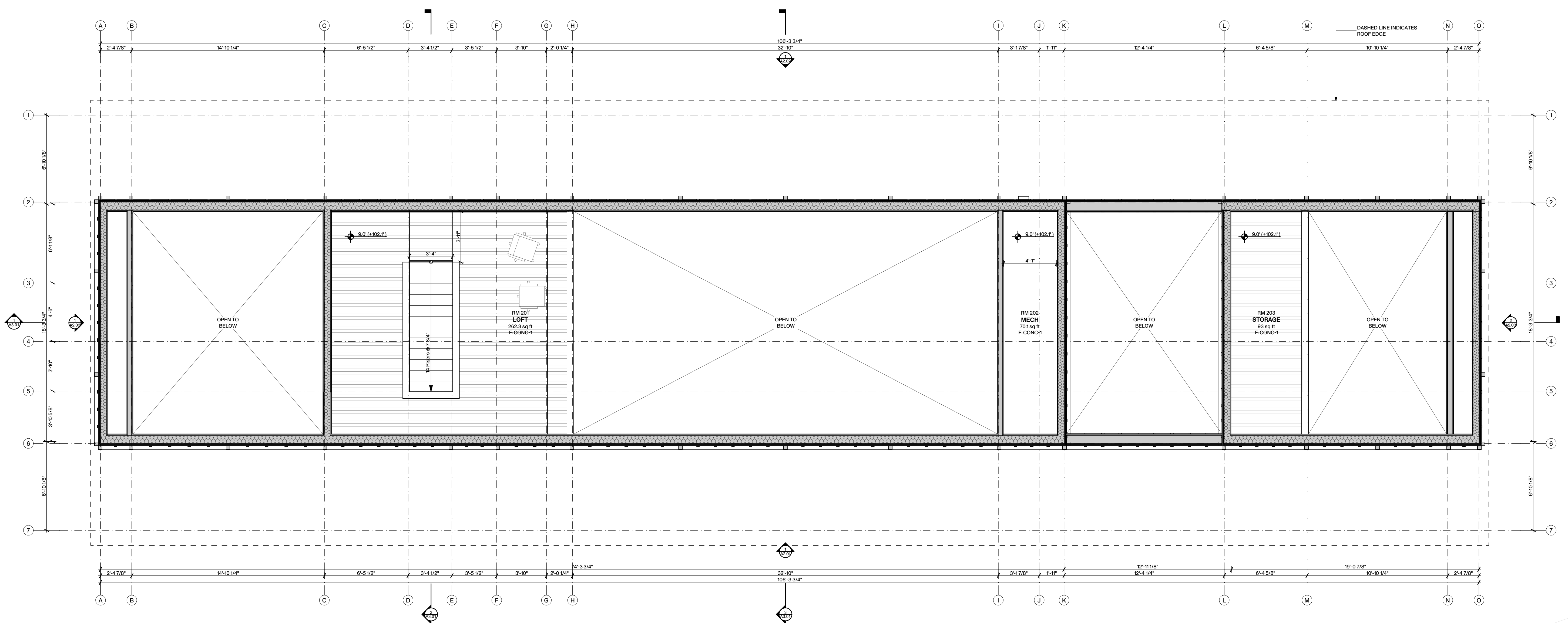
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Plot Date: 06.20.2025
Issued For: Coastal Permit

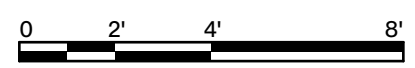
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A1.03

Scale: As noted



1 Second Floor Plan
SCALE: 1/4" = 1'-0"



MORK-ULNES

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Stamp



Date: Issues and revisions

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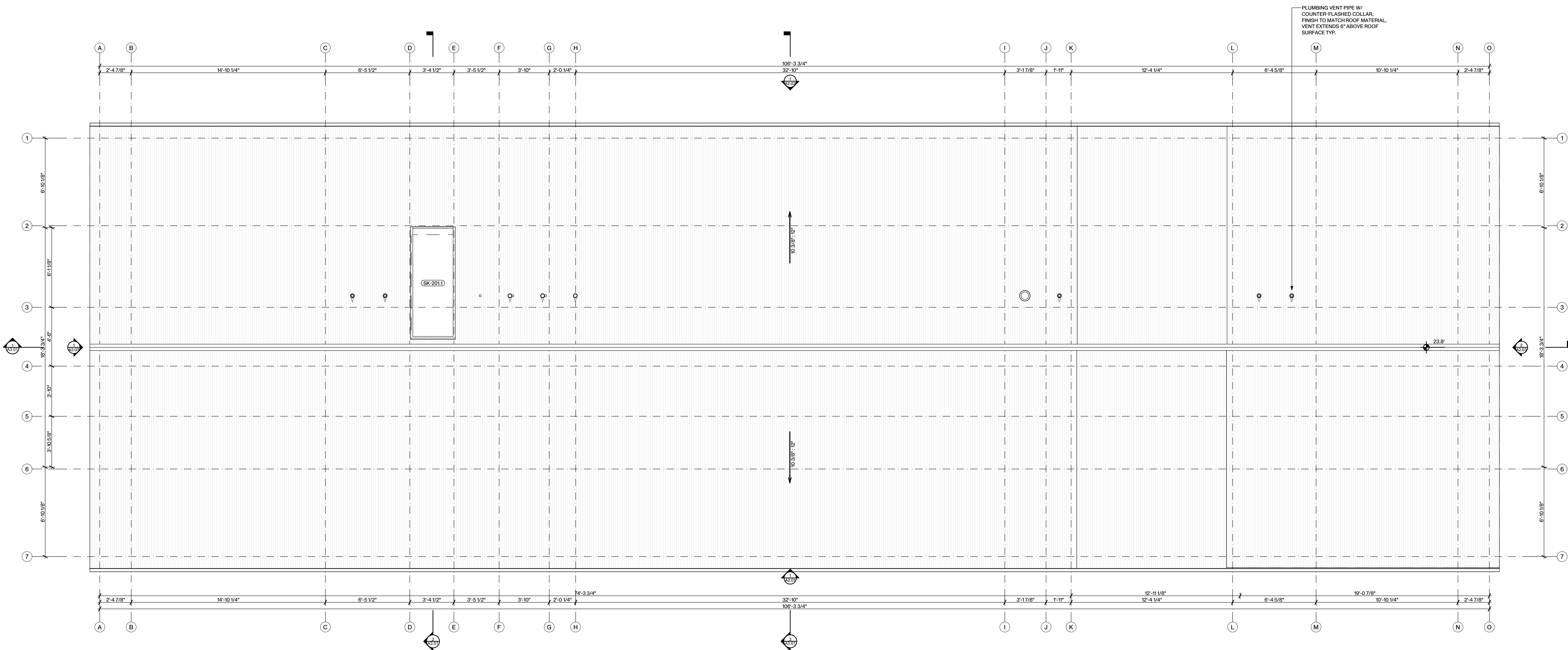
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Plot Date: 06.20.2025
Issued For: Coastal Permit

Sheet No. Ref. North

A1.04

Scale: As noted



1 Roof Plan
SCALE: 1/4" = 1'-0"



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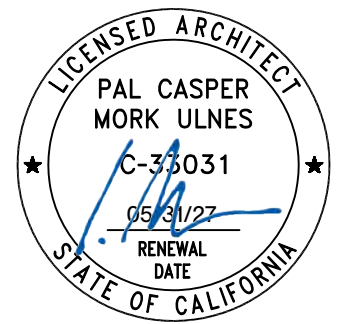
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Inverness

APN: 114-061-18
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Project No.: 24001

Stamp



Date: Issues and revisions

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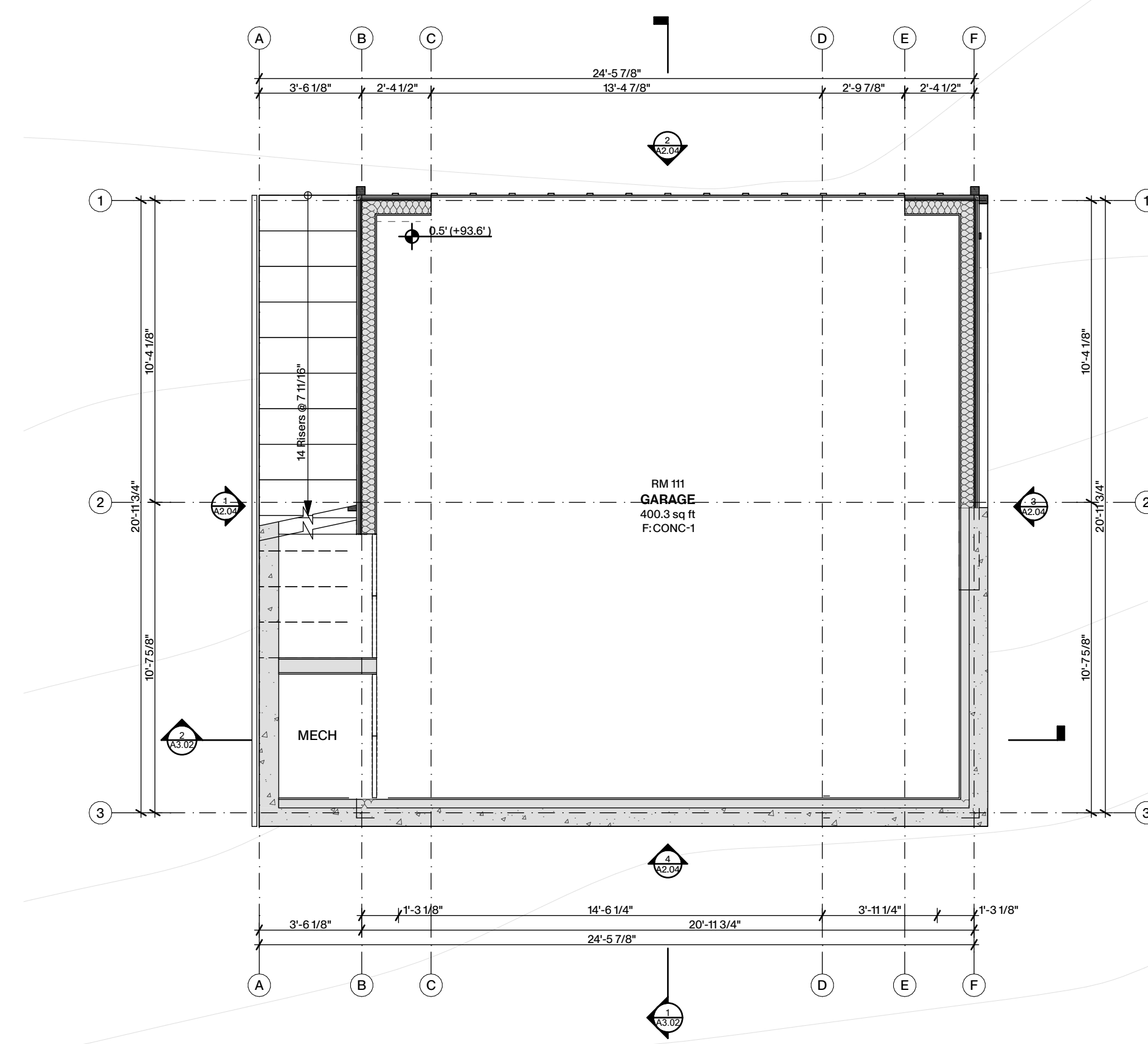
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Plot Date: 06.20.2025
Issued For: Coastal Permit

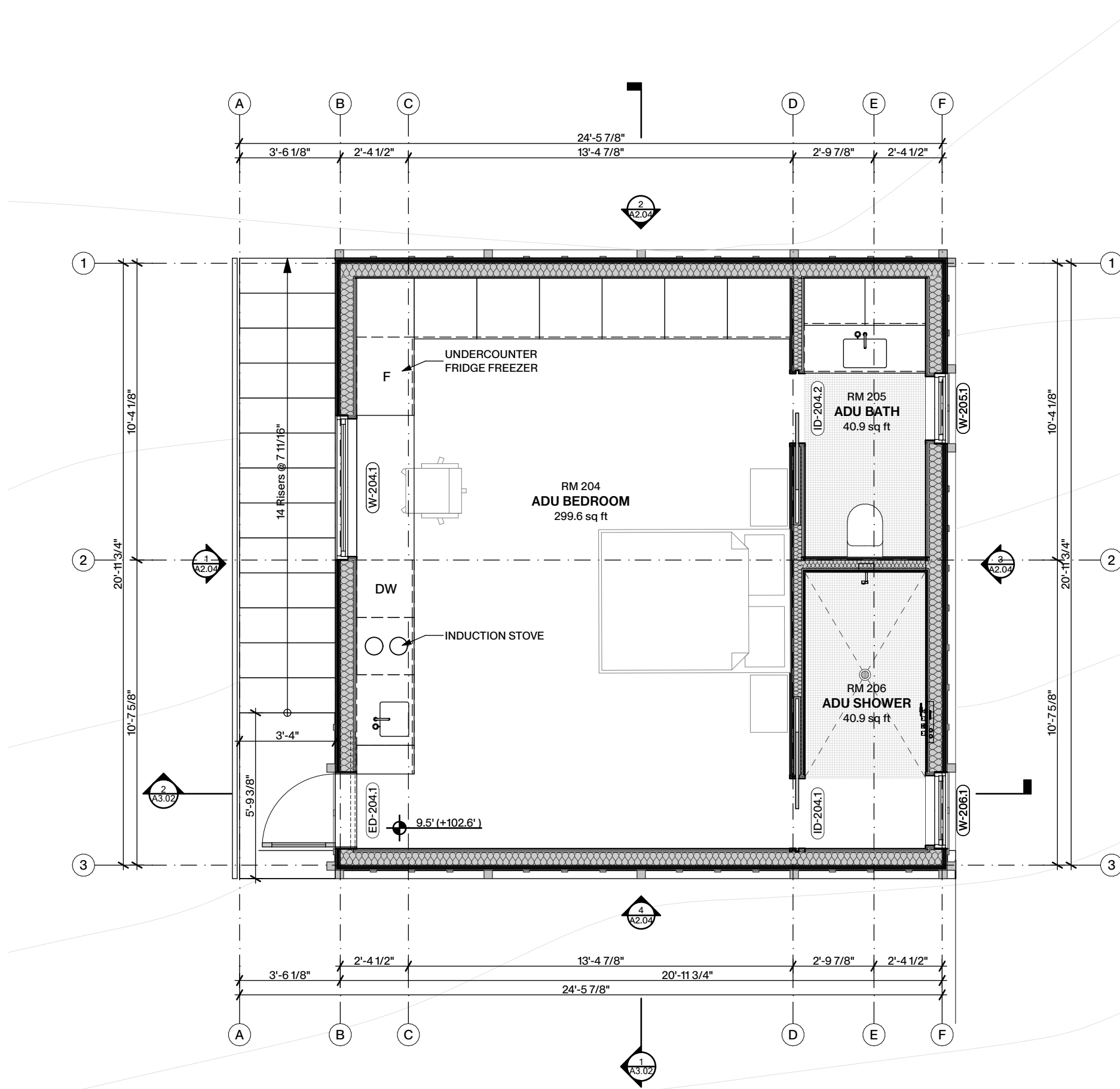
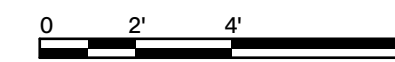
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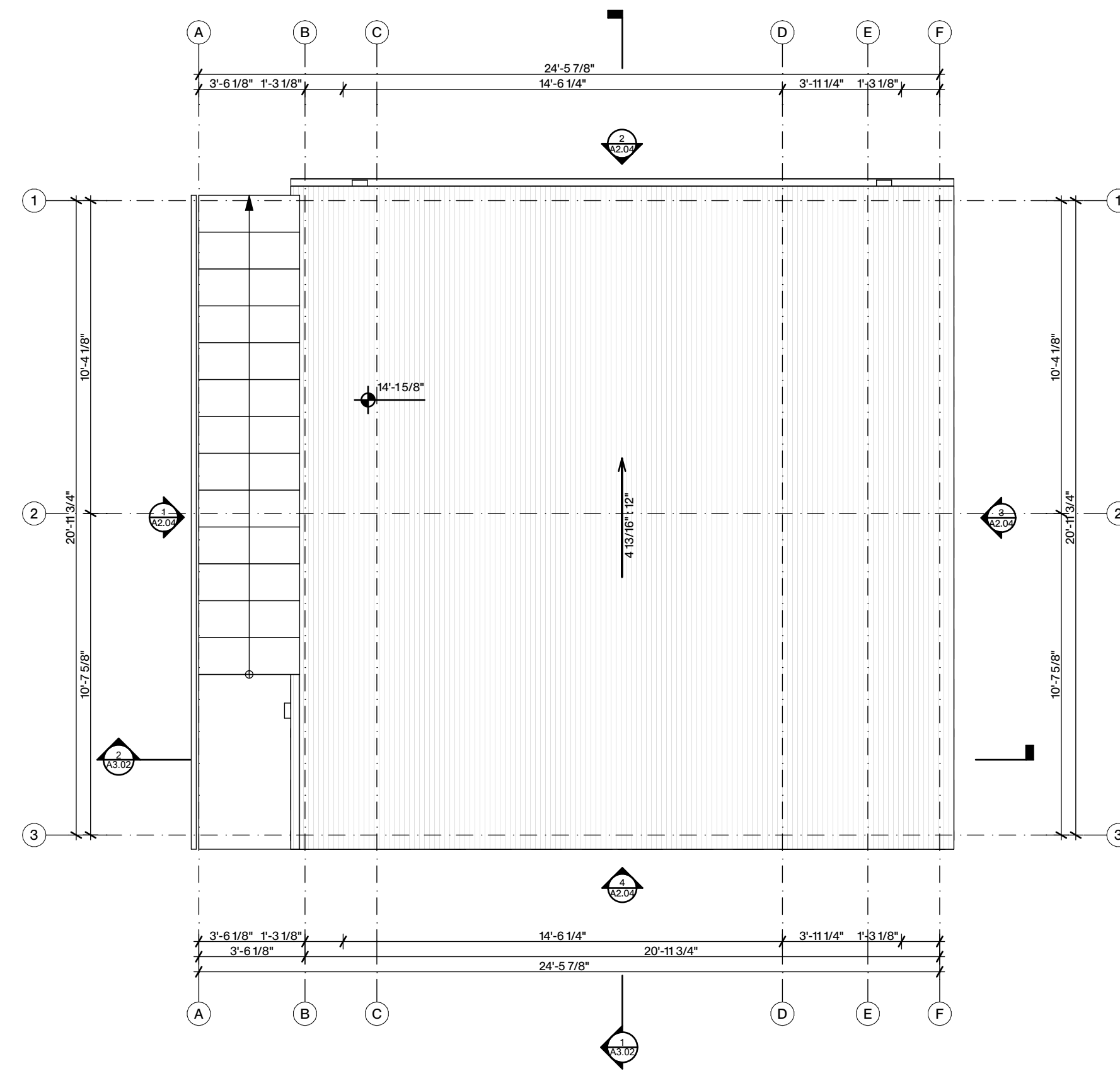
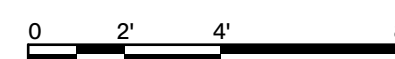
Scale: As noted



1 Ground Floor Plan
SCALE: 1/4" = 1'-0"



2 ADU Plan
SCALE: 1/4" = 1'-0"



3 Roof Plan
SCALE: 1/4" = 1'-0"



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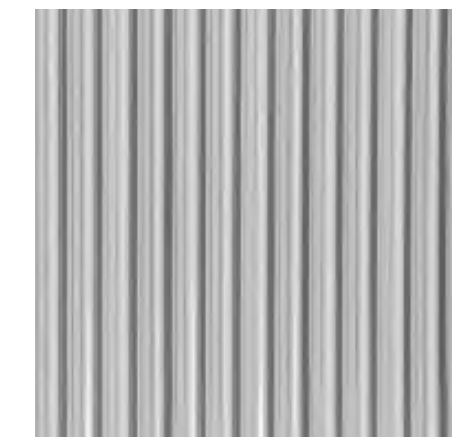
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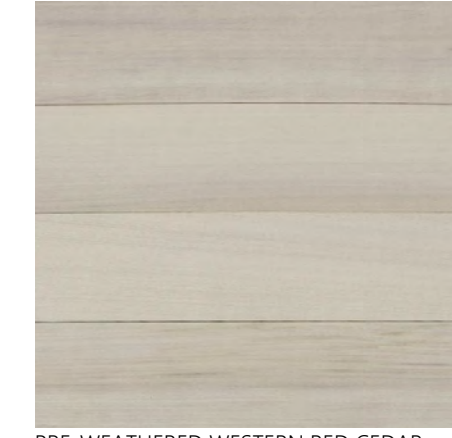
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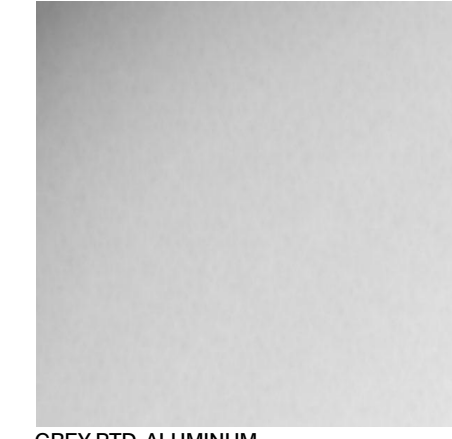
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 - MATTE GREY METAL GUTTER AND STAINLESS STEEL RAIN CHAIN
 - PRE-WEATHERED BOARD AND BATTEN WESTERN RED CEDAR SIDING CLADDING
 - GREY PTD. ALUMINUM WINDOW FRAME
 - PRE-WEATHERED WESTERN RED CEDAR DECK BOARDS
 - BRUSHED ALUMINUM TITAN LED EXTERIOR WALL SCONCE CLAD IN PRE-WEATHERED WESTERN RED CEDAR SIDING
 - MATTE GREY PERFORATED CORRUGATED METAL ROOF



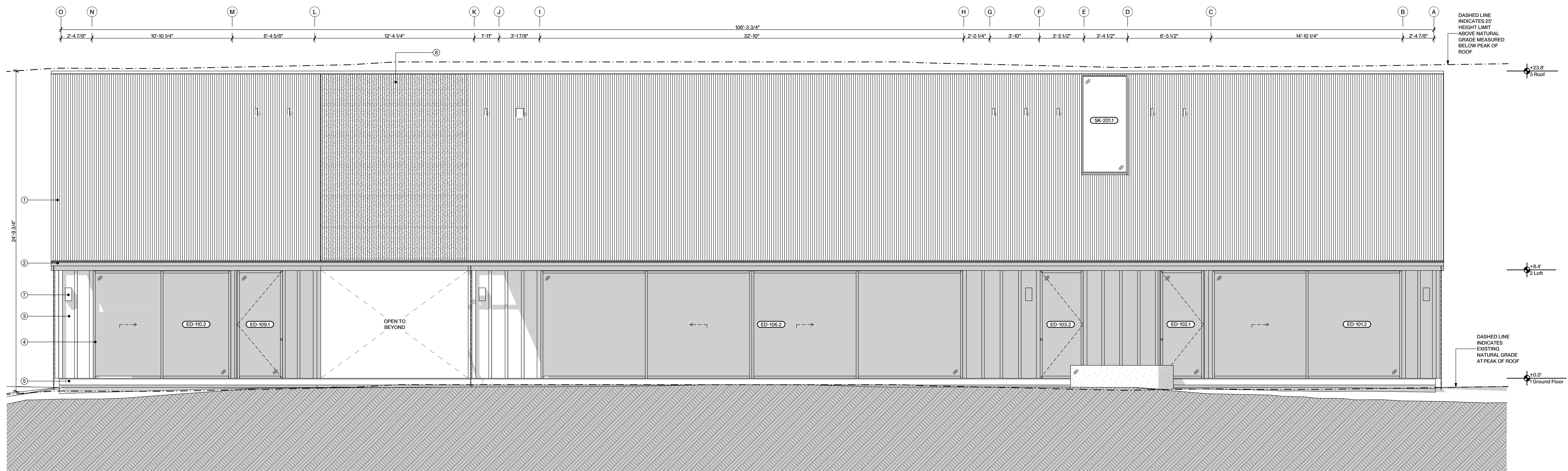
MATTE GREY CORRUGATED METAL ROOF



PRE-WEATHERED WESTERN RED CEDAR



GREY PTD. ALUMINUM

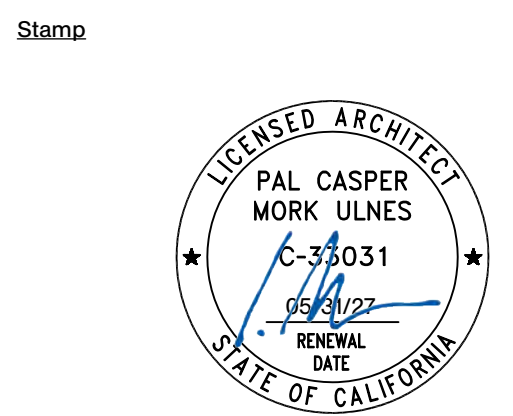


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



Project Information
Inverness

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(N. Dream Farm Road)
Project No.: 24001



Date: Issues and revisions

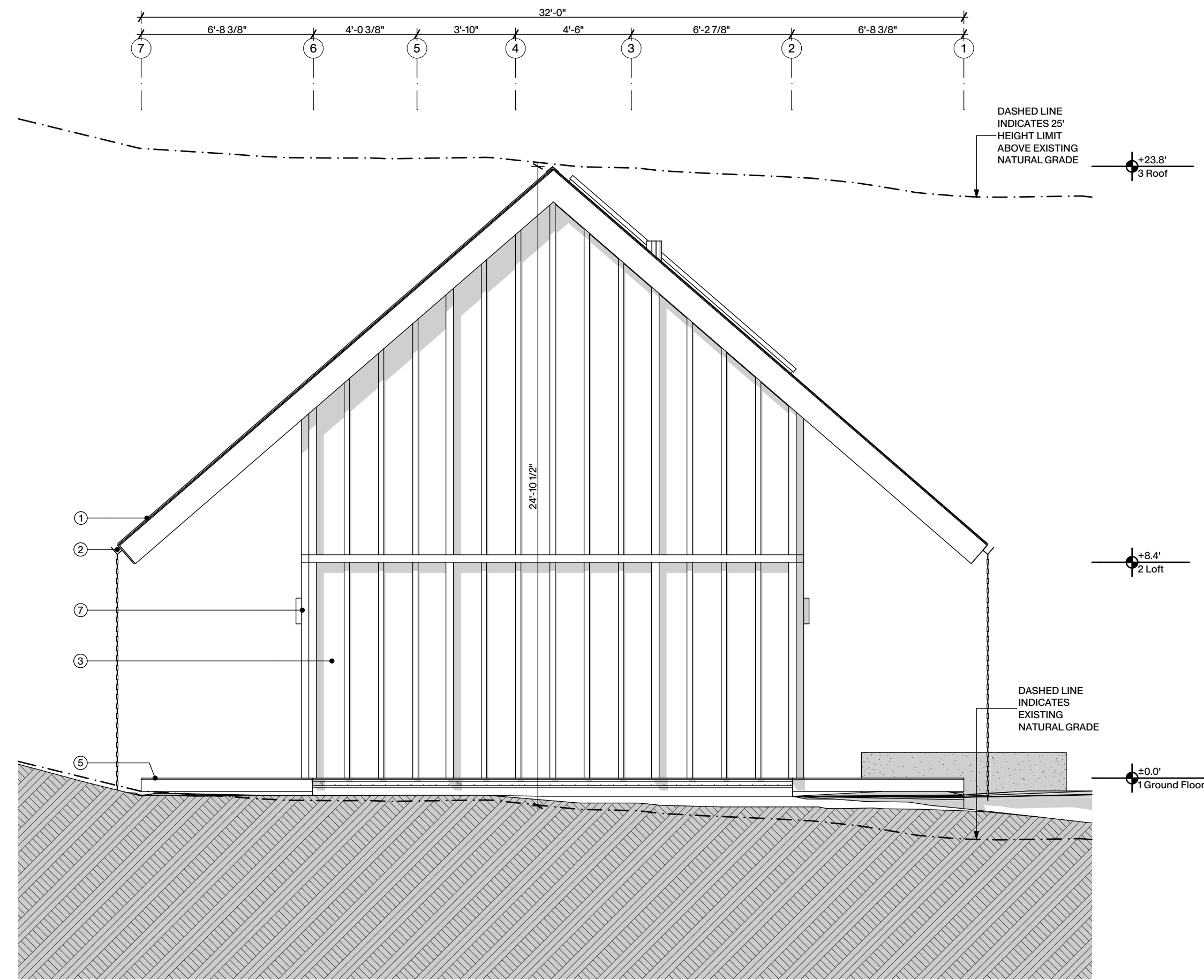
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Plot Date: 06.20.2025
Issued For: Coastal Permit

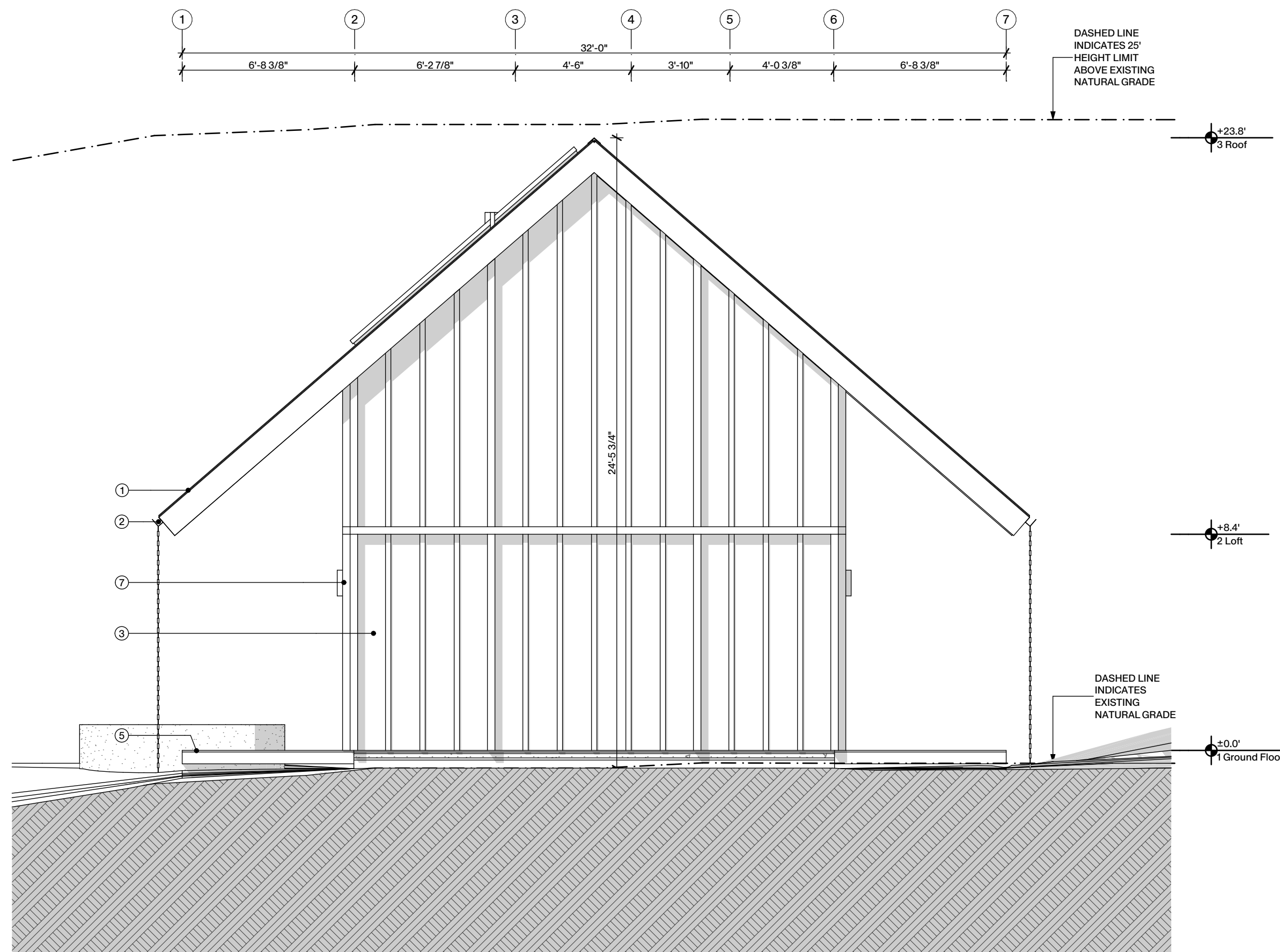
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A2.02

Scale
As noted



2 SOUTH ELEVATION
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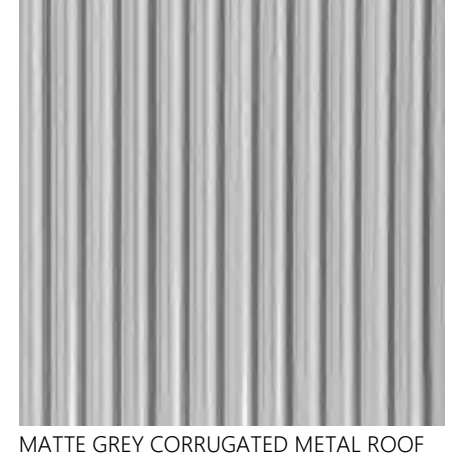
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GENERAL NOTES

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MATERIAL NOTES

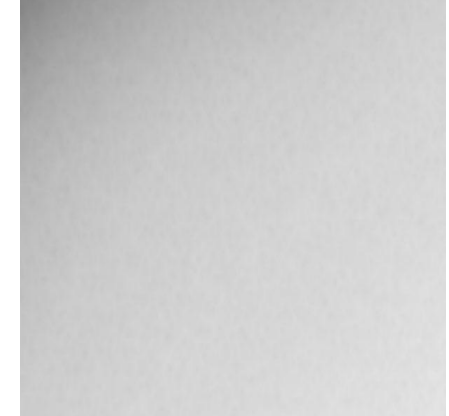
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- 3 PRE-WEATHERED BOARD AND BATTEN WESTERN RED CEDAR SIDING CLADDING
- 5 PRE-WEATHERED WESTERN RED CEDAR DECK BOARDS
- 7 BRUSHED ALUMINUM TITAN LEO EXTERIOR WALL SCONCE CLAD IN PRE-WEATHERED WESTERN RED CEDAR SIDING



MATTE GREY CORRUGATED METAL ROOF



PRE-WEATHERED WESTERN RED CEDAR



GREY PTD. ALUMINUM

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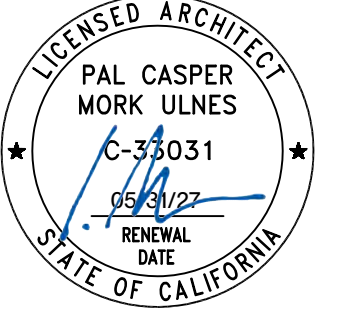
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Project Information
Inverness

APN: 114-061-18
(N. Dream Farm Road)
Project No.: 24001

Stamp



Date: Issues and revisions

Sheet Description
Elevations

Plot Date: 06.20.2025 Issued For: Coastal Permit

Sheet No. Ref. North

A2.03

Scale: As noted

MORK-ULNES

GENERAL NOTES
 - ALL GRIDLINES CORRESPOND TO FACE OF FRAMING, U.N.O.

- MATERIAL NOTES
- MATTE GREY CORRUGATED METAL ROOF
 - MATTE GREY METAL GUTTER AND STAINLESS STEEL RAIN CHAIN
 - PRE-WEATHERED BOARD AND BATTEN WESTERN RED CEDAR SIDING CLADDING
 - GREY PTD. ALUMINUM WINDOW FRAME
 - CONCRETE RETAINING WALL AND STAIR
 - BRUSHED ALUMINUM TITAN LED EXTERIOR WALL SCONCE CLAD IN PRE-WEATHERED WESTERN RED CEDAR SIDING

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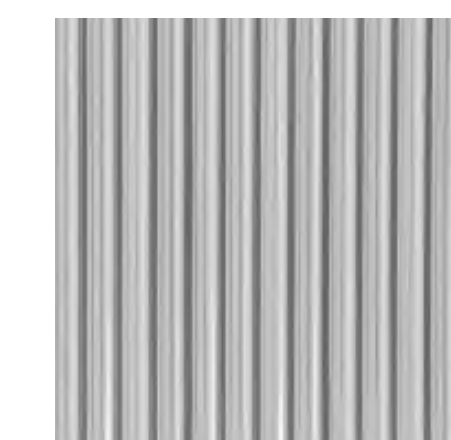
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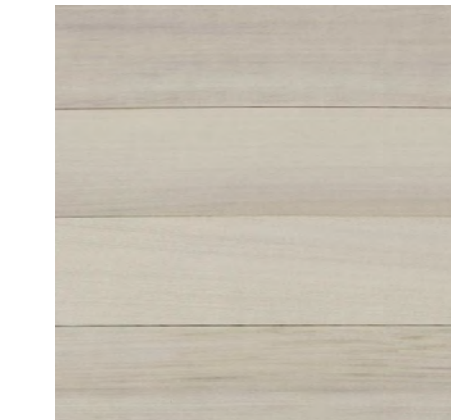
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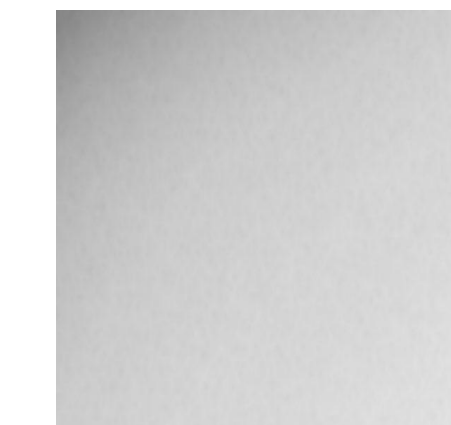
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MATTE GREY CORRUGATED METAL ROOF



PRE-WEATHERED WESTERN RED CEDAR



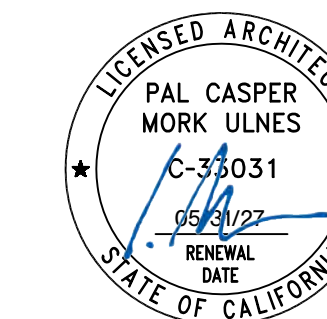
GREY PTD. ALUMINUM

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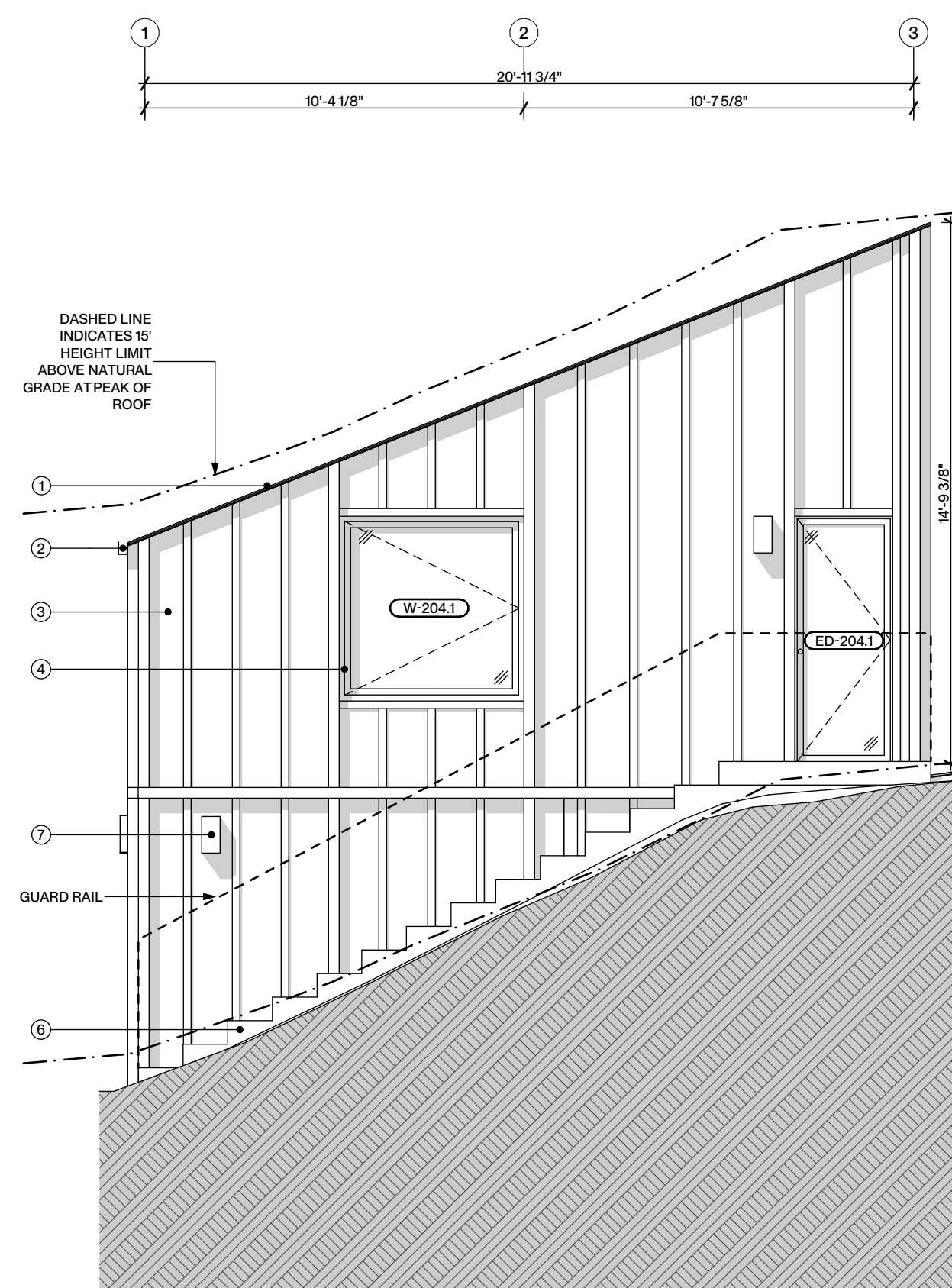
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Plot Date: 06.20.2025 Issued For: Coastal Permit

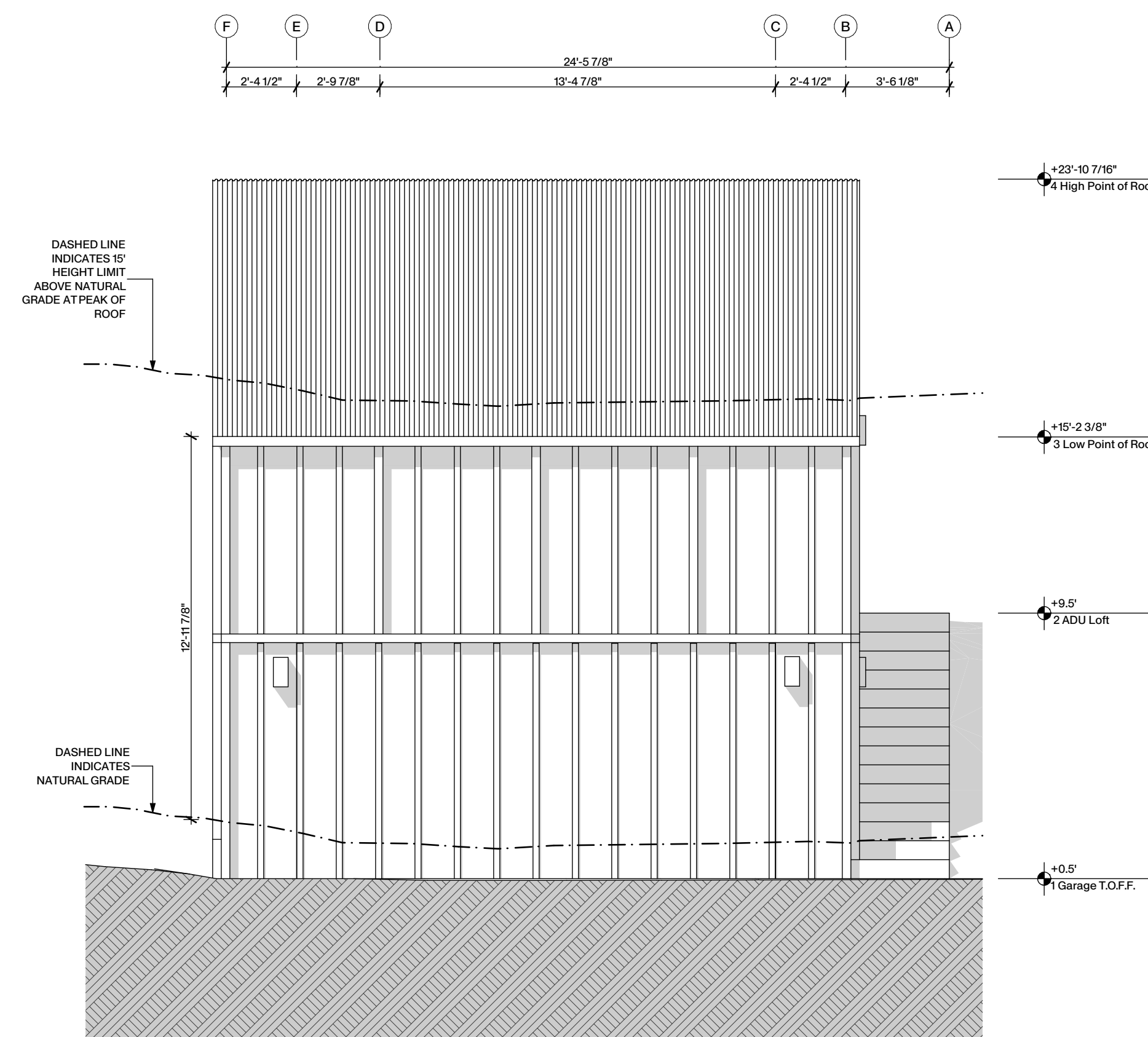
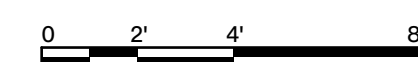
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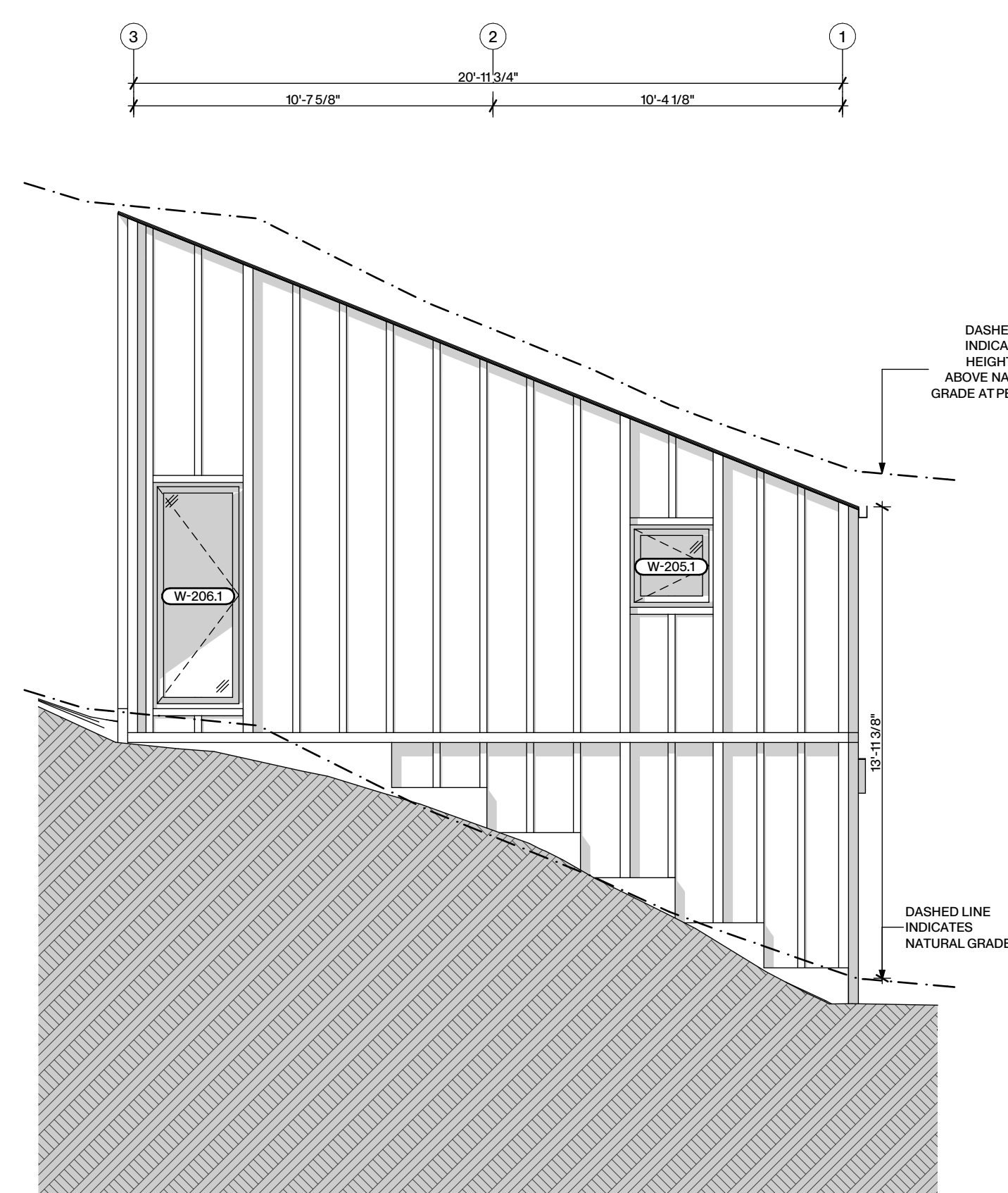
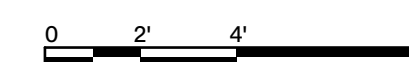
Scale
 As noted



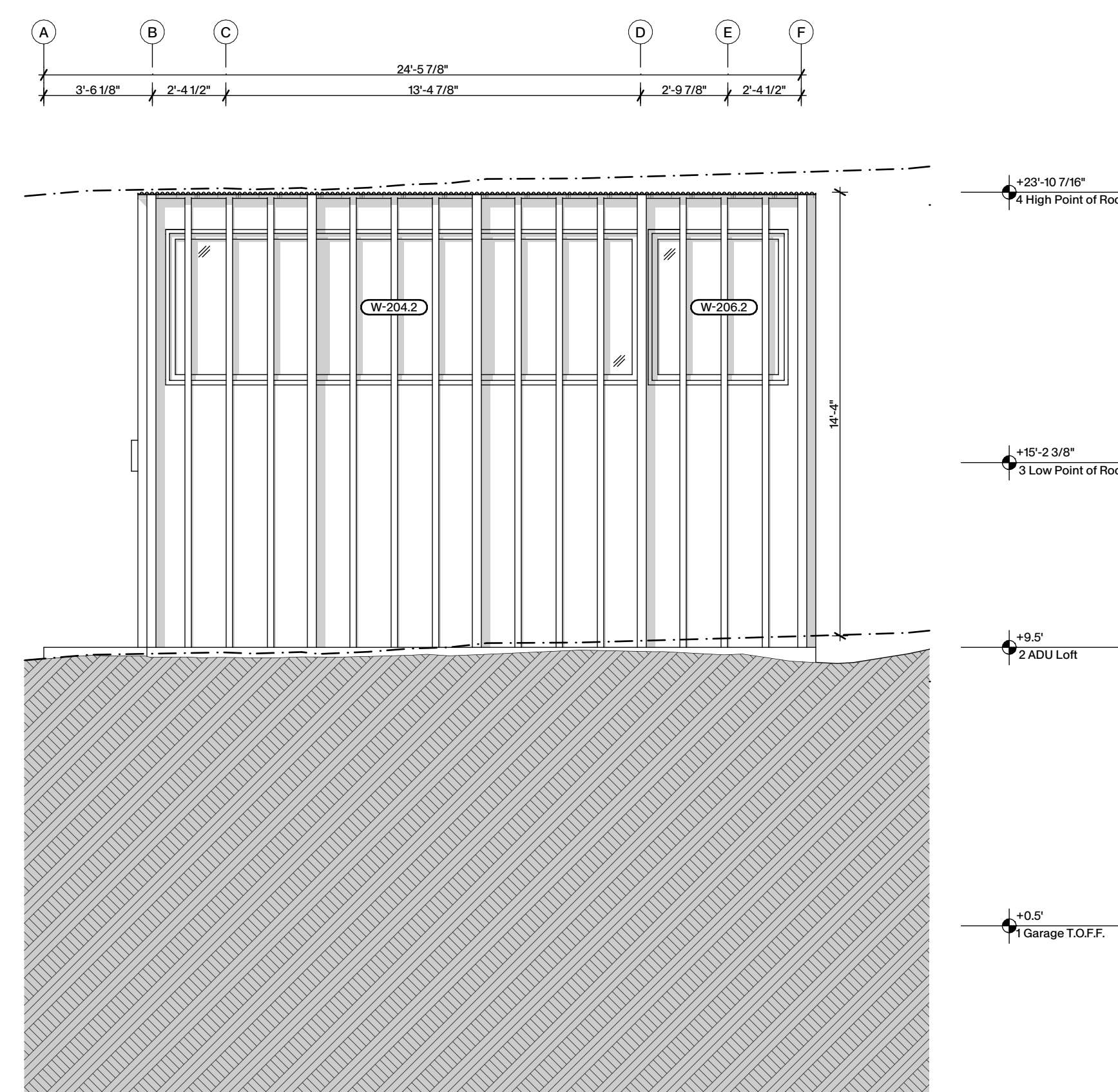
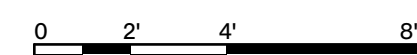
1 ADU NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



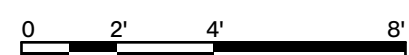
2 ADU EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 ADU SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



4 ADU WEST ELEVATION
 SCALE: 1/4" = 1'-0"



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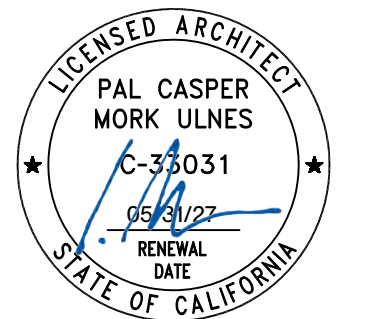
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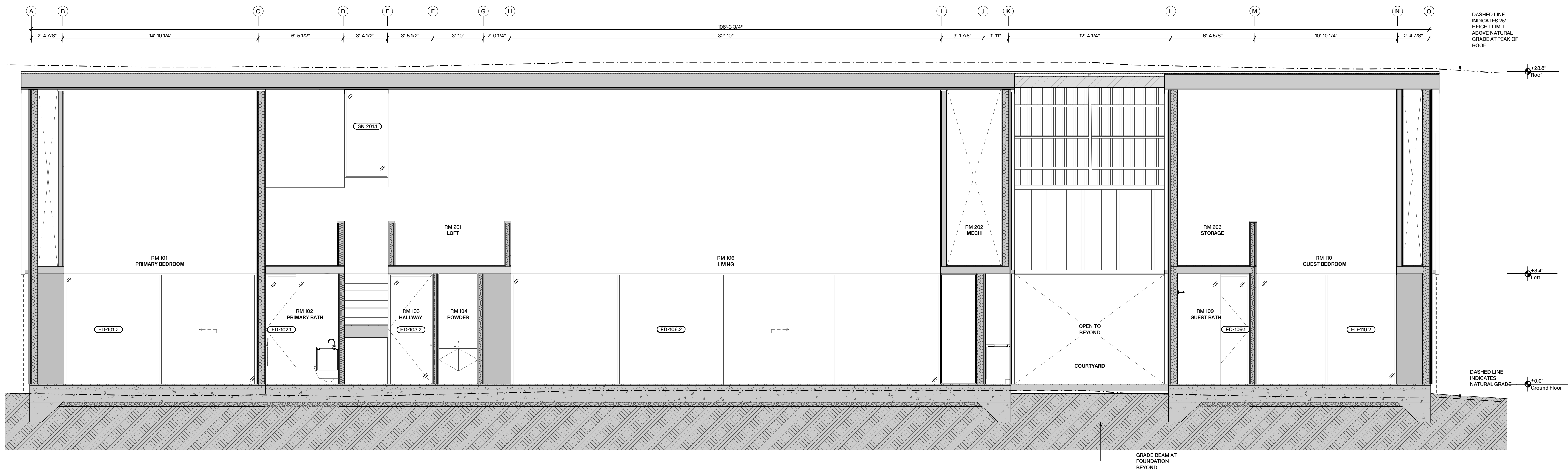
Date Issues and revisions

Sheet Description
Sections
Plot Date 06.20.2025 Issued For Coastal Permit

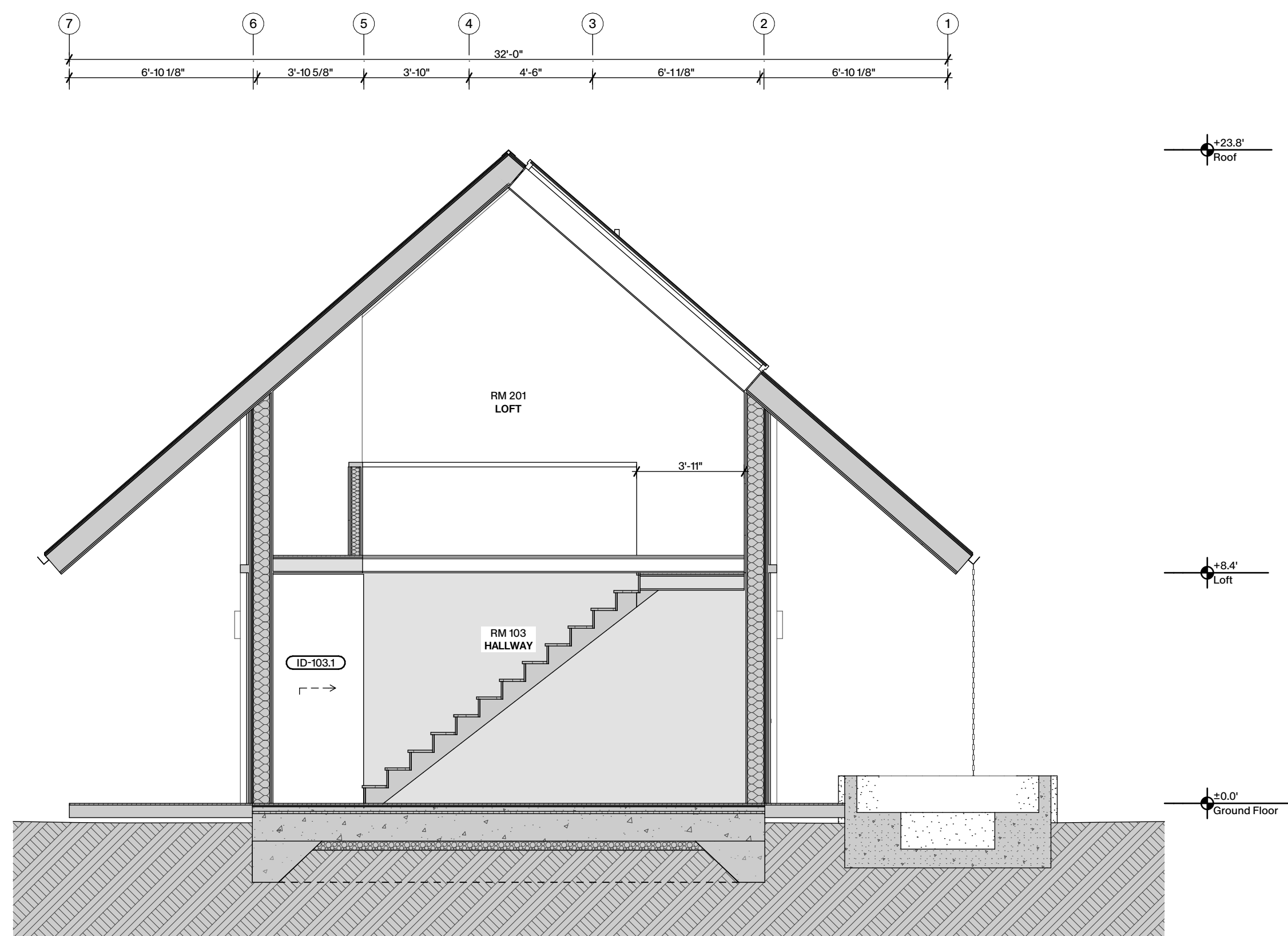
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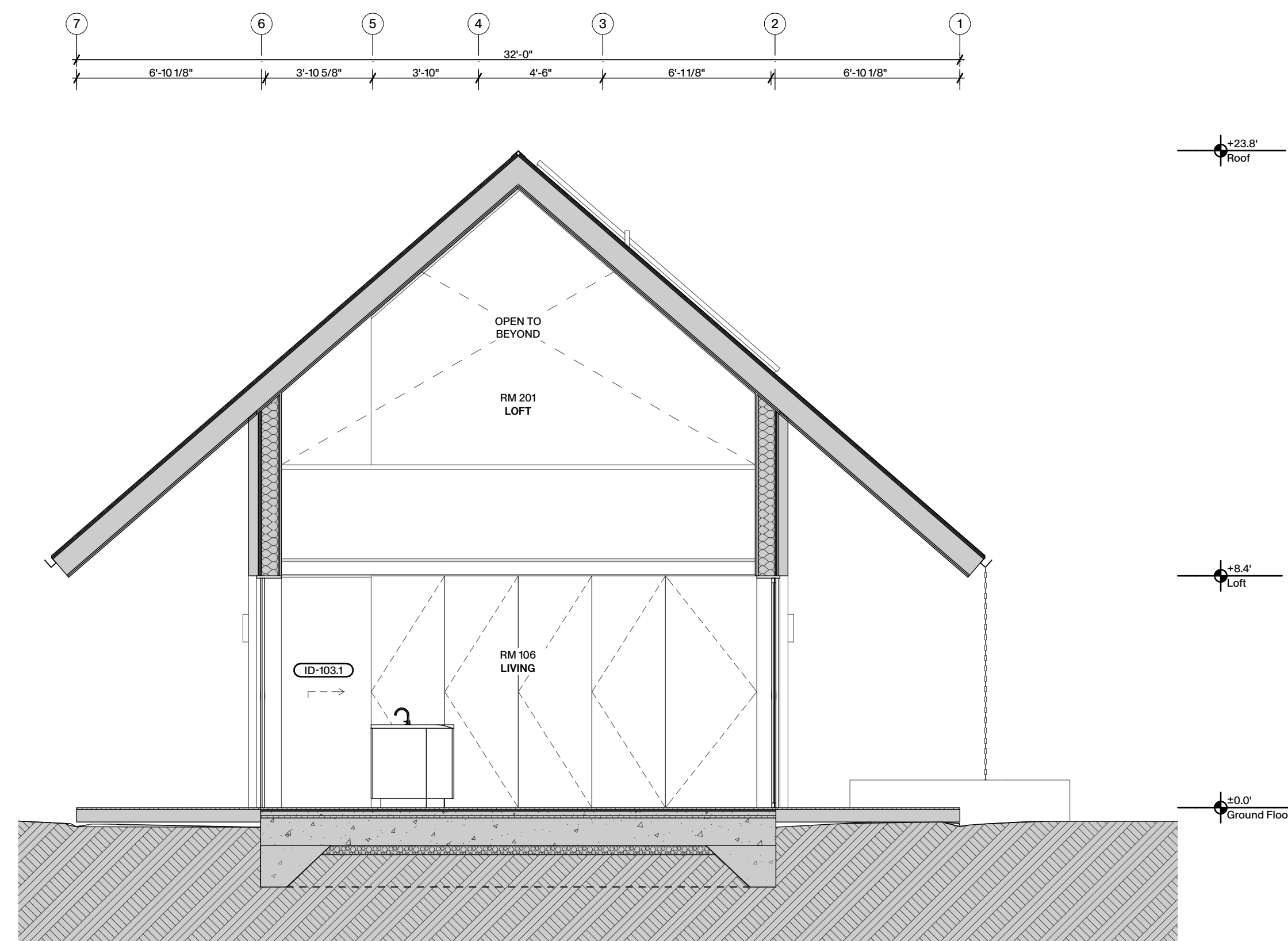
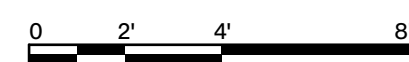
Scale
As noted



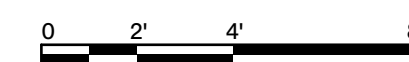
1 LONG SECTION
SCALE: 1/4" = 1'-0"



2 SHORT SECTION
SCALE: 1/4" = 1'-0"



3 SHORT SECTION
SCALE: 1/4" = 1'-0"



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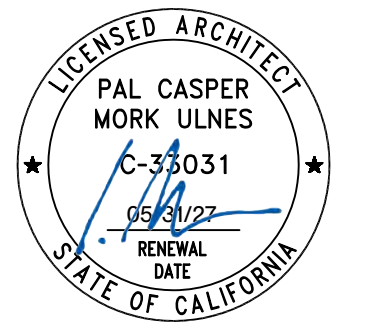
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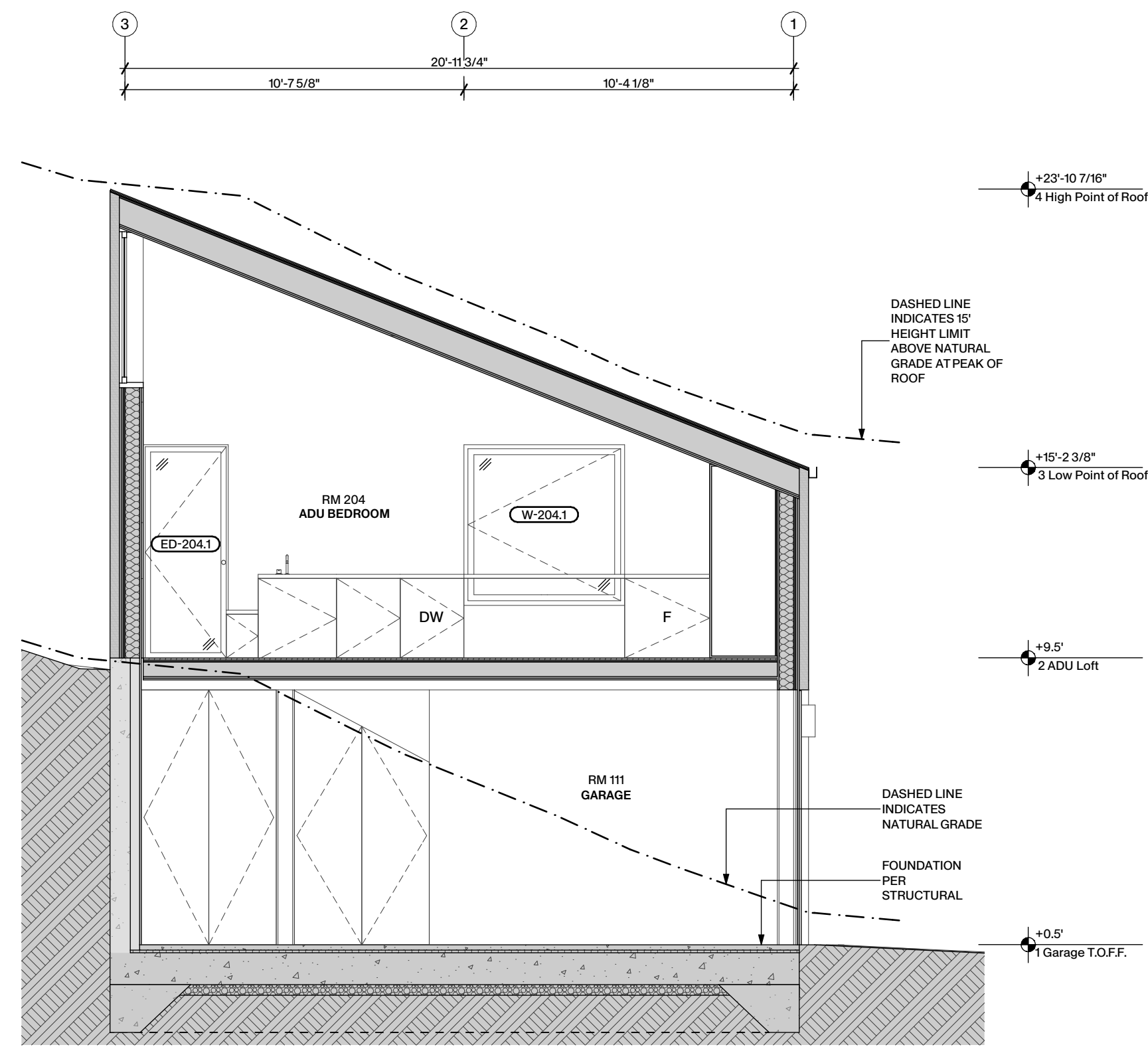
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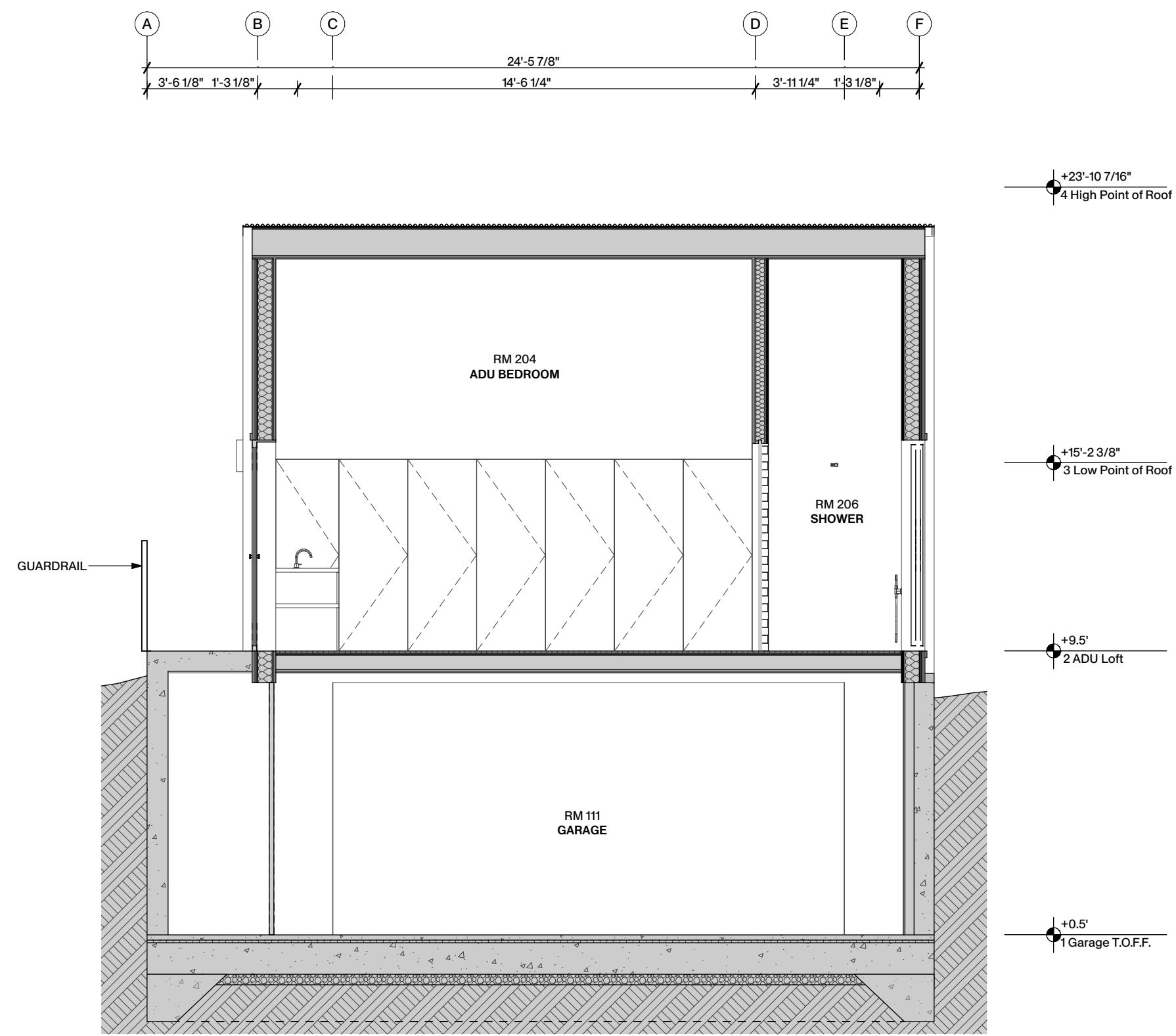
Plot Date: 06.20.2025
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Sheet No. A3.02
Ref. North

Scale
As noted



1 ADU SECTION
SCALE: 1/4" = 1'-0"



2 ADU SECTION
SCALE: 1/4" = 1'-0"