

# Terry/Bal Residence

Terry & Terry Architecture LLP

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## Abbreviations

<p> <b>@</b> ADHS  <b>ADJ.</b> A.F.C.I.  <b>A.F.F.</b> AGR  <b>ALUM</b>    <b>BD</b>  <b>BIT. MEMB</b>  <b>BLK</b>  <b>BM</b>  <b>BOT</b>    <b>C.A.R.</b>  <b>C.C.</b>  <b>CEIL</b>  <b>C/L</b>  <b>CLR</b>  <b>C.M.U.</b>  <b>C.O.</b>  <b>COL</b>  <b>CONC</b>  <b>CONT</b>  <b>CPR</b>  <b>C.S.</b>    <b>DBL</b>  <b>DET</b>  <b>DGLAS FIR</b>  <b>DIA</b>  <b>DN</b>  <b>D.S.</b>  <b>DWG</b>    <b>(E)</b>  <b>ELEC</b>  <b>EQ</b>  <b>EXT</b>    <b>F.A.U.</b>  <b>FDN</b>  <b>FIN</b>  <b>FLASHG</b>  <b>FLUOR</b>  <b>FLOOR</b>  <b>FLUORESCENT</b>  <b>F.O.C.</b>  <b>F.O.F.</b>  <b>F.O.S.</b>  <b>FT</b>  <b>FTG</b>    <b>GA</b>  <b>GALV</b>  <b>GEN</b>  <b>G.F.C.I.</b>  <b>GL</b>  <b>GR</b>  <b>C.S.M.</b>  <b>GYP. BD.</b>  <b>GYP.</b>    <b>H.B.</b>  <b>HD. WD.</b>  <b>H.R.</b>  <b>HORIZ</b>  <b>HT</b>  <b>HWH</b>    <b>I.D.</b>  <b>I.G.</b>  <b>IN</b>  <b>INT</b>  <b>INSUL</b>  <b>I.W.</b> </p>	<p> <b>AT (RATE)</b>  <b>ANCHOR BOLT</b>  <b>ADHESIVE</b>  <b>ADJUSTABLE</b>  <b>ARC FAULT CIRCUIT INTERRUPTER</b>  <b>ABOVE FINISHED FLOOR</b>  <b>AGGREGATE</b>  <b>ALUMINUM</b>    <b>BOARD</b>  <b>"BITUTHENE" MEMBRANE</b>  <b>BLOCK/BLOCKING</b>  <b>BEAM</b>  <b>BOTTOM</b>    <b>COLD AIR RETURN</b>  <b>CENTER TO CENTER</b>  <b>CEILING</b>  <b>CENTER LINE</b>  <b>CLEAR</b>  <b>CONCRETE MASONRY UNIT</b>  <b>CLEANOUT</b>  <b>COLUMN</b>  <b>CONCRETE</b>  <b>CONTINUOUS</b>  <b>COPPER</b>  <b>CRAWL SPACE</b>    <b>DOUBLE</b>  <b>DETAIL</b>  <b>DIGLASS FIR</b>  <b>DIAMETER</b>  <b>DOWN</b>  <b>DOWNSPOUT</b>  <b>DRAWING</b>    <b>EXISTING</b>  <b>ELECTRICAL</b>  <b>EQUAL</b>  <b>EXTERIOR</b>    <b>FORCED AIR UNIT</b>  <b>FLOOR DRAIN</b>  <b>FOUNDATION</b>  <b>FINISH</b>  <b>FLASHING</b>  <b>FLOOR</b>  <b>FLUORESCENT</b>  <b>FACE OF CONCRETE</b>  <b>FACE OF FINISH</b>  <b>FACE OF STUDS</b>  <b>FEET</b>  <b>FOOTING</b>    <b>GUAGE</b>  <b>GALVANIZED</b>  <b>GENERAL</b>  <b>GROUND FAULT CIRCUIT INTERRUPTER</b>  <b>GLASS</b>  <b>GRADE</b>  <b>GALVANIZED SHEET METAL</b>  <b>GYP. BOARD</b>  <b>GYP. BOARD</b>    <b>HOSE BIBB</b>  <b>HARD WOOD</b>  <b>HEAT REGISTER</b>  <b>HORIZONTAL</b>  <b>HEIGHT</b>  <b>HOT WATER HEATER</b>    <b>INSIDE DIAMETER</b>  <b>INSULATED GLASS (DBL PANE)</b>  <b>INCHES</b>  <b>INTERIOR</b>  <b>INSULATION</b>  <b>"ICE &amp; WATER SHIELD" MEMBRANE</b> </p>	<p> <b>JST</b>  <b>JOIST</b>    <b>L.A.</b>  <b>LOUV.</b>    <b>MAX.</b>  <b>MECH.</b>  <b>MEMB.</b>  <b>MIN.</b>  <b>MISC</b>  <b>MOD. BIT.</b>  <b>MTL</b>    <b>(N)</b>  <b>N.I.C.</b>  <b>N.T.S.</b>    <b>O/</b>  <b>O.A.</b>  <b>O.C.</b>  <b>O.D.</b>  <b>O.H.</b>  <b>O.S.B.</b>    <b>PERF</b>  <b>P.L.</b>  <b>PLT</b>  <b>PLYWD</b>  <b>PR</b>  <b>P.T.</b>  <b>PTD</b>  <b>P.T.D.</b>    <b>REBAR</b>  <b>REF</b>  <b>REFL</b>  <b>REINF</b>  <b>REQD</b>  <b>REV</b>  <b>R/O</b>  <b>R/RAD</b>    <b>S.C.</b>  <b>SCHD</b>  <b>SCRN</b>  <b>SEC</b>  <b>S.F.</b>  <b>SHT</b>  <b>SHT</b>  <b>SIM</b>  <b>SPECIFICATIONS</b>  <b>SQ.</b>  <b>S.S.</b>  <b>S.S.D.</b>  <b>S.TD</b>  <b>STL</b>  <b>STRUCT</b>    <b>T&amp;G</b>  <b>TJ</b>  <b>TO CONC.</b>  <b>TO STL.</b>  <b>T.S.</b>  <b>T.W.</b>  <b>TYP</b>    <b>U.O.N.</b>    <b>VERT.</b>  <b>V.I.F.</b>  <b>V.W.</b>  <b>V.W.A.</b>    <b>W/</b>  <b>WOOD</b>  <b>W/O</b>  <b>W.P.</b> </p>	<p> <b>JOIST</b>  <b>JOINT</b>    <b>LANDSCAPE ARCHITECT (URE)</b>  <b>LOUVER</b>    <b>MAXIMUM</b>  <b>MECHANICAL</b>  <b>MEMBRANE</b>  <b>MINIMUM</b>  <b>MISCELLANEOUS</b>  <b>MODIFIED BITUMEN MEMBRANE</b>  <b>METAL</b>    <b>NEW</b>  <b>NOT IN CONTRACT</b>  <b>NOT TO SCALE</b>    <b>OVER</b>  <b>OUTSIDE AIR</b>  <b>ON CENTER</b>  <b>OUTSIDE DIAMETER</b>  <b>OVERHEAD/OVERHANG</b>  <b>ORIENTED STRAND BOARD</b>    <b>PERFORATED</b>  <b>PROPERTY LINE</b>  <b>PLATE</b>  <b>PLYWOOD</b>  <b>PAIR</b>  <b>PRESSURE TREATED</b>  <b>PAINTED</b>  <b>PAPER TOWEL DISPENSER</b>    <b>REINFORCING BAR</b>  <b>REFERENCE</b>  <b>REFLECTED</b>  <b>REINFORCED/REINFORCING</b>  <b>REQUIRED</b>  <b>REVISION</b>  <b>ROUGH OPENING</b>  <b>RADIUS</b>    <b>SOLID CORE</b>  <b>SCHEDULE</b>  <b>SCREENWIRE CLOTH</b>  <b>SECTION</b>  <b>SQUARE FEET</b>  <b>SHEET</b>  <b>SHEATHING</b>  <b>SIMILAR</b>  <b>SPECIFICATIONS</b>  <b>SQUARE</b>  <b>STAINLESS STEEL</b>  <b>SEE STRUCTURAL DRAWINGS</b>  <b>STANDARD</b>  <b>STEEL</b>  <b>STRUCTURAL</b>    <b>TONGUE &amp; GROOVE</b>  <b>TRUSS JOIST</b>  <b>TOP OF CONCRETE</b>  <b>TOP OF STEEL</b>  <b>TUBE STEEL</b>  <b>TOP OF WALL</b>  <b>TYPICAL</b>    <b>UNLESS OTHERWISE NOTED</b>    <b>VERTICAL</b>  <b>VERIFY IN FIELD</b>  <b>VERIFY WITH</b>  <b>VERIFY WITH ARCHITECT</b>    <b>WITH</b>  <b>WOOD</b>  <b>WITHOUT</b>  <b>WATERPROOF</b> </p>
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## Scope of Work:

The project proposes to rebuild the existing single-family residential structure & workshop. The existing buildings are in poor condition. No covered off-street parking is present on site.

The proposed residence will include a 2-car covered garage at the lower floor, as well as a breezeway providing covered access to the residence. At the 1st Floor, directly above the garage, the floor will include the main living spaces (living room, dining room and kitchen in open floor plan, a study, a deck at the front and patio at the back. This floor will be connected to 2 split level via a catwalk and stair well. The lower split level will provide one bedroom and bathroom as well as a partially below-grade mechanical room. The upper split level will provide 3 bedrooms & 2 bathroom, as well as access (via a shallow ramp) to a roof deck above the main living areas.

The landscaping scope will include a new driveway apron providing access to the new garage, and will maintain the existing asphalt driveway, which provides 2 tandem off-street parking spaces. New plantings will be provided, irrigated by the existing drip-irrigation system. The existing septic system, permitted & installed in 2012, is in good working condition and meets the needs of the proposed residence.

## Coastal Zone Development Standards:

### C-R-1 District Standards:

Min. Lot Area: 7,500 s.f.

Setbacks:  
 Front: 25' Min.  
 Rear: 20% Lot Depth, 25' Max.  
 Sides: 6' Min.

Max. Building Height: 25'  
 Max. Accessory Structure Ht.: 15'

## General Notes

- All construction and installation shall conform to the following codes: 2022 Editions of the California Building Code (CBC), California Residential Code (CRC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), California Energy Code (CENC), California Green Building Standards Code (CGBC), California Administrative Code Title 24.
- Any other governing codes including local ordinances and requirements.
- In the event of conflict the most stringent requirements shall apply.
- The contractor shall review and verify all dimensions of buildings and site to notify the Architect of any discrepancies before proceeding with construction and purchasing materials.
- The general contractor shall assume responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and take note of existing conditions prior to submitting prices. No claim shall be allowed for difficulties encountered which could have reasonably been inferred from such an examination.
- Contractor shall be responsible for coordination between Architectural, Structural, Landscape, Civil, Mechanical, Plumbing, Electrical, Fire Protection and any other consultant of the project. This includes reviewing requirements of individual systems before ordering and installation of any work. Verify all Architectural details and all finish conditions (whether depicted in the drawings or not) with same disciplines.
- Any errors, omissions or conflicts found in the various parts of the construction Documents shall be brought to the attention of the Architect and Owner before proceeding with the work.
- Do not scale drawings, written dimensions govern.
- All clear dimensions are not adjustable without approval of the Architect.
- All dimensions when shown in plan are to face of stud, concrete or centerline of columns, unless otherwise noted.
- All dimensions are to top of plate, top of plywood or top of concrete in section or elevation unless otherwise noted.
- Details shown are typical, similar details apply in similar conditions.
- The contractor shall be responsible for applying and obtaining all required inspections to conform with local building and fire codes.
- Install all fixtures, equipment, and materials per manufacturer's recommendations and the requirements of the current codes.
- Verify clearances for flues, vents, chases, soffits, fixtures, fireplaces, etc., before any construction, ordering of, or installation of any item of work.
- Provide fire-stop in concealed spaces of all stud spaces over 10'-0" high with 2x blocking or mineral wool, u.o.n.
- Window sizes on drawings are nominal dimensions. Refer to manufacturer for actual rough opening sizes.
- All exterior doors and windows shall be weather-stripped per title 24 requirements.
- All nailing shall comply with min. CBC standards as provided in current requirements, u.o.n.
- Contractor shall be responsible for construction in conformance with the approved plans, specifications and all code requirements under which the plans and specifications were approved.
- All shop drawings must be submitted to Architect for review prior to fabrication.

## Project Data:

A.P. #: 195-141-06  
 Lot Area: 11,200 s.f. (no changes proposed)

(E) Building Area: 4,247 s.f.  
 (N) Building Area: 3,893 s.f. (+354 s.f.)  
 (E) Floor Area: 3,586 s.f.  
 (N) Floor Area: 3,220 s.f. (-366 s.f.)

(E) F.A.R.: 32%  
 (N) F.A.R.: 29%

Area of Additional Disturbance: -442 s.f.

(E) Impervious Lot Coverage: 3,200 s.f.  
 (E) Pervious Lot Coverage: 8,000 s.f.  
 (N) Impervious Lot Coverage: 3,952 s.f.  
 (N) Pervious Lot Coverage: 7,248 s.f.

Grading: Net cut of 35.5 cu.yd. (off-haul volume)

(E) Parking: 2 uncovered spaces (tandem)  
 (N) Parking: 2 uncovered spaces (tandem) + 2 covered spaces (all 9'x20')

(E) Primary Building Setbacks:  
 (E) South (front) Setback: 32'-7 1/2"  
 (E) North (rear) Setback: 31'-10 1/2"  
 (E) East Setback: 6'-10 1/2"  
 (E) West Setback: 39'-10 1/2"

(E) Accessory Building Setbacks:  
 (E) South (front) Setback: 62'-4 1/2"  
 (E) North (rear) Setback: 17'-6 1/2"  
 (E) East Setback: 6'-0"  
 (E) West Setback: 6'-0"

(N) Primary Building Setback:  
 (N) South (front) Setback: 43'-11"  
 (N) North (rear) Setback: 22'-9"  
 (N) East Setback: 6'-8"  
 (N) West Setback: 6'-0 1/2"  
 (no accessory building proposed)

(E) Primary Structure Max. Building Height: 31'-7 1/4"  
 (E) Accessory Structure Max. Building Height: 20'-3"

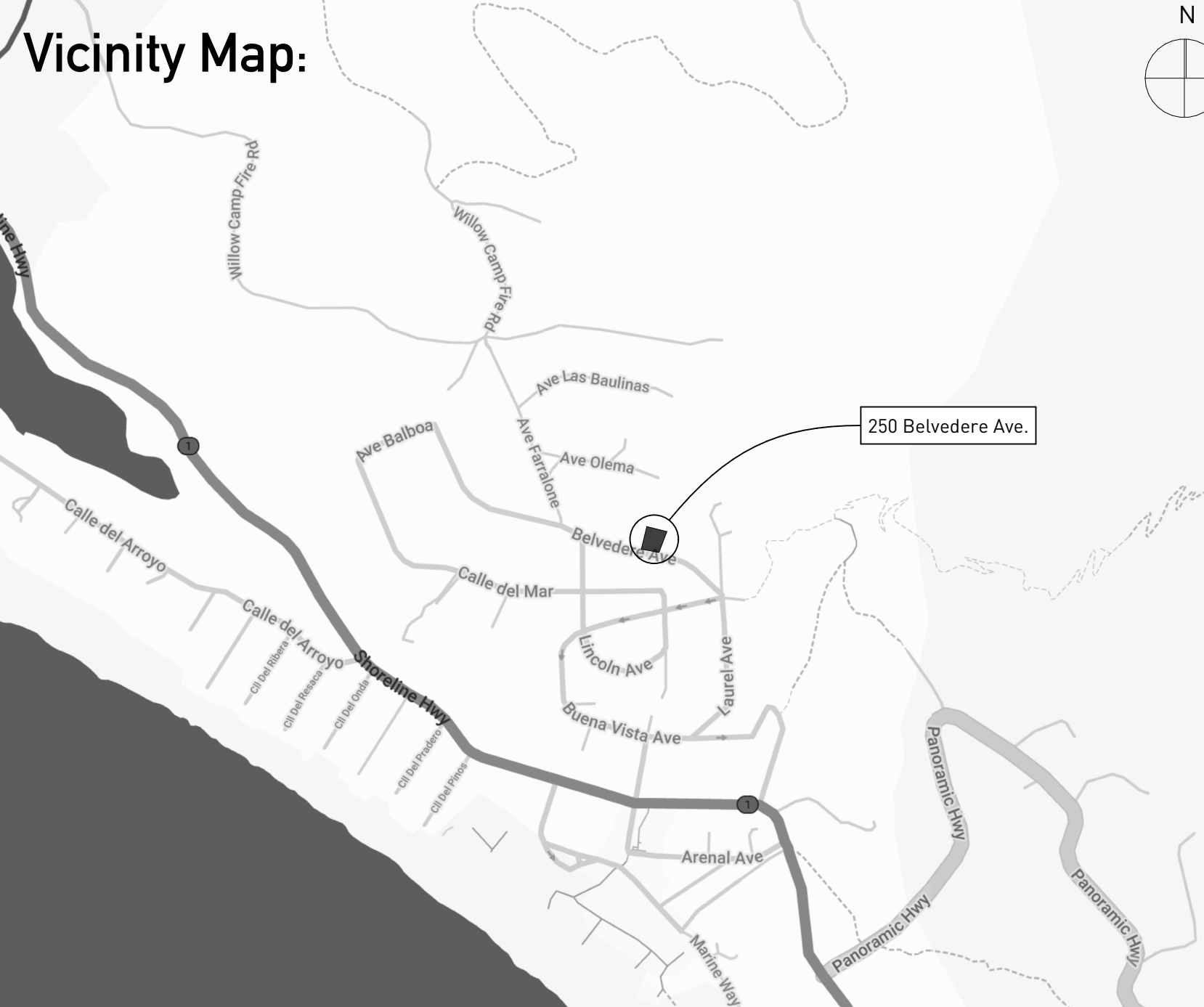
(N) Max. Building Height: 24'-4 1/2"  
 (no accessory building proposed)

## Green Notes

- Construction & Demolition Debris: Mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, per the Waste Management Plan.
- Recycling by occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.
- Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. [CalGreen 4.106.3]
- Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller.
- Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303. [CalGreen 3.301.1.1]
- Energy Efficiency: Comply with California Energy Code (Title 24, Part 6)
- Pest Protection: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry, or a similar method acceptable to DBI for protection against rodents.
- Moisture content of building materials: Verify wall and floor framing does not exceed 19% moisture content prior to enclosure. Materials with visible signs of moisture damage shall not be installed. Moisture content shall be verified in compliance with the following: [CalGreen 4.505.3]
  - Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8.
  - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified.
  - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.
- Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: [CalGreen 4.505.2.]
  - A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
  - A slab design specified by a licensed design professional.
- Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. [CalGreen 4.503.1]
- Design and Install HVAC System to ACCA Manual J, D, and S [CalGreen 4.507.2]
- HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. [CalGreen 702.1]
- Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall be covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system.
- Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan.
- Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.
- Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.
- Low-VOC aerosol paints and coatings: Meet BAAGMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. [CalGreen 4.504.2.3]
- Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1168. See CalGreen Tables 4.504.1 and 4.504.2. [CalGreen 4.504.2.1]

## Symbols

<p> <b>E2</b>  <b>A4.1</b>    <b>LS 1</b>  <b>A5.1</b>    <b>3</b>  <b>A8.1</b>    <b>3</b>  <b>A6.1</b>    <b>A</b> </p>	<p> <b>Exterior Elevation</b>  <b>Drawing No.</b>  <b>Sheet No.</b>    <b>Section</b>  <b>Drawing No.</b>  <b>Sheet No.</b>    <b>Interior Elevation</b>  <b>Drawing No.</b>  <b>Sheet No.</b>    <b>Detail</b>  <b>Drawing No.</b>  <b>Sheet No.</b>    <b>Grid/Column Line</b> </p>	<p> <b>Control or Data Point</b>    <b>Property Line</b>    <b>Setback Line</b>    <b>Center or Grid Line</b>    <b>Hidden or foreground Line</b>    <b>Contour, Existing Line</b>    <b>Contour, New Line</b>    <b>Revision No</b>  <b>- Cloud Around Revision</b> </p>	<p> <b>Match Line</b>    <b>Spot Elevation</b>    <b>Door Number/Letter</b>    <b>Window Number/Letter</b>    <b>Room Number</b> </p>
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## Design Team

**Architect**  
 Terry & Terry Architecture LLP  
 1073 Euclid Avenue  
 Berkeley, CA 94708  
 510.525.0504

**Property Owners**  
 Terry-Bal Family Trust  
 415 Diamond St.  
 San Francisco, CA 94114  
 510.673.3549

**Surveyor**  
 BKF Engineers  
 200 4th Street, Suite 300  
 Santa Rosa, CA 95401  
 707.583.8500

Description

Cover Sheet

Drawn By: AT & NH  
 Scale: As Noted

Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application

Sheet **A1.1**

**Project Data:**

Lot Area: 11,200 s.f. (No changes proposed)

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 (E) Floor Area: 3,586 s.f.  
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 (N) F.A.R.: 29%

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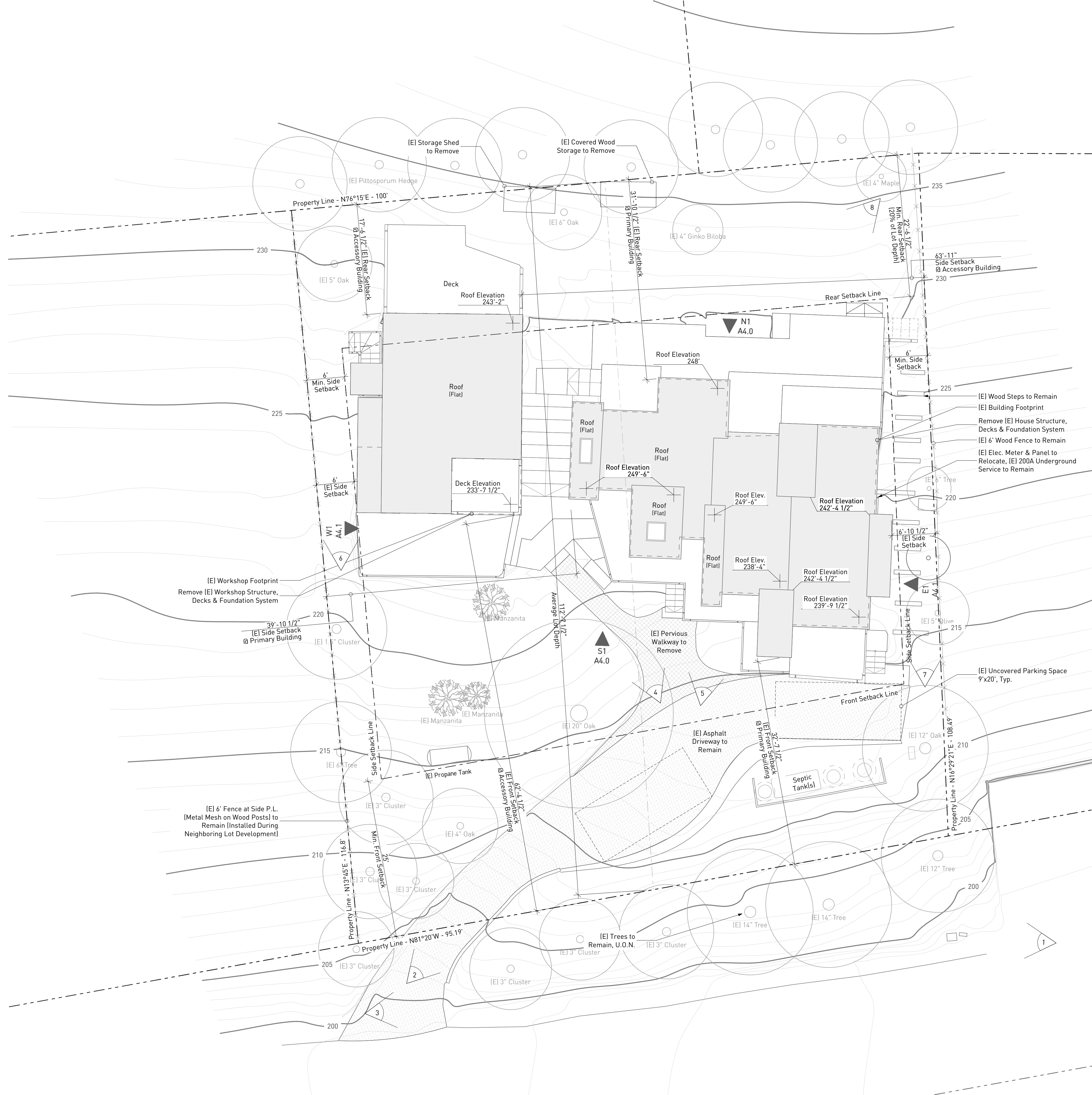
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 (No accessory building proposed)

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 (E) Accessory Structure Max. Building Height: 20'-3"

(N) Max. Building Height: 24'-4 1/2"  
 (No accessory building proposed)

**Site Plan Legend:**

- Property Line
- Setback Line
- Fence Alignment
- Major Contour Line (Existing/Proposed)
- Major Contour Line (Modified)
- Minor Contour Line (Existing/Proposed)
- Minor Contour Line (Modified)
- Existing Building Footprint
- Proposed Building Footprint at Grade
- Asphalt Paving Area
- Basalt Cobblestone Paving Area



1 - Streetscape



2 - Driveway



3 - Driveway & street



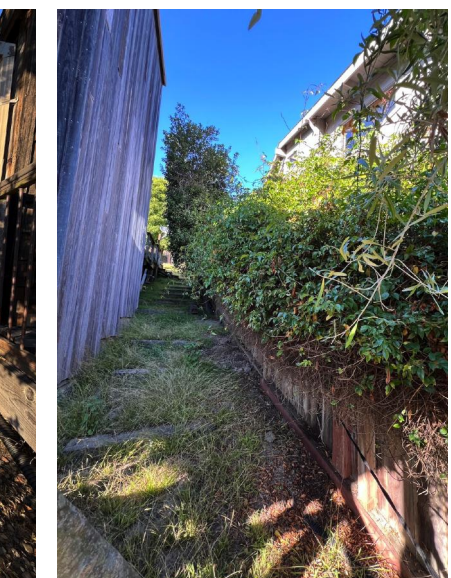
4 - Front driveway & walkway



5 - Front of (E) House



6 - West sideyard



7 - East sideyard



8 - Rear of (E) House

**Terry & Terry Architecture LLP**

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**T/B Residence**

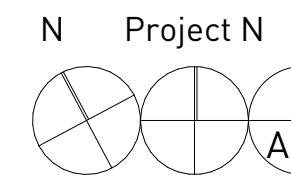
250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description

**Existing Site & Roof Plan**

Drawn By: AT & NH  
 Scale: As Noted

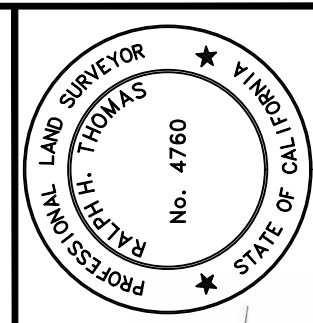
Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application



**Existing Site Plan**

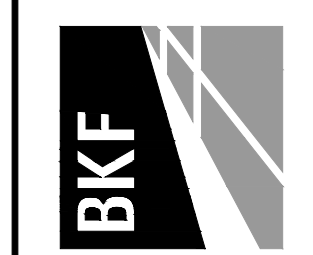
Scale: 1/8" = 1'-0"

Sheet **A2.0**



12/13/2022  
RALPH H. THOMAS  
PLS 4760

BKF ENGINEERS  
200 4th STREET  
SANTA ROSA, CA 95401  
(707) 583-8500  
www.bkf.com

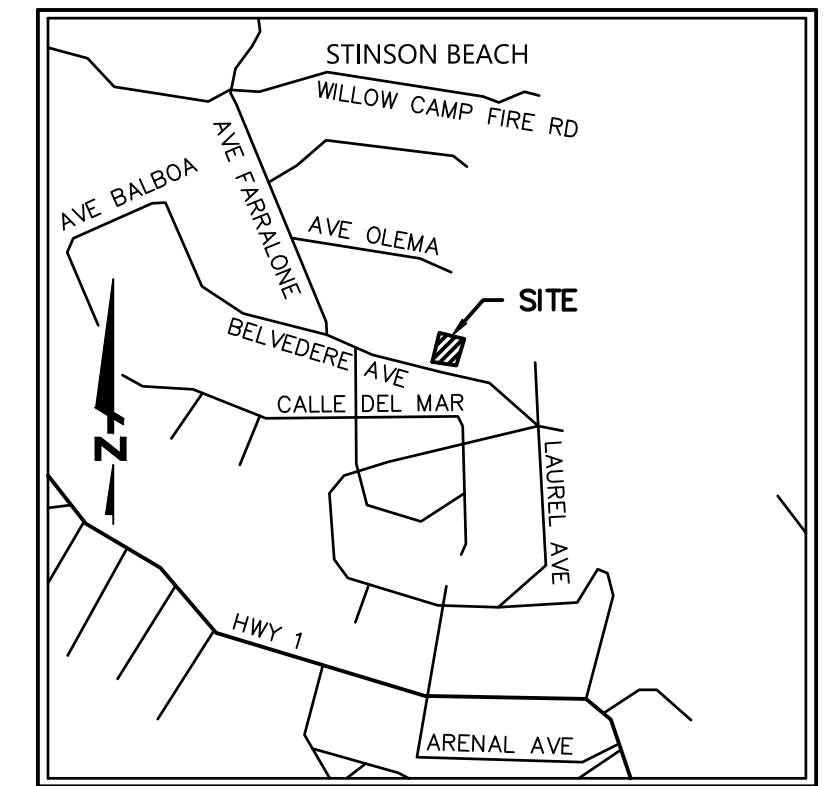


250 BELVEDERE AVENUE  
APN 195-141-06  
STINSON BEACH, CALIFORNIA  
**TOPOGRAPHIC MAP**

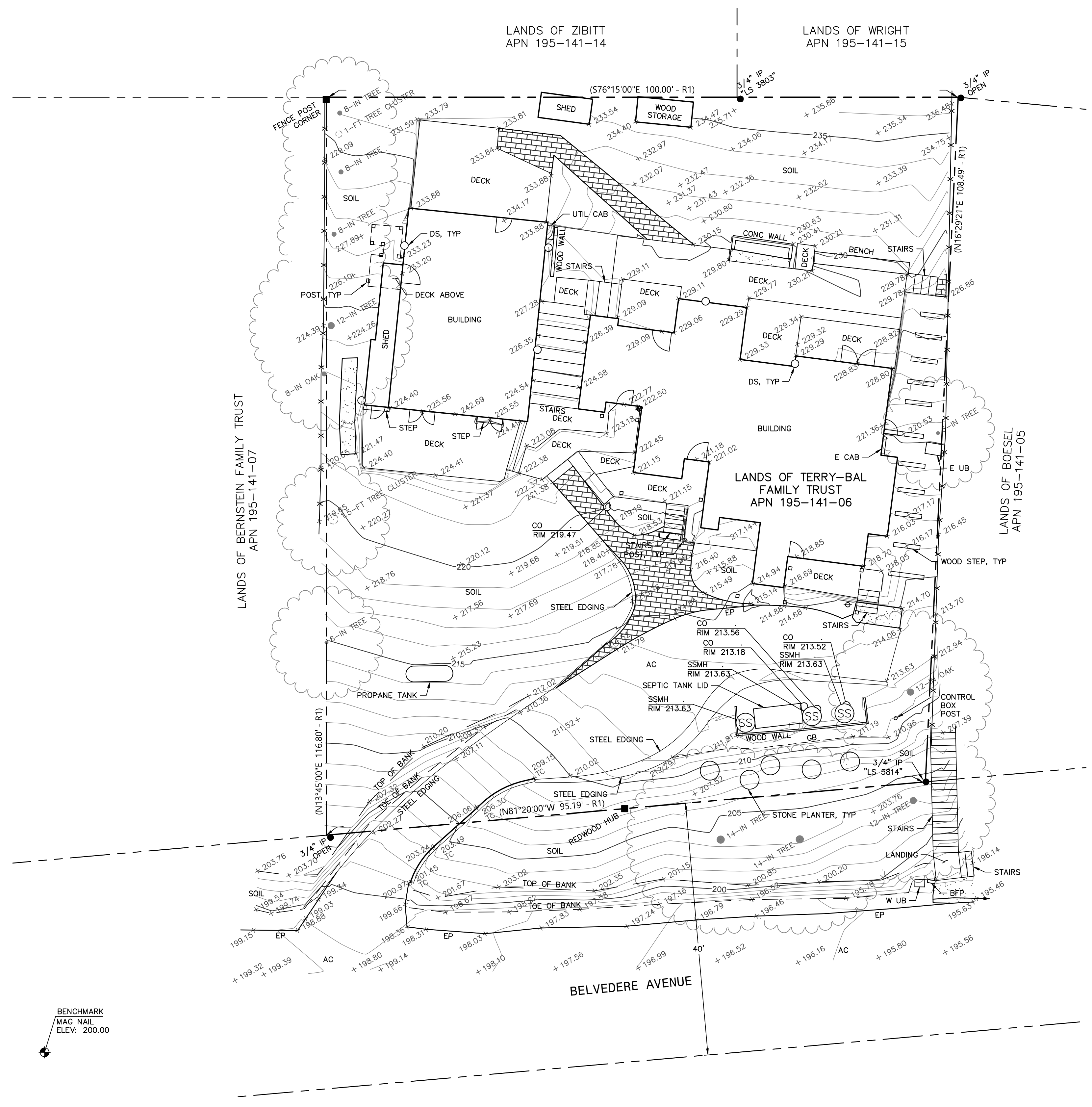
Revisions

No.	
Date: DEC 2022	
Scale: AS SHOWN	
Design: N/A	
Drawn: JT	
Approved: RHT	
Job No: 20221703	

Drawing Number:  
1 OF 1



VICINITY MAP  
NOT TO SCALE

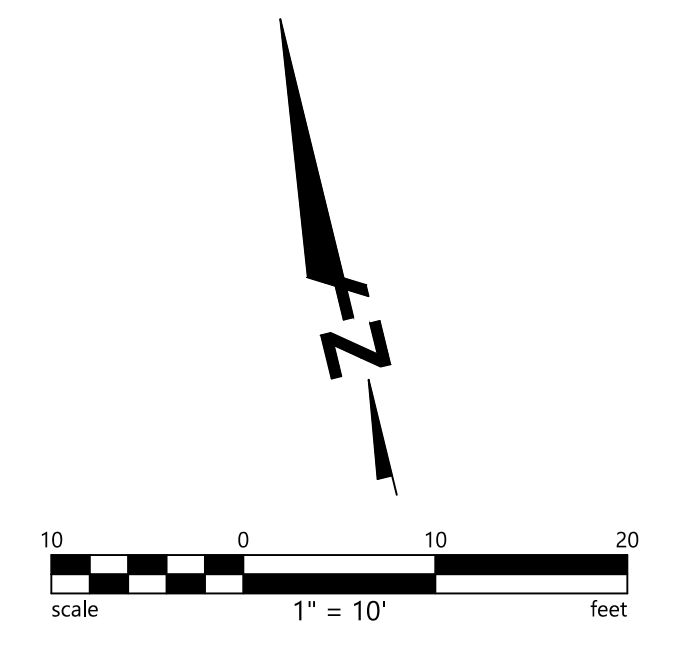


**ABBREVIATIONS**

- AC ASPHALT CONCRETE
- APN ASSESSOR'S PARCEL NUMBER
- BFP BACKFLOW PREVENTOR
- CAB CABINET
- CO CLEAN OUT
- CONC CONCRETE
- DS RAINWATER DOWN SPOUT
- E ELECTRIC
- ELEV ELEVATION
- EP EDGE OF PAVEMENT
- GB GRADE BREAK
- IP IRON PIPE
- SSMH SANITARY SEWER MANHOLE
- TC TOP FACE OF CURB
- TYP TYPICAL
- UB UTILITY BOX
- UTIL UTILITY
- W WATER

**SYMBOLS & LEGEND**

- EXISTING**
- BENCHMARK
  - FOUND IRON PIPE, SIZED AND TAGGED AS NOTED
  - FOUND MONUMENT AS NOTED
  - RISER
  - TREE
  - TREE CLUSTER
  - PROPERTY LINE
  - GRADE BREAK
  - FLOW LINE
  - FENCE
  - CONCRETE
  - PAVERS



**REFERENCES**

R1 RECORD OF SURVEY OF THE LANDS OF DELL'OSSO, FILED IN BOOK 32 OF MAPS, AT PAGE 15, MARIN COUNTY RECORDS.

**TOPOGRAPHIC NOTES**

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIPLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORD OF SURVEY OF THE LANDS OF DELL'OSSO, FILED IN BOOK 32 OF MAPS, AT PAGE 15, MARIN COUNTY RECORDS.

BASIS OF BEARINGS: RECORD OF SURVEY OF THE LANDS OF DELL'OSSO, FILED IN BOOK 32 OF MAPS, AT PAGE 15, MARIN COUNTY RECORDS.

BENCHMARK: MAG NAIL IN BELVEDERE AVENUE, LOCATION SHOWN HEREON. ELEV: 200.00 (DATUM: ASSUMED)

FIELD SURVEY DATE: 12/07/2022

**Project Data:**

Lot Area: 11,200 s.f. (No changes proposed)

(E) Building Area: 4,247 s.f.  
 (N) Building Area: 3,893 s.f. (+354 s.f.)  
 (E) Floor Area: 3,586 s.f.  
 (N) Floor Area: 3,220 s.f. (-366 s.f.)

(E) F.A.R.: 32%  
 (N) F.A.R.: 29%

Area of Additional Disturbance: -442 s.f.

(E) Impervious Lot Coverage: 3,200 s.f.  
 (E) Pervious Lot Coverage: 8,000 s.f.  
 (N) Impervious Lot Coverage: 3,952 s.f.  
 (N) Pervious Lot Coverage: 7,248 s.f.

Grading: Net cut of 35.5 cu.yd. (off-haul volume)

(E) Parking: 2 uncovered spaces (tandem)  
 (N) Parking: 2 uncovered spaces (tandem)  
 + 2 covered spaces (all 9'x20')

(E) Primary Building Setbacks:  
 (E) South (front) Setback: 32'-7 1/2"  
 (E) North (rear) Setback: 31'-10 1/2"  
 (E) East Setback: 6'-10 1/2"  
 (E) West Setback: 39'-10 1/2"

(E) Accessory Building Setbacks:  
 (E) South (front) Setback: 62'-4 1/2"  
 (E) North (rear) Setback: 17'-6 1/2"  
 (E) East Setback: 63'-11"  
 (E) West Setback: 6'-0"

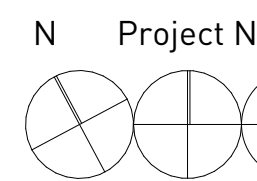
(N) Primary Building Setback:  
 (N) South (front) Setback: 43'-11"  
 (N) North (rear) Setback: 22'-9"  
 (N) East Setback: 6'-8"  
 (N) West Setback: 6'-0 1/2"  
 (No accessory building proposed)

(E) Primary Structure Max. Building Height: 31'-7 1/4"  
 (E) Accessory Structure Max. Building Height: 20'-3"

(N) Max. Building Height: 24'-4 1/2"  
 (No accessory building proposed)

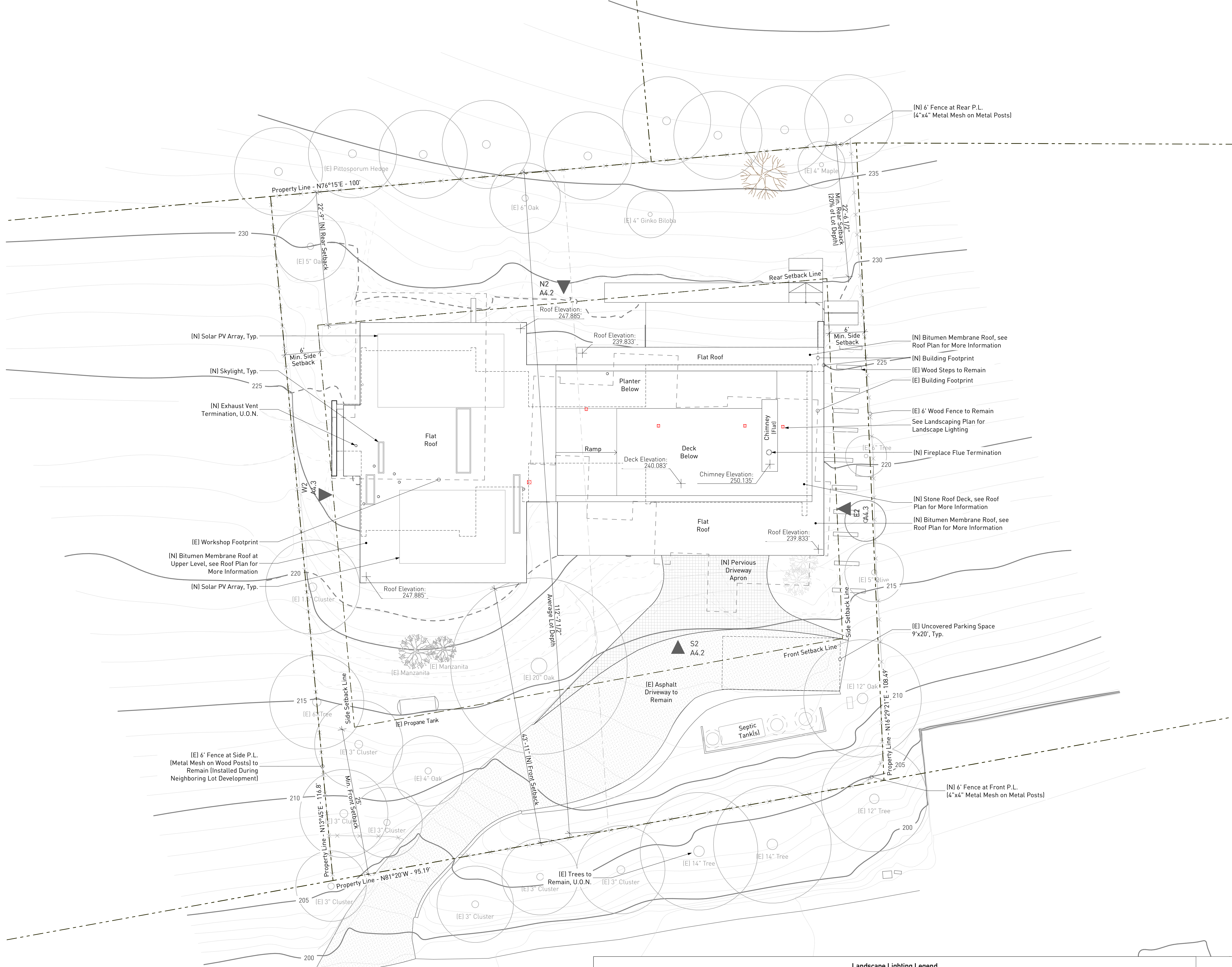
**Site Plan Legend:**

- Property Line
- Setback Line
- Fence Alignment
- Major Contour Line (Existing/Proposed)
- Major Contour Line (Modified)
- Minor Contour Line (Existing/Proposed)
- Minor Contour Line (Modified)
- Existing Building Footprint
- Proposed Building Footprint at Grade
- Asphalt Paving Area
- Basalt Cobblestone Paving Area



**Proposed Site Plan**

Scale: 1/8" = 1'-0"



**Landscape Lighting Legend**

ID	Symbol	Quant.	Type	Location	Mounting	Manuf.	Model	Trim	Lens	Lamp	Watt	Notes/remarks
E	⬇	21	Stem Light	Landscaping	Stem	Lumière	Cambria 206	N/A	Clear, Temp.	2,700K LED	8	denotes fixtures at decks above
F	⊙	3	Deck Light	Decks/Hardscape	Floor	Bega	77 070	Graphite	Clear, Temp.	2,700K LED	2.5	denotes fixtures at decks above
G	⊙	8	Step Light	Walls	Recessed	WAC Lighting	Tyler	Black/Bronze	N/A	2,700K LED	2	denotes fixtures at decks above

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**T/B Residence**

250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description

**Proposed Site & Roof Plan**

Drawn By: AT & NH  
 Scale: As Noted

Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application

**Drainage Notes:**

Total Existing Impervious Area: 3,170 s.f.  
 Total Existing Pervious Area: 8,030 s.f.  
 Total Proposed Impervious Area: 3952 s.f.  
 Total Proposed Pervious Area: 7,248 s.f.  
**Net Increase in Pervious Area: 782 s.f.**

Pervious areas include: projected roof area of the structures + asphalt driveway.  
 All other landscaping materials are pervious (such as cobblestones or patio pavers set in gravel).

All stormwater drainage will be released to the site within landscaped areas and/or pervious surfaces. No stormwater will be routed to the public right of way or public storm drains. Additional loads to the public storm drain system resulting from the proposed project will be negligible, and due to natural sub-surface drainage in exceptionally wet conditions where the soil is saturated. In normal conditions, no stormwater drainage resulting from the +782 s.f. or pervious area runoff is expected to reach the downslope property line and the public right of way.

**Septic System Notes:**

The existing septic system was approved by Stinson Beach Water District in 2012. No changes are proposed to the system.

Area Calculations per per SBWD Code Title IV Section 4.02.147:

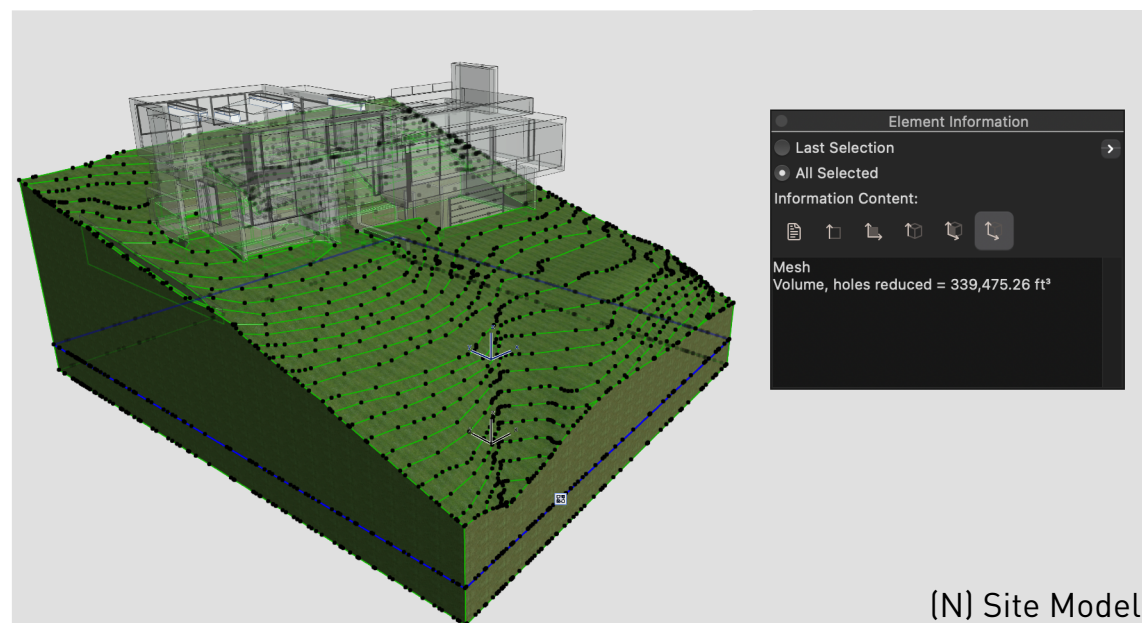
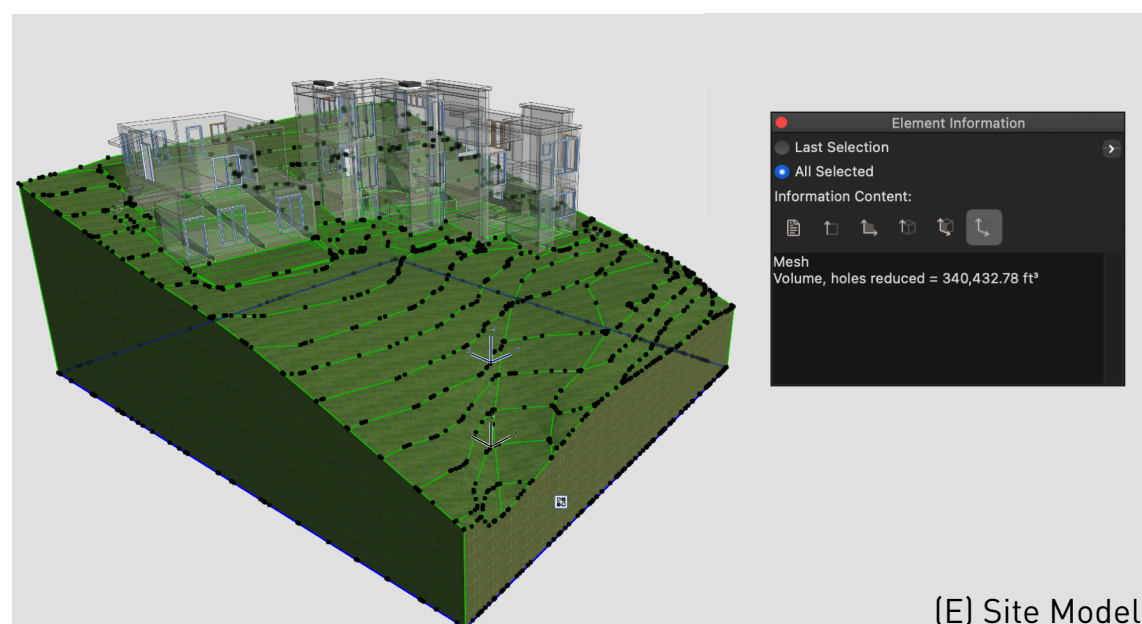
(E) Habitable Space: 2,489 s.f.  
 (N) Habitable Space: 2,425 s.f.  
**(Net decrease of 64 s.f.)**

No occupancies other than R-3 present or proposed on the subject lot.

**Grading Notes:**

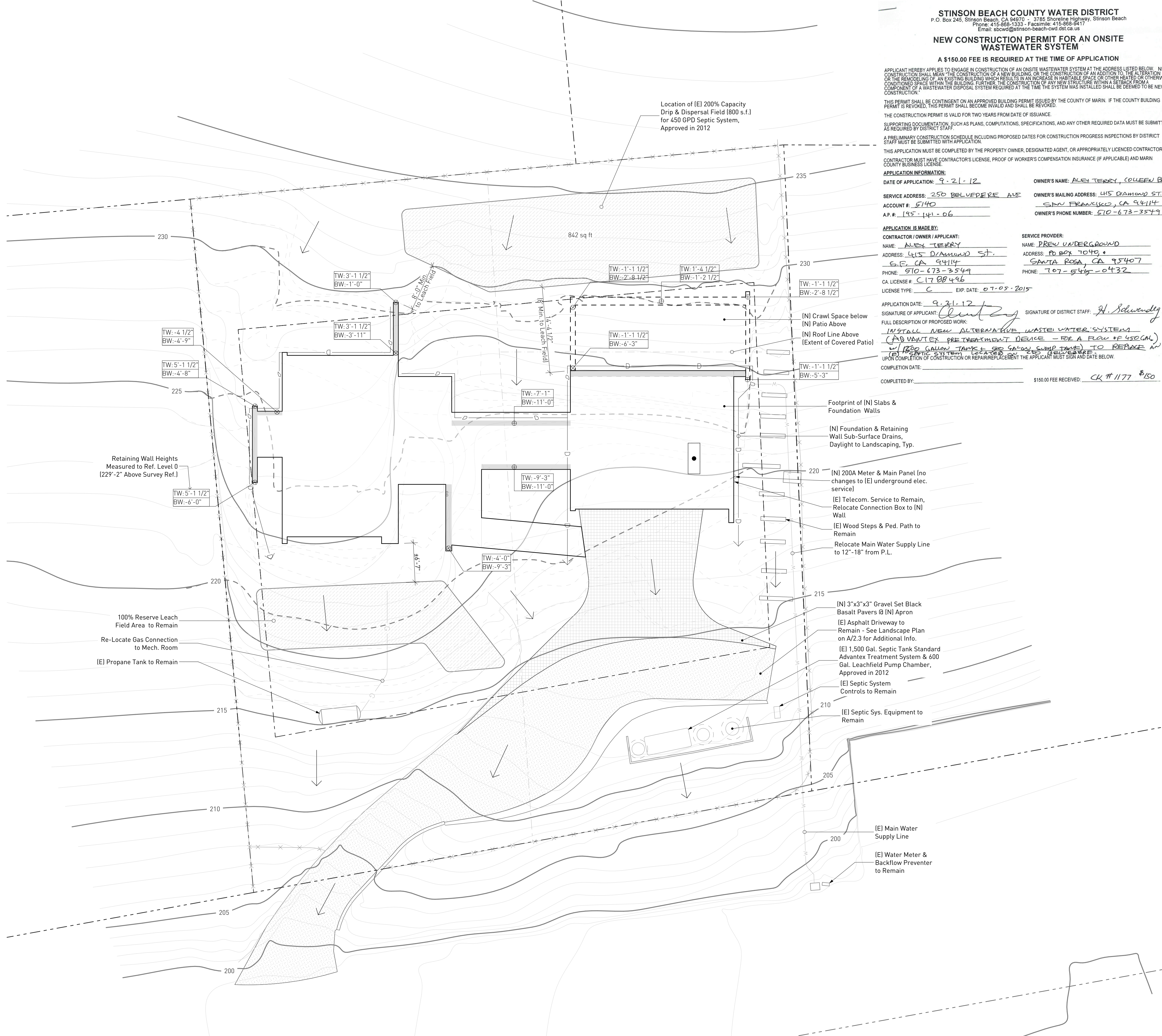
The volume of the existing and proposed site were estimated using 3D modeling software. The difference between the existing and proposed volumes is -35.5 cu.yds., which represents the estimated volume of soils to be exported.

This estimate includes the volume of the estimated foundation systems of the structures.



**Grading Plan Legend:**

- Property Line
- Setback Line
- x-x- Fence Alignment
- ~ Major Contour Line (Existing/Proposed)
- - - Major Contour Line (Modified)
- - - Minor Contour Line (Existing/Proposed)
- - - Minor Contour Line (Modified)
- Sub-surface Perf. Drain Line
- Existing Building Footprint
- Proposed Building Footprint at Grade
- Septic Leach Field Area
- Asphalt Paving Area
- Basalt Cobblestone Paving Area
- Retaining Wall
- Direction of Drainage



**STINSON BEACH COUNTY WATER DISTRICT**  
 P.O. Box 245, Stinson Beach, CA 94970 - 3765 Shoreline Highway, Stinson Beach  
 Phone: 415-668-1333 - Facsimile: 415-668-9417  
 Email: sbowd@stinson-beach-cwd.dst.ca.us

**NEW CONSTRUCTION PERMIT FOR AN ONSITE WASTEWATER SYSTEM**

**A \$150.00 FEE IS REQUIRED AT THE TIME OF APPLICATION**

APPLICANT HEREBY APPLIES TO ENGAGE IN CONSTRUCTION OF AN ONSITE WASTEWATER SYSTEM AT THE ADDRESS LISTED BELOW. NEW CONSTRUCTION SHALL MEAN THE CONSTRUCTION OF A NEW BUILDING, OR THE CONSTRUCTION OF AN ADDITION TO THE ALTERATION OF OR THE REMODELING OF AN EXISTING BUILDING WHICH RESULTS IN AN INCREASE IN HABITABLE SPACE OR OTHER HEATED OR OTHERWISE CONDITIONED SPACE WITHIN THE BUILDING. FURTHER, THE CONSTRUCTION OF ANY NEW STRUCTURE WITHIN A SETBACK FROM A COMPONENT OF A WASTEWATER DISPOSAL SYSTEM REQUIRED AT THE TIME THE SYSTEM WAS INSTALLED SHALL BE DEEMED TO BE NEW CONSTRUCTION.

THIS PERMIT SHALL BE CONTINGENT ON AN APPROVED BUILDING PERMIT ISSUED BY THE COUNTY OF MARIN. IF THE COUNTY BUILDING PERMIT IS REVOKED, THIS PERMIT SHALL BECOME INVALID AND SHALL BE REVOKED.

SUPPORTING DOCUMENTATION, SUCH AS PLANS, COMPUTATIONS, SPECIFICATIONS, AND ANY OTHER REQUIRED DATA MUST BE SUBMITTED AS REQUIRED BY DISTRICT STAFF.

A PRELIMINARY CONSTRUCTION SCHEDULE INCLUDING PROPOSED DATES FOR CONSTRUCTION PROGRESS INSPECTIONS BY DISTRICT STAFF MUST BE SUBMITTED WITH APPLICATION.

THIS APPLICATION MUST BE COMPLETED BY THE PROPERTY OWNER, DESIGNATED AGENT, OR APPROPRIATELY LICENSED CONTRACTOR. CONTRACTOR MUST HAVE CONTRACTOR'S LICENSE, PROOF OF WORKERS COMPENSATION INSURANCE (IF APPLICABLE) AND MARIN COUNTY BUSINESS LICENSE.

**APPLICATION INFORMATION:**  
 DATE OF APPLICATION: 9-21-12  
 OWNER'S NAME: ALEX TERRY, COLLEEN BAL  
 SERVICE ADDRESS: 250 BELVEDERE AVE  
 OWNER'S MAILING ADDRESS: 415 DIAMOND ST  
 ACCOUNT # 5140  
 SAN FRANCISCO, CA 94114  
 A.P.#: 195-141-06  
 OWNER'S PHONE NUMBER: 510-673-3549

**APPLICANT INFORMATION:**  
 CONTRACTOR / OWNER / APPLICANT: NAME: ALEX TERRY  
 ADDRESS: 415 DIAMOND ST., S.F. CA 94114  
 PHONE: 510-673-3549  
 CA LICENSE #: C 17 00 496  
 LICENSE TYPE: C  
 EXP. DATE: 07-05-2015

**SERVICE PROVIDER:**  
 NAME: DREW UNDERGROUND  
 ADDRESS: PO BOX 7049, SANTA ROSA, CA 95407  
 PHONE: 707-549-0432

APPLICATION DATE: 9-21-12  
 SIGNATURE OF APPLICANT: [Signature] SIGNATURE OF DISTRICT STAFF: [Signature]

FULL DESCRIPTION OF PROPOSED WORK:  
 INSTALL NEW ALTERNATIVE WASTE WATER SYSTEM - (ADVANTEX PRE-TREATMENT DEVICE - FOR A FLOW OF 450 GPM) - (1,500 GALLON TANK - SEE GALVANIC SUMP TANK) TO REPLACE AN EXISTING SEPTIC SYSTEM. LEACHFIELD TO REMAIN. SEE SEPTIC PLAN.

UPON COMPLETION OF CONSTRUCTION OR REPAIR/REPLACEMENT THE APPLICANT MUST SIGN AND DATE BELOW.

COMPLETION DATE: \_\_\_\_\_  
 COMPLETED BY: \_\_\_\_\_ \$150.00 FEE RECEIVED: CK # 1177 \$150

**Terry & Terry Architecture LLP**

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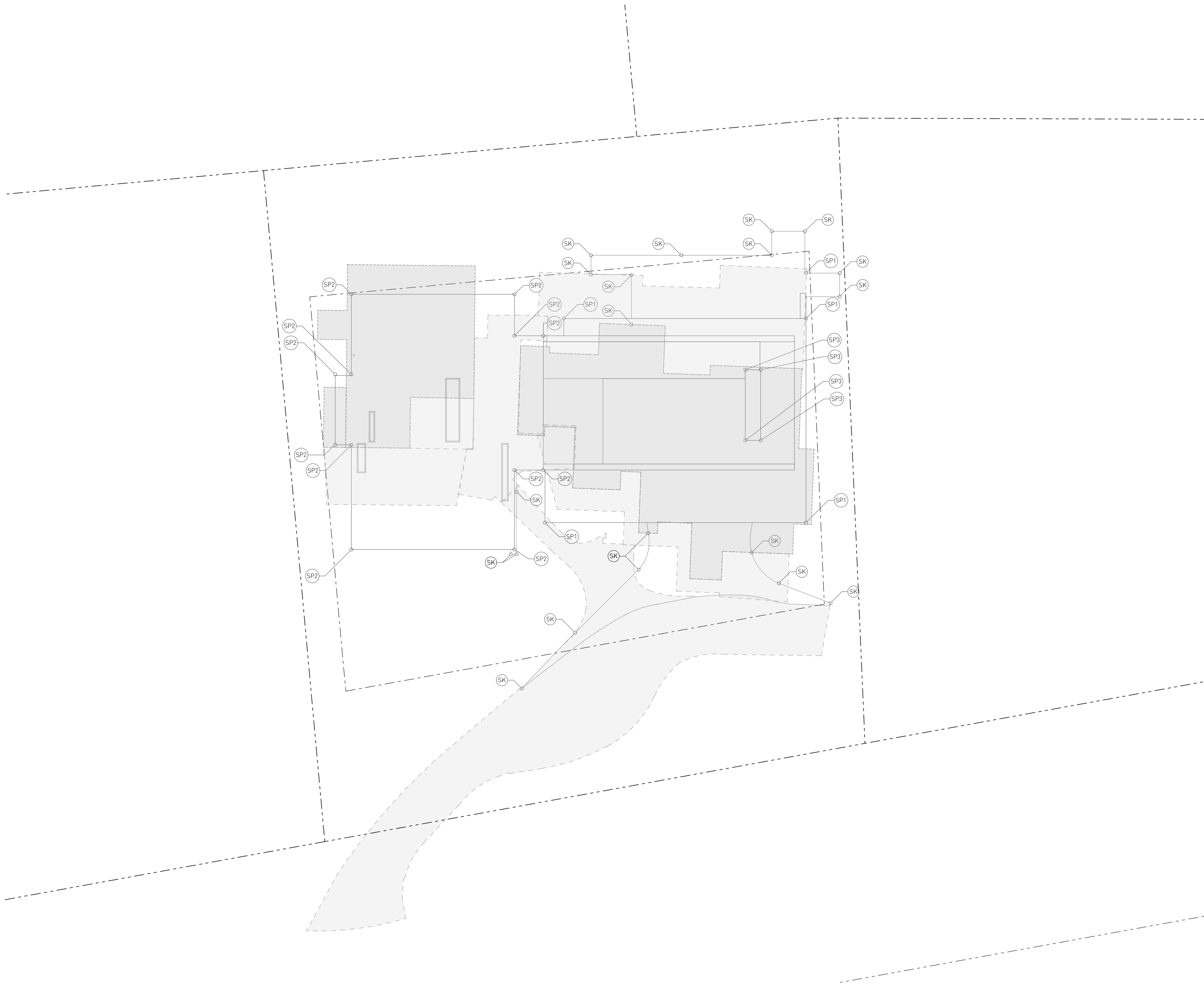


**T/B Residence**  
 250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description	
Proposed Grading, Drainage & Utilities Plan	
Drawn By	AT & NH
Scale	As Noted
Date	Issues and Revisions
7/2/25	Coastal Permit Application

**Staking / Storypole Notes:**

Stakes to be ± 1.5' high, painted bright color at the top, labeled to indicate the feature they delineate.  
 Storypoles to extend to the elevations listed above, connected by orange construction netting min. 1.5' wide.  
 If high wind conditions make it unsafe to install netting, orange tape may be substituted with the tops of the story poles painted orange.

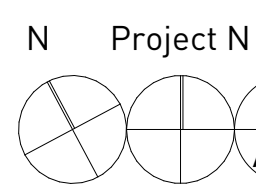


**Storypole Plan Legend:**

- Property Line
- Setback Line
- ▭ Proposed Roof Outline
- ▭ Proposed Paving Outline Below
- ▭ Existing Roof Outline
- ▭ Existing Deck / Paving Outline Below
- SP2 Storypole - Top to Elevation Listed Below
- SK Stake - Depicts Landscaping Feature Outline

**Storypole & Stake Elevations**

- SP1 To Elevation +239.833'
- SP2 To Elevation +247.885'
- SP3 To Elevation +250.135'
- SK Stake at Grade



**Proposed Staking & Story Poles**

Scale: 1/8" = 1'-0"

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**T/B Residence**

250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description

**Staking and Story Pole Plan**

Drawn By: AT & NH  
 Scale: As Noted

Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application



**Existing Floor Plan Notes:**

1. Dimensions on floor plans are to face of finish, unless otherwise noted.
2. The existing structures are proposed to be entirely removed, including foundations, framing and finishes, unless otherwise noted.
3. See Landscaping Plan 1/A2.5 for tree protection notes.
4. The term "Verify in Field" (V.I.F.) refers to a dimension or condition determined before or during construction by the contractor. A dimension which has a "v.i.f." at the end indicates a dimension that can only be determined during construction.

**Floor Plan Legend:**

- Property Line
- Setback Line
- Center or Grid Line
- Hidden or Foreground Line

**Exterior Elevation**

E2 Drawing #  
A4.1 Sheet #

**Section**

LS 1 Drawing #  
A5.1 Sheet #

**Interior Elevation**

3 Drawing #  
A8.1 Sheet #

**Detail**

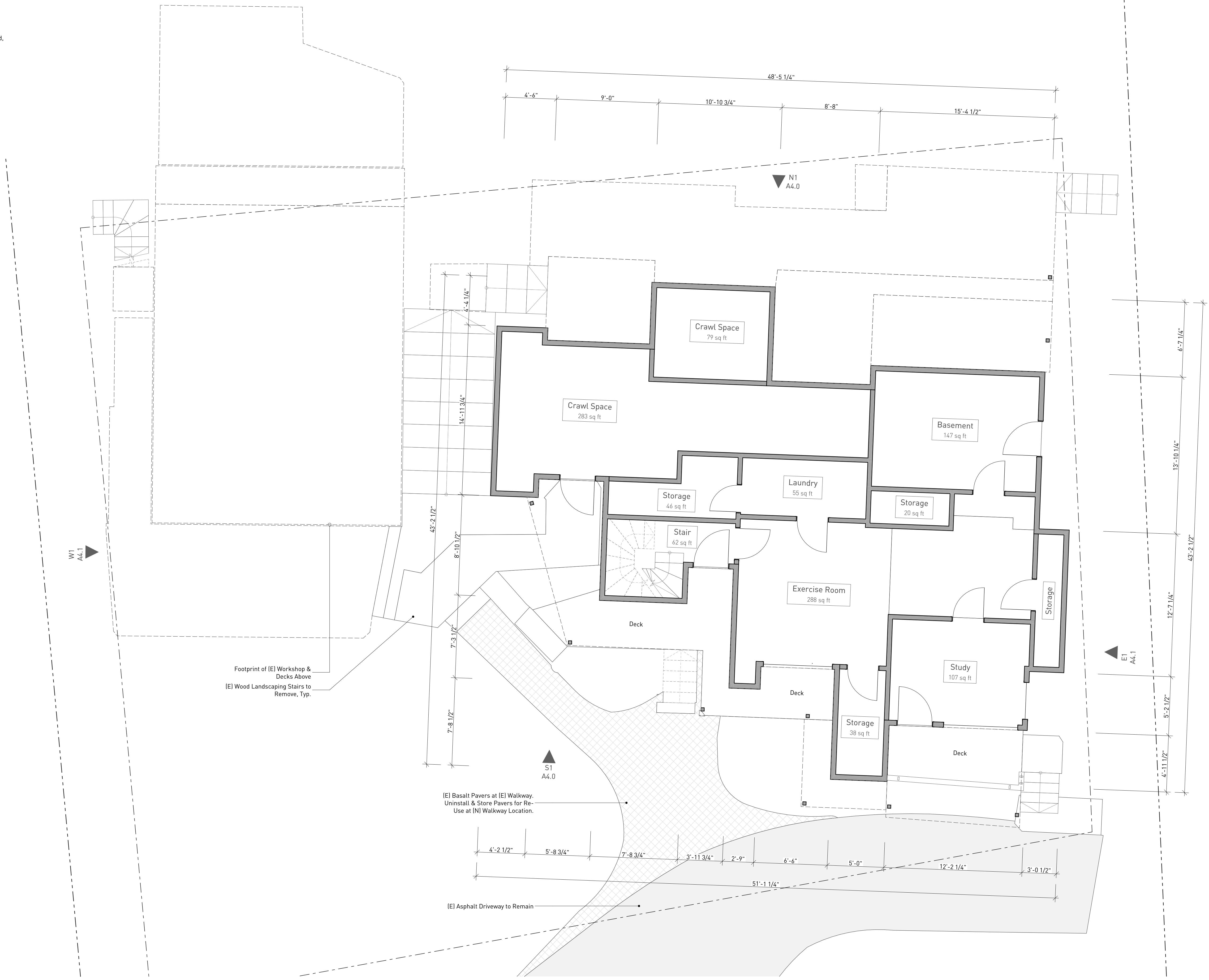
3 Drawing #  
A6.1 Sheet #

**Room**

A: 153 sq ft Room Area

Hardwood Floor Material

Revision Cloud (w/ Version Tag)



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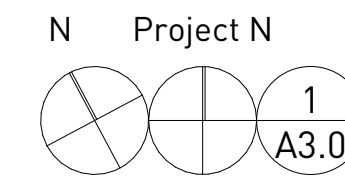


**T/B Residence**  
250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description  
**Existing / Demolition First Floor Plan**

Drawn By: AT & NH  
Scale: As Noted

Date: 7/2/25  
Issues and Revisions: Coastal Permit Application



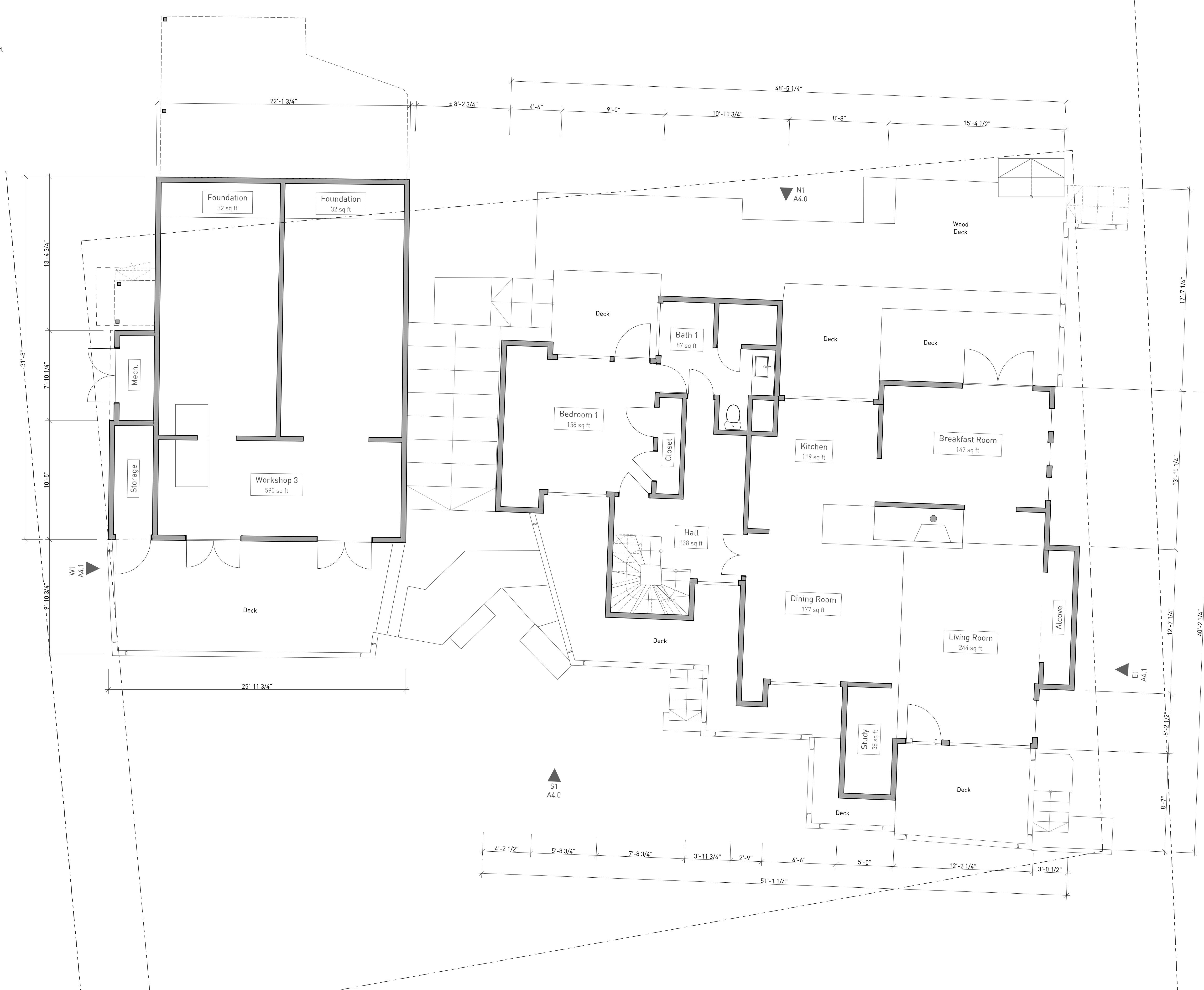
**Existing First Floor Plan**

Scale: 1/4" = 1'-0"

Sheet **A3.0**

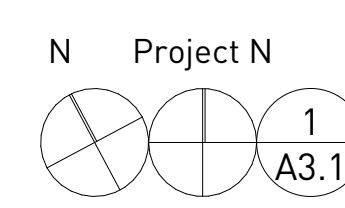
**Existing Floor Plan Notes:**

1. Dimensions on floor plans are to face of finish, unless otherwise noted.
2. The existing structures are proposed to be entirely removed, including foundations, framing and finishes, unless otherwise noted.
3. See Landscaping Plan 1/A2.5 for tree protection notes.
4. The term "Verify in Field" (V.I.F.) refers to a dimension or condition determined before or during construction by the contractor. A dimension which has a "± V.I.F." at the end indicates a dimension that can only be determined during construction.



**Floor Plan Legend:**

- Property Line
  - Setback Line
  - Center or Grid Line
  - Hidden or Foreground Line
- Exterior Elevation**
- E2 A4.1 Drawing # Sheet #
- Section**
- LS 1 A5.1 Drawing # Sheet #
- Interior Elevation**
- 3 A8.1 Drawing # Sheet #
- Detail**
- 3 A6.1 Drawing # Sheet #
- Room**
- A: 153 sq ft Room Area
  - Hardwood Floor Material
- Revision Cloud (w/ Version Tag)



**Existing Second Floor Plan**  
Scale: 1/4" = 1'-0"

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**T/B Residence**  
250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description  
**Existing / Demolition Second Floor Plan**

Drawn By: AT & NH  
Scale: As Noted

Date: 7/2/25  
Issues and Revisions: Coastal Permit Application

Sheet **A3.1**

**Existing Floor Plan Notes:**

1. Dimensions on floor plans are to face of finish, unless otherwise noted.
2. The existing structures are proposed to be entirely removed, including foundations, framing and finishes, unless otherwise noted.
3. See Landscaping Plan 1/A2.5 for tree protection notes.
4. The term "Verify in Field" (V.I.F.) refers to a dimension or condition determined before or during construction by the contractor. A dimension which has a "v.i.f." at the end indicates a dimension that can only be determined during construction.



**Floor Plan Legend:**

- Property Line
  - Setback Line
  - Center or Grid Line
  - Hidden or Foreground Line
- Exterior Elevation**
- E2 Drawing # A4.1 Sheet #
- Section**
- LS 1 Drawing # A5.1 Sheet #
- Interior Elevation**
- 3 Drawing # A8.1 Sheet #
- Detail**
- 3 Drawing # A6.1 Sheet #
- | Room         | Room Name      |
|--------------|----------------|
| A: 153 sq ft | Room Area      |
| Hardwood     | Floor Material |
- Revision Cloud (w/ Version Tag)

N Project N

**Existing Third Floor Plan**

Scale: 1/4" = 1'-0"

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**T/B Residence**

250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description

Existing / Demolition Third Floor Plan

Drawn By AT & NH  
Scale As Noted

Date Issues and Revisions  
7/2/25 Coastal Permit Application

Sheet **A3.2**

**Floor Plan Notes:**

- Dimensions on floor plans are to face of finish, unless otherwise noted.
- Dimensions to Gridline Elements are to Face of Framing, unless otherwise noted.
- See Landscaping Plan 1/A2.5 for tree protection notes.
- The term "Verify in Field" (V.I.F.) refers to a dimension or condition determined before or during construction by the contractor. A dimension which has a "± V.I.F." at the end indicates a dimension that can only be determined during construction.
- Guardrails and guardwalls shall be a min. height of 42". Rails or openings to be spaced such that a 4" dia. sphere can not pass through. Guardrails shall be provided when floor (walking) surface is greater than 30" above grade. May be less if noted or shown on drawings.
- Handrails shall be 34" to 38" above the nose of stair tread. End shall be returned to wall. The hand grip portion of handrail shall not be less than 1 1/4" nor more than 2" in cross-sectional dimension, and provide 1/2" clearance from wall. Stair handrails to be continuous without interruption by newel posts or other obstructions.
- Handrails and guardrails shall be designed to resist a concentrated load of 200lbs.
- Horiz. & vert. wood structural members used in exposed decks, balconies, porches, or any supporting moisture permeable floor or roof shall be pressure treated wood or material of natural resistance to decay.
- Provide one hour fire resistant construction 5/8" type "X" gyp. board at underside of soffit, on walls of the enclosed usable space beneath stairway, and on walls separating residential spaces from attached garages. Provide fire blocking in concealed spaces at top and bottom of stair stringers and along stringers in between the studs within the walls whether finished or unfinished.
- All walls, floors and ceilings opened during construction to be insulated w/ min. R-13 (walls), min. R-19 (ceilings & floors).
- Egress windows requirements: 5.7 sf min. net opening area, 24" min. net opening height, 20" min. net opening width & sill height 44" max. above finished floor.
- Provide min. 30" wide space and min. 24" clear in front of each toilet.
- Shower compartments to have a min. finished interior area of 1,042 in<sup>2</sup>, and to be able to encompass a 30" dia. circle at the top of the shower threshold and up to 70" above drain. Provide showers and tub-shower combinations with individual control valves of the pressure balance or thermostatic mixing valve type.
- Smoke and carbon monoxide detectors shall be interconnected, shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Provide smoke detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) above top of stairs; (3) at least one at ground floor; (4) at least one at every level including basements. Provide carbon monoxide detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) at least one at every level including basements.
- Provide fire blocking to cut off all concealed draft openings (vertical and horizontal) to form an effective fire barrier between stories and between a story and the roof space, per CRC Table 302.11.

**Floor Plan Legend:**

- Property Line
- Setback Line
- Center or Grid Line
- Hidden or Foreground Line

**Exterior Elevation**

E2 Drawing #  
A4.1 Sheet #

**Section**

LS 1 Drawing #  
A5.1 Sheet #

**Interior Elevation**

3 Drawing #  
A8.1 Sheet #

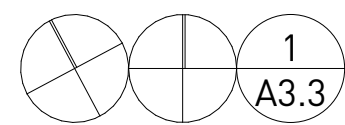
**Detail**

3 Drawing #  
A6.1 Sheet #

Room	Room Name
A: 153 sq ft	Room Area
Hardwood	Floor Material

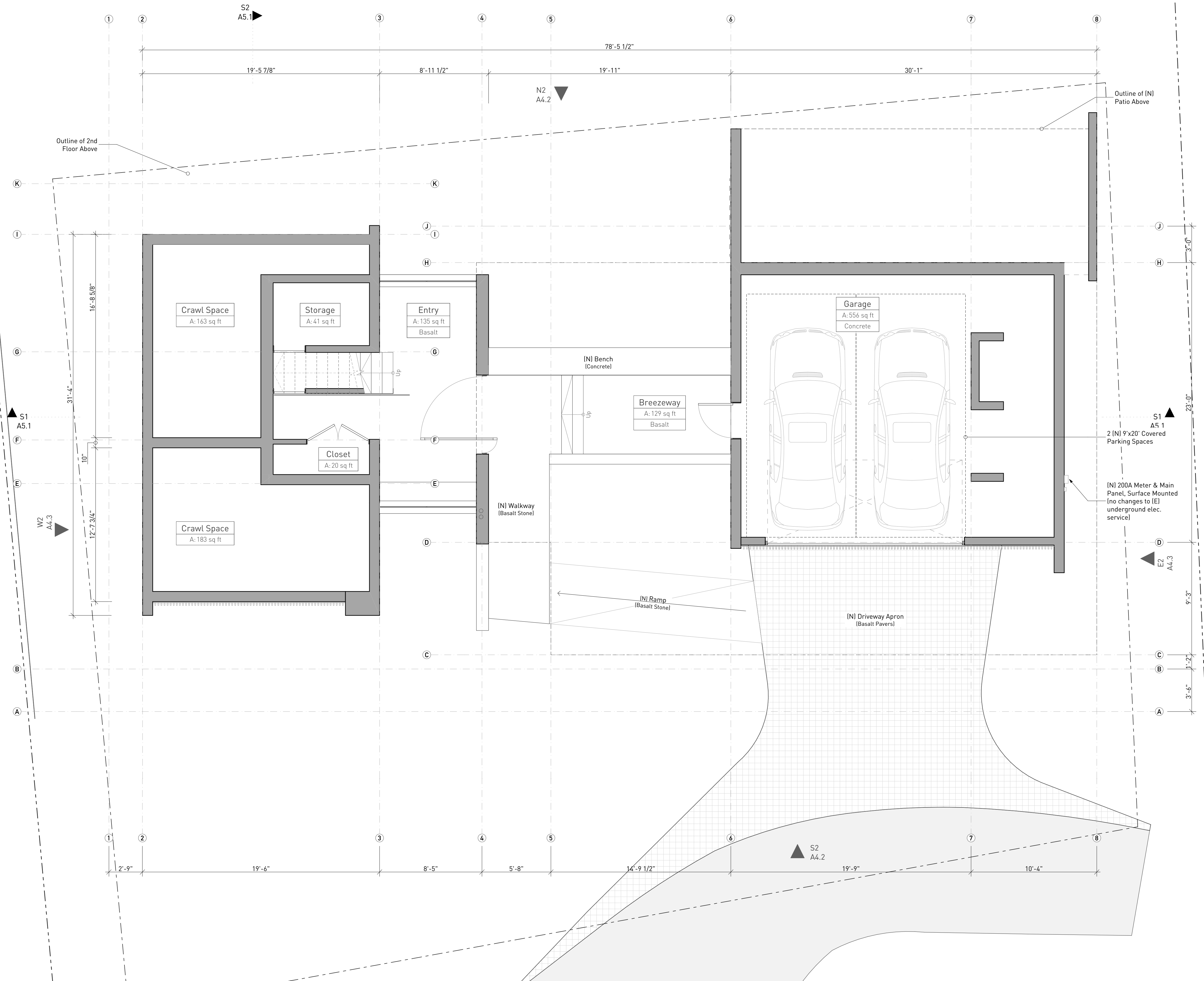
Revision Cloud (w/ Version Tag)

N Project N



**Proposed Garage Level Plan**

Scale: 1/4" = 1'-0"



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**T/B Residence**

250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description

**Proposed Garage Level Plan**

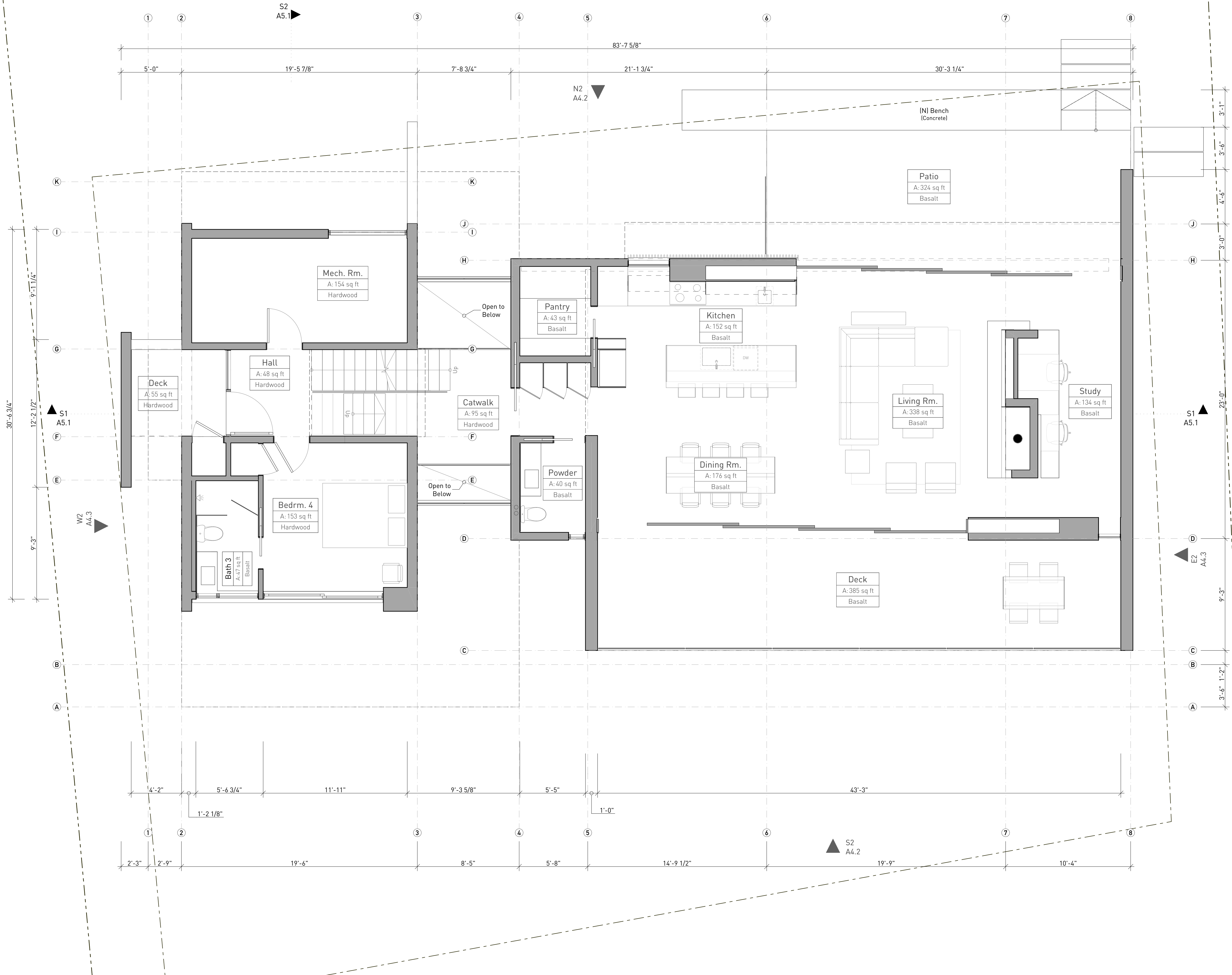
Drawn By AT & NH  
Scale As Noted

Date Issues and Revisions  
7/2/25 Coastal Permit Application

Sheet **A3.3**

**Floor Plan Notes:**

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- Handrails and guardrails shall be designed to resist a concentrated load of 200lbs.
- Horiz. & vert. wood structural members used in exposed decks, balconies, porches, or any supporting moisture permeable floor or roof shall be pressure treated wood or material of natural resistance to decay.
- Provide one hour fire resistant construction 5/8" type "X" gyp. board at underside of soffit, on walls of the enclosed usable space beneath stairway, and on walls separating residential spaces from attached garages. Provide fire blocking in concealed spaces at top and bottom of stair stringers and along stringers in between the studs within the walls whether finished or unfinished.
- All walls, floors and ceilings opened during construction to be insulated w/ min. R-13 (walls), min. R-19 (ceilings & floors).
- Egress windows requirements: 5.7 sq ft min. net opening area, 24" min. net opening height, 20" min. net opening width & sill height 44" max. above finished floor.
- Provide min. 30" wide space and min. 24" clear in front of each toilet.
- Shower compartments to have a min. finished interior area of 1,042 in<sup>2</sup>, and to be able to encompass a 30" dia. circle at the top of the shower threshold and up to 70" above drain. Provide showers and tub-shower combinations with individual control valves of the pressure balance or thermostatic mixing valve type.
- Smoke and carbon monoxide detectors shall be interconnected, shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Provide smoke detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) above top of stairs; (3) at least one at ground floor; (4) at least one at every level including basements. Provide carbon monoxide detectors: (1) inside and immediately outside all bedrooms and rooms that may be used for sleeping i.e., dens, offices, etc.; (2) at least one at every level including basements.
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**Floor Plan Legend:**

- Property Line
- Setback Line
- Center or Grid Line
- Hidden or Foreground Line

**Exterior Elevation**  
 ▲ E2 A4.1 Drawing # Sheet #

**Section**  
 ▲ LS 1 A5.1 Drawing # Sheet #

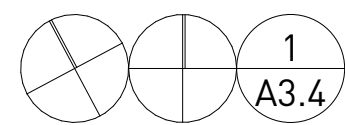
**Interior Elevation**  
 ○ 3 A8.1 Drawing # Sheet #

**Detail**  
 ○ 3 A6.1 Drawing # Sheet #

**Room**  
 A: 153 sq ft Room Area  
 Hardwood Floor Material

Revision Cloud (w/ Version Tag)

N Project N



**Proposed First Floor Plan**

Scale: 1/4" = 1'-0"

**Terry & Terry Architecture LLP**

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**T/B Residence**

250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description

**Proposed First Floor Plan**

Drawn By AT & NH  
 Scale As Noted

Date Issues and Revisions  
 7/2/25 Coastal Permit Application

Sheet **A3.4**

**Floor Plan Notes:**

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**Floor Plan Legend:**

- Property Line
- Setback Line
- Center or Grid Line
- Hidden or Foreground Line

**Exterior Elevation**

E2 Drawing #  
A4.1 Sheet #

**Section**

LS 1 Drawing #  
A5.1 Sheet #

**Interior Elevation**

3 Drawing #  
A8.1 Sheet #

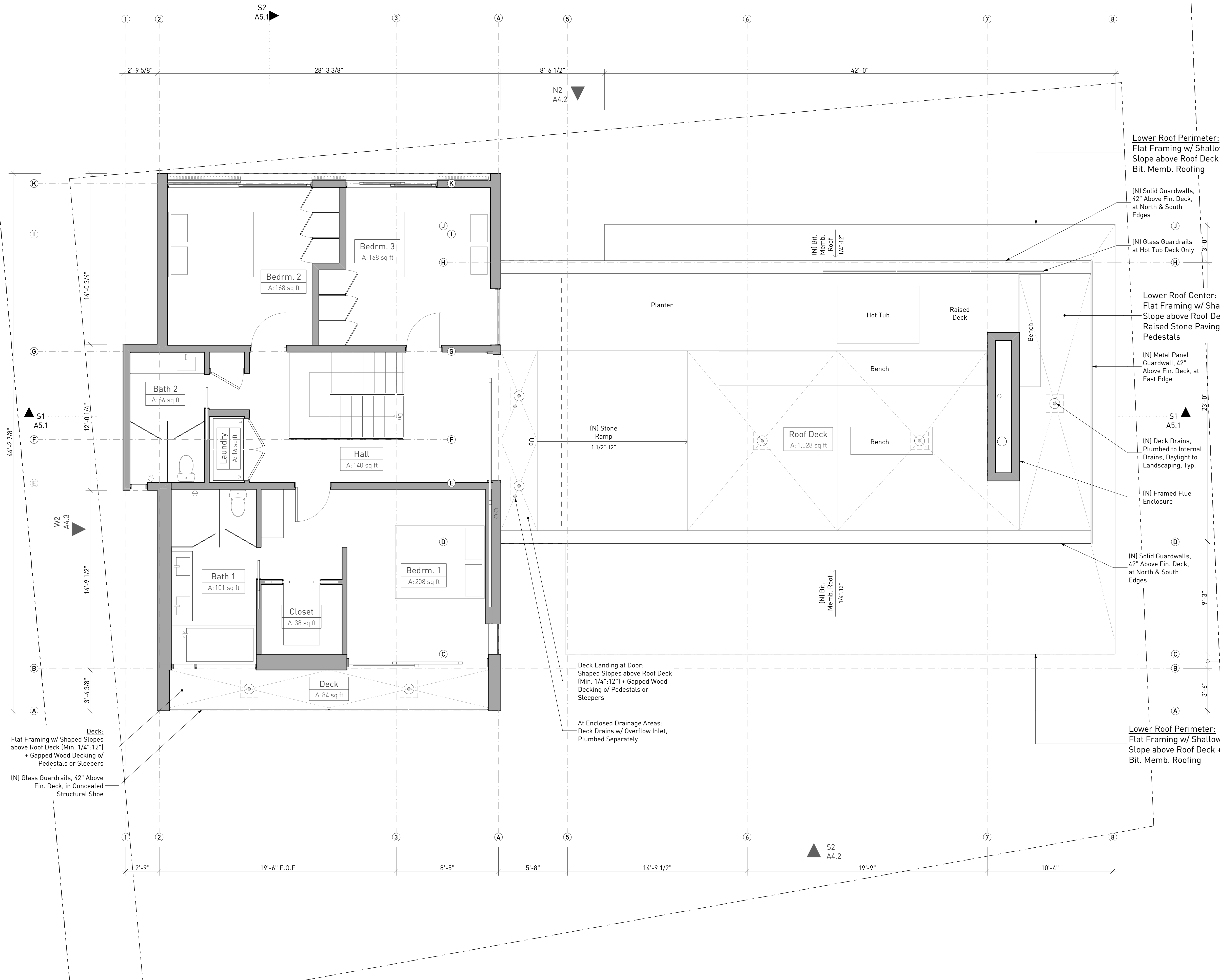
**Detail**

3 Drawing #  
A6.1 Sheet #

**Room**

A: 153 sq ft Room Area  
Hardwood Floor Material

Revision Cloud (w/ Version Tag)



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**T/B Residence**

250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description  
**Proposed Second Floor Plan**

Drawn By: AT & NH  
Scale: As Noted

Date: 7/2/25  
Issues and Revisions: Coastal Permit Application

N Project N

**Proposed Second Floor Plan**

Scale: 1/4" = 1'-0"

Sheet **A3.5**

**Floor Plan Notes:**

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**Floor Plan Legend:**

- Property Line
- Setback Line
- Center or Grid Line
- Hidden or Foreground Line

**Exterior Elevation**

E2 Drawing #  
A4.1 Sheet #

**Section**

LS 1 Drawing #  
A5.1 Sheet #

**Interior Elevation**

3 Drawing #  
A8.1 Sheet #

**Detail**

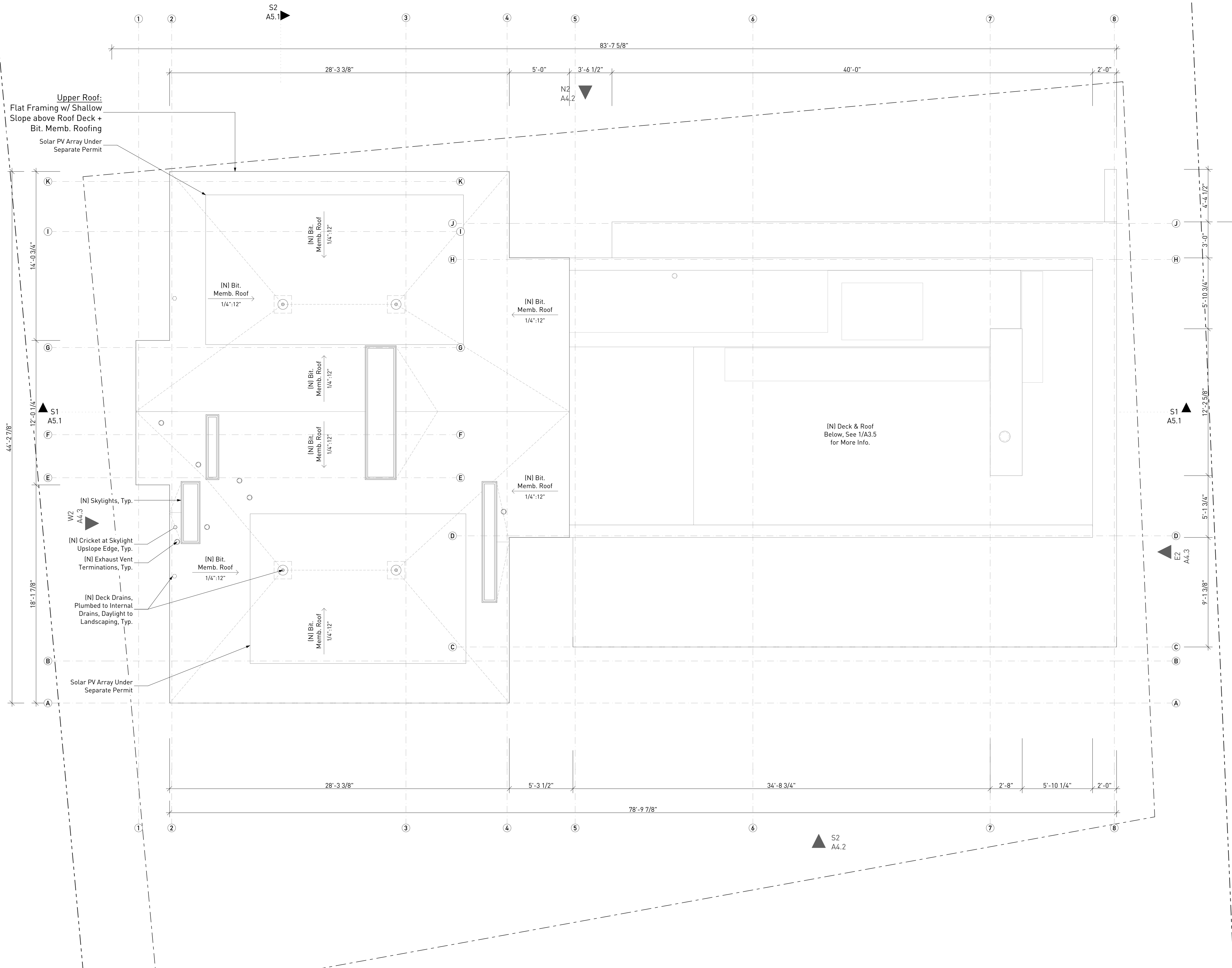
3 Drawing #  
A6.1 Sheet #

**Room**

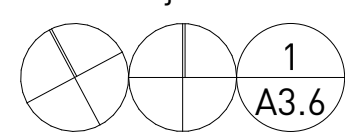
A: 153 sq ft Room Area

Hardwood Floor Material

Revision Cloud [w/ Version Tag]



N Project N



**Proposed Roof Plan**

Scale: 1/4" = 1'-0"

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**T/B Residence**

250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description

**Proposed Roof Plan**

Drawn By AT & NH  
Scale As Noted

Date Issues and Revisions  
7/2/25 Coastal Permit Application

Sheet **A3.6**



1 Existing South (Front) Elevation  
 Scale: 1/4" = 1'-0"



2 Existing North (Rear) Elevation  
 Scale: 1/4" = 1'-0"

T/B Residence

250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description

Existing North & South  
 Elevations

Drawn By AT & NH  
 Scale As Noted

Date Issues and Revisions  
 7/2/25 Coastal Permit Application

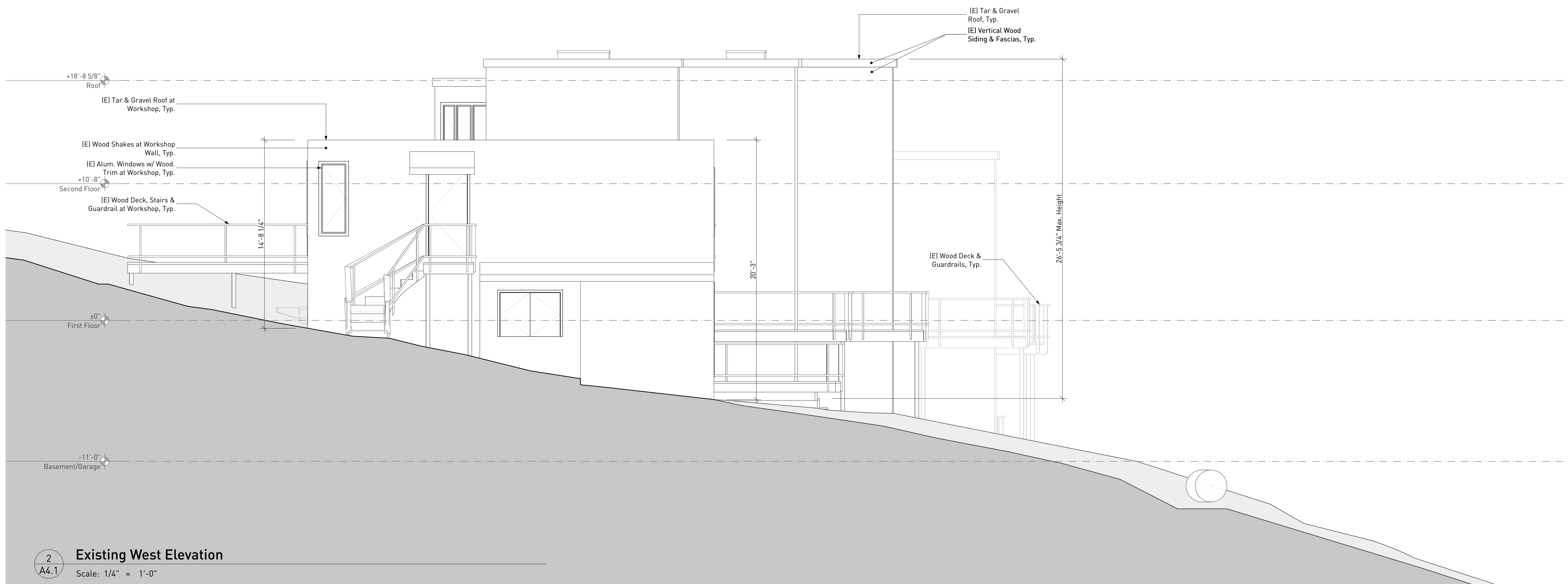
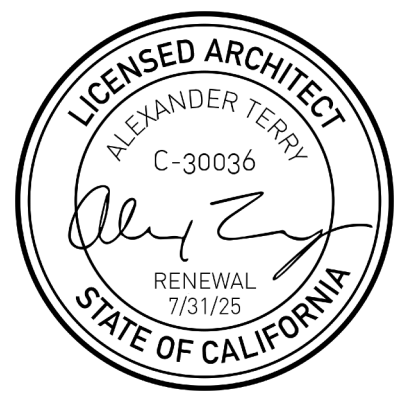


**Existing East Elevation** 1  
 Scale: 1/4" = 1'-0" A4.1

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**Existing West Elevation** 2  
 Scale: 1/4" = 1'-0" A4.1

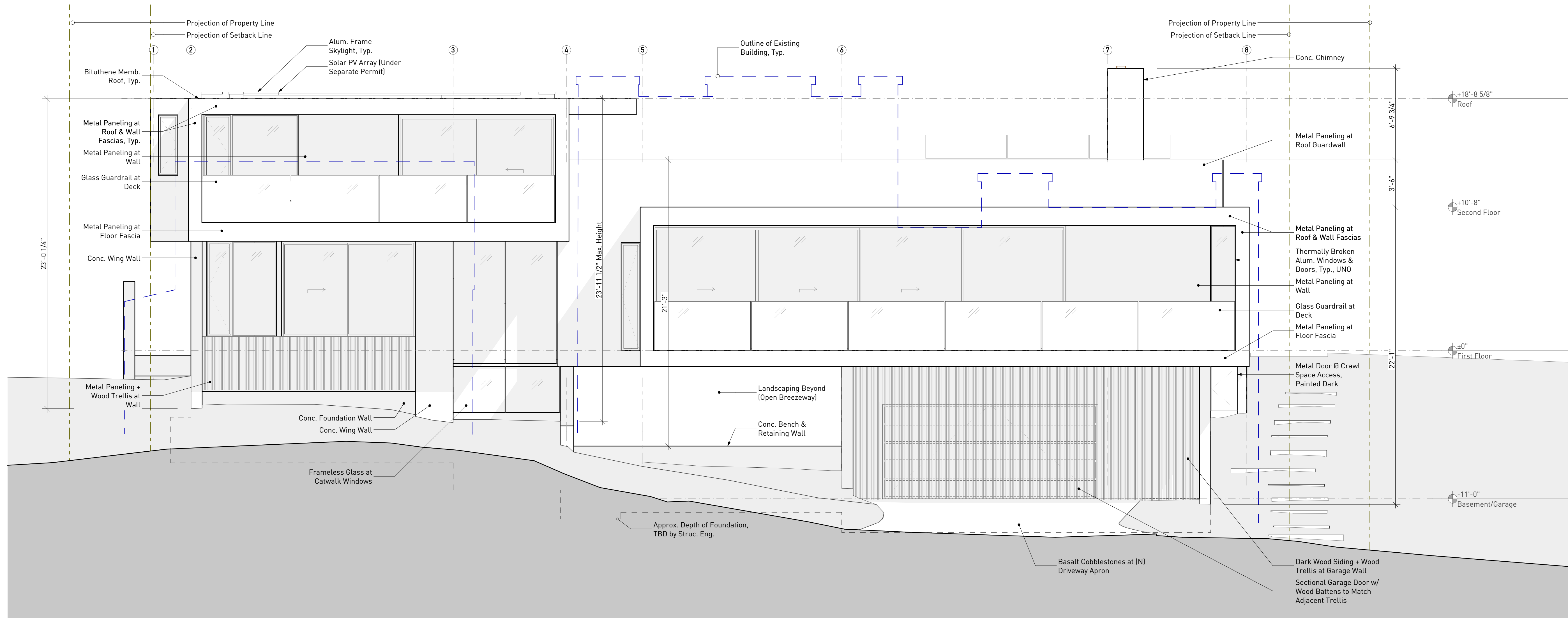
**T/B Residence**  
 250 Belvedere Ave.  
 Stinson Beach  
 CA 94970

Description  
**Existing East & West Elevations**

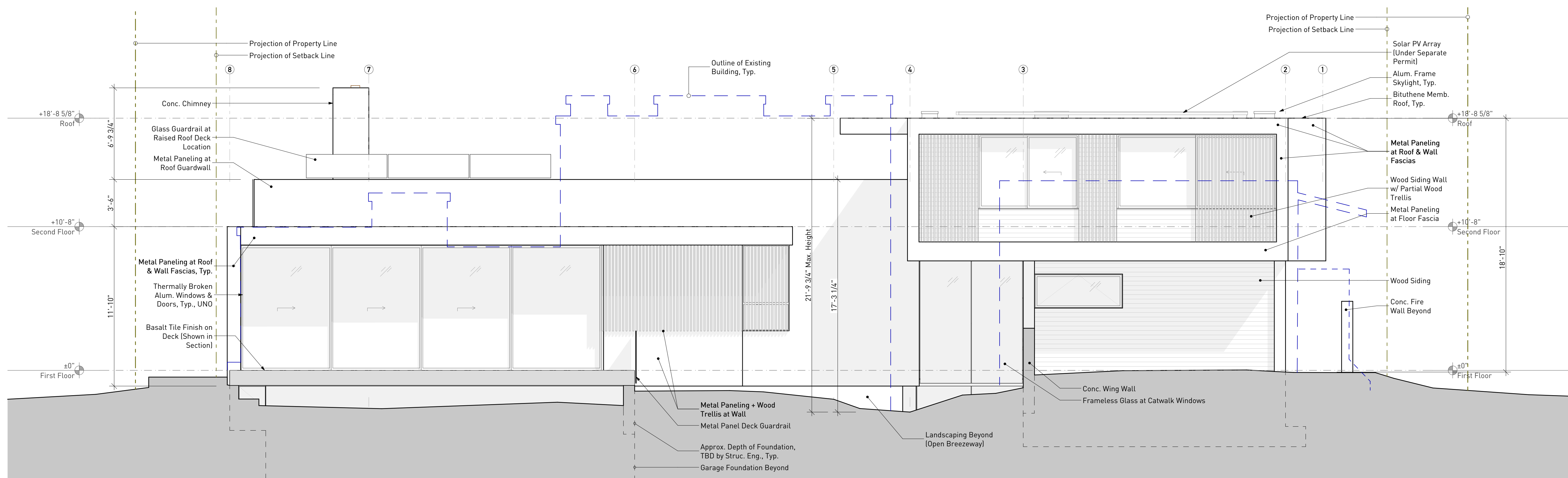
Drawn By: AT & NH  
 Scale: As Noted

Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application

Sheet **A4.1**



1  
A4.2 Proposed South (Front) Elevation  
Scale: 1/4" = 1'-0"



2  
A4.2 Proposed North (Rear) Elevation  
Scale: 1/4" = 1'-0"



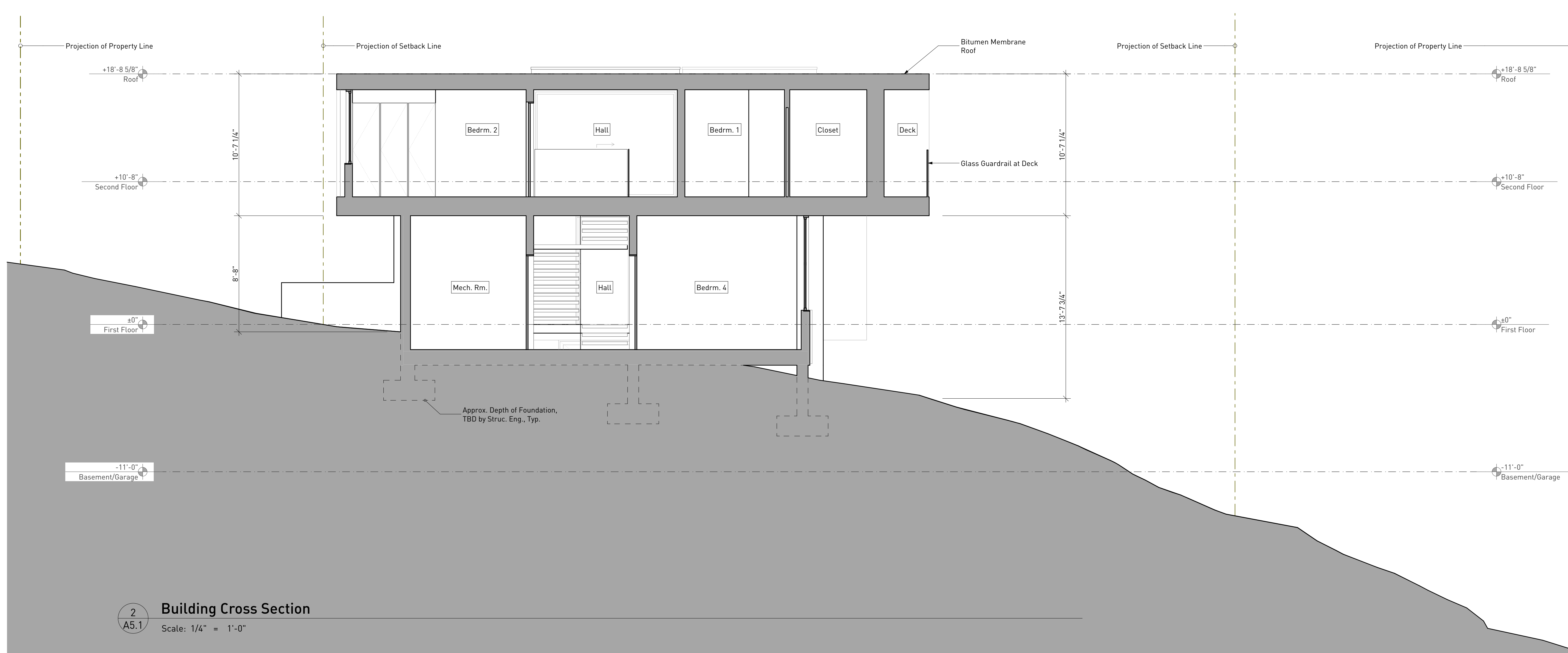
T/B Residence  
250 Belvedere Ave.  
Stinson Beach  
CA 94970

Description

Proposed North & South Elevations

Drawn By	AT & NH
Scale	As Noted
Date	7/2/25
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**2 Building Cross Section**  
 Scale: 1/4" = 1'-0"

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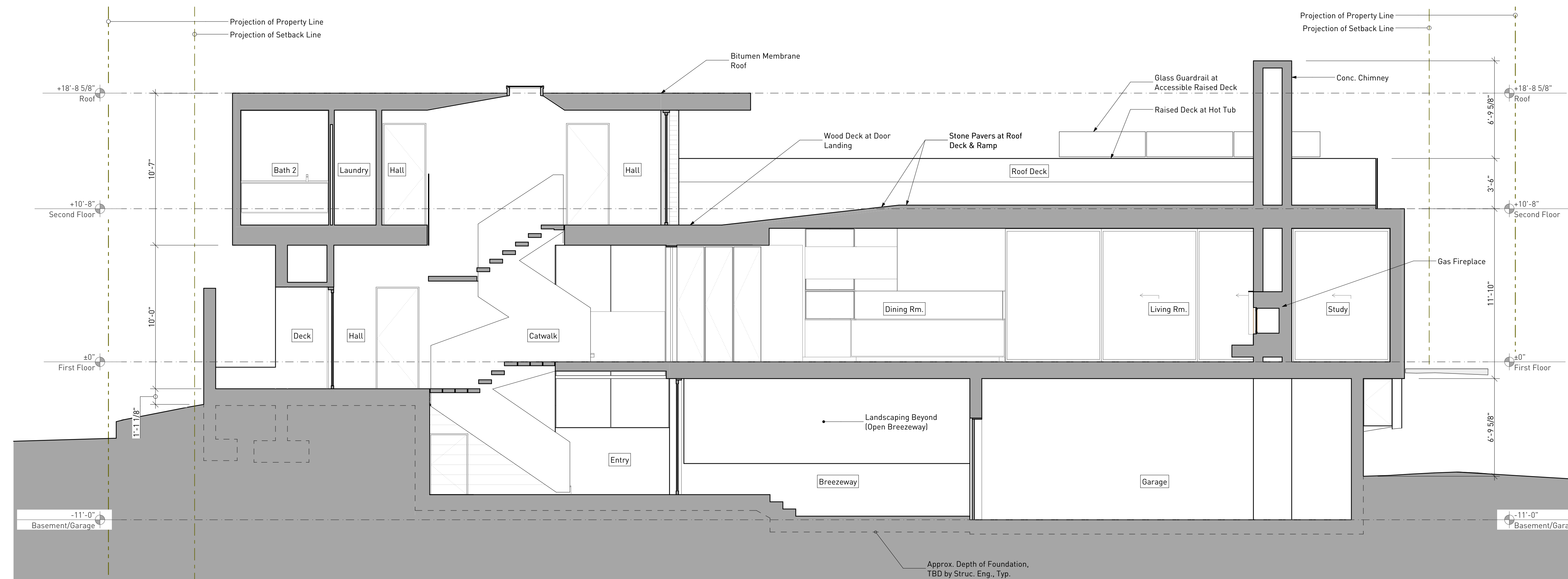
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 CA 94970

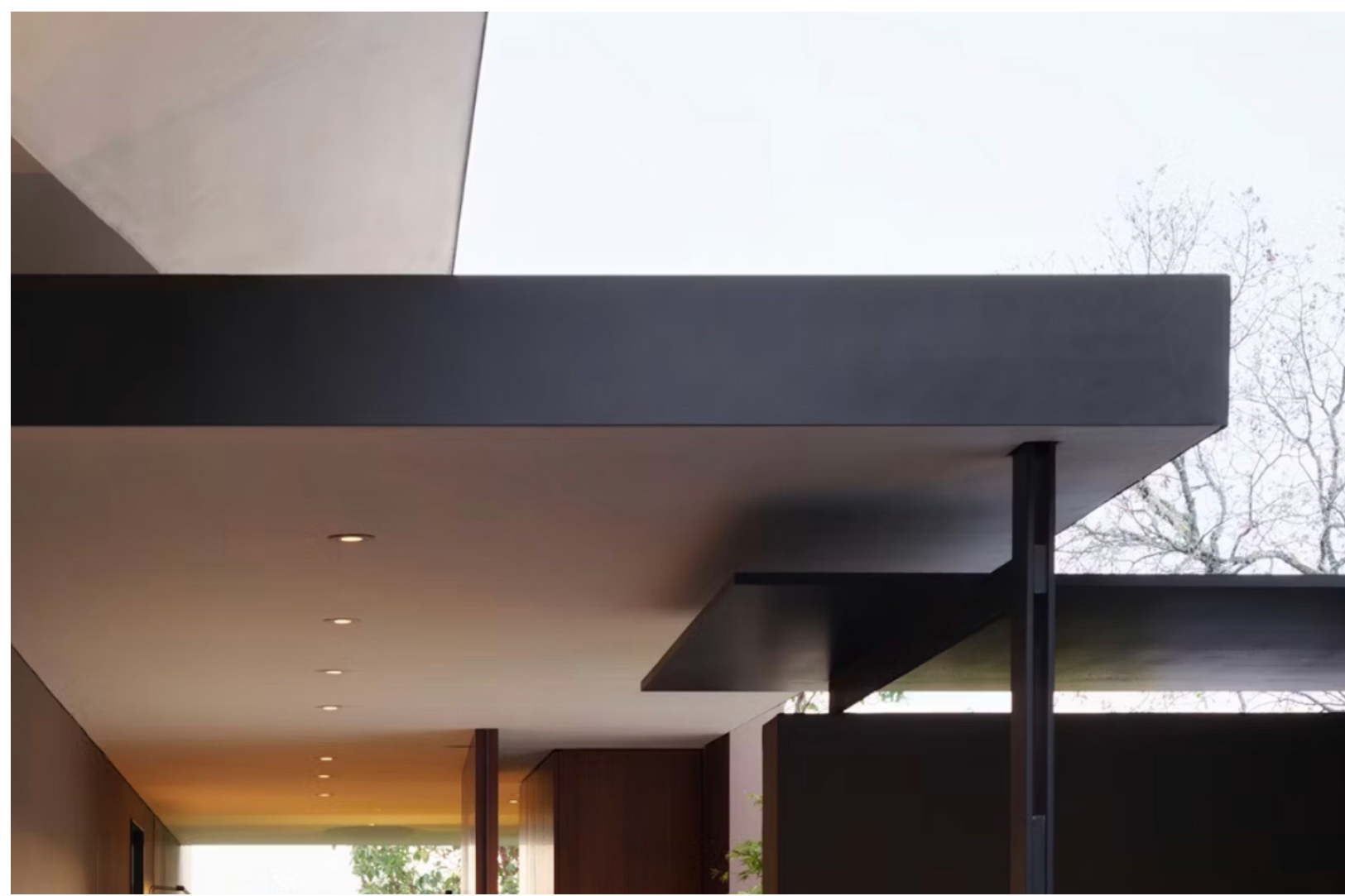
Description  
**Proposed Building Sections**

Drawn By: AT & NH  
 Scale: As Noted  
 Date: 7/2/25  
 Issues and Revisions: Coastal Permit Application



**1 Longitudinal Building Section**  
 Scale: 1/4" = 1'-0"

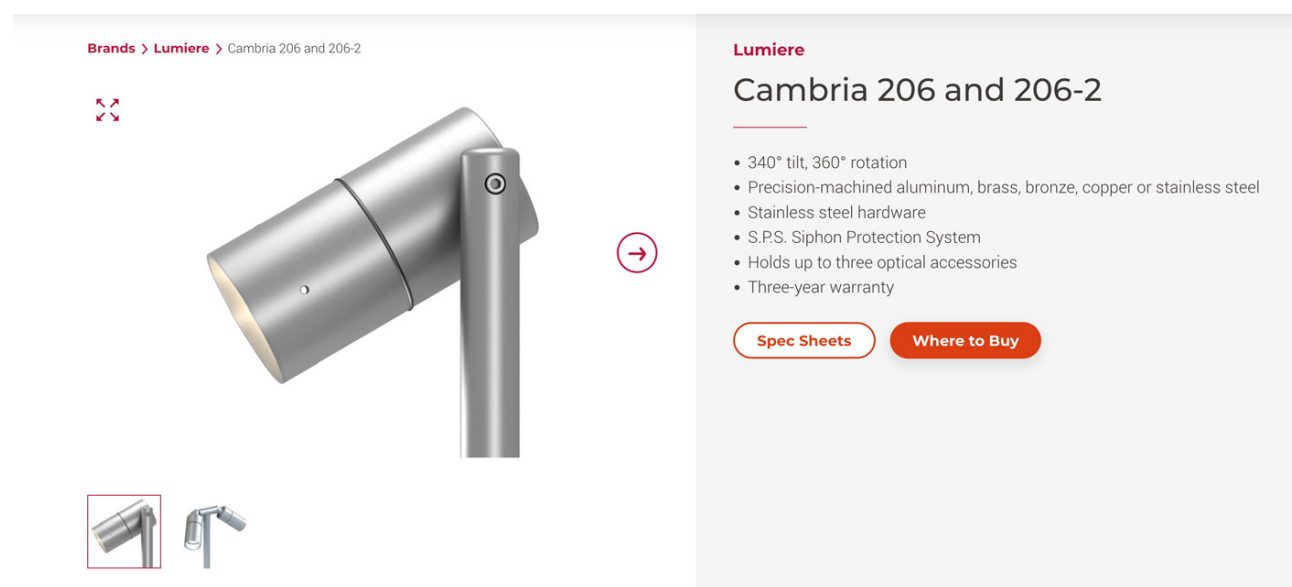
Sheet **A5.1**



**Blackened Metal Trim** - Metallic paint finish, for fascias, panels, general trim.  
**Stucco Soffits/Ceilings** - Light integral color.



**WAC Outdoor Step Light** - Dark paint finish, warm color LED light output.  
 (Scheduled Lighting Fixture "G")



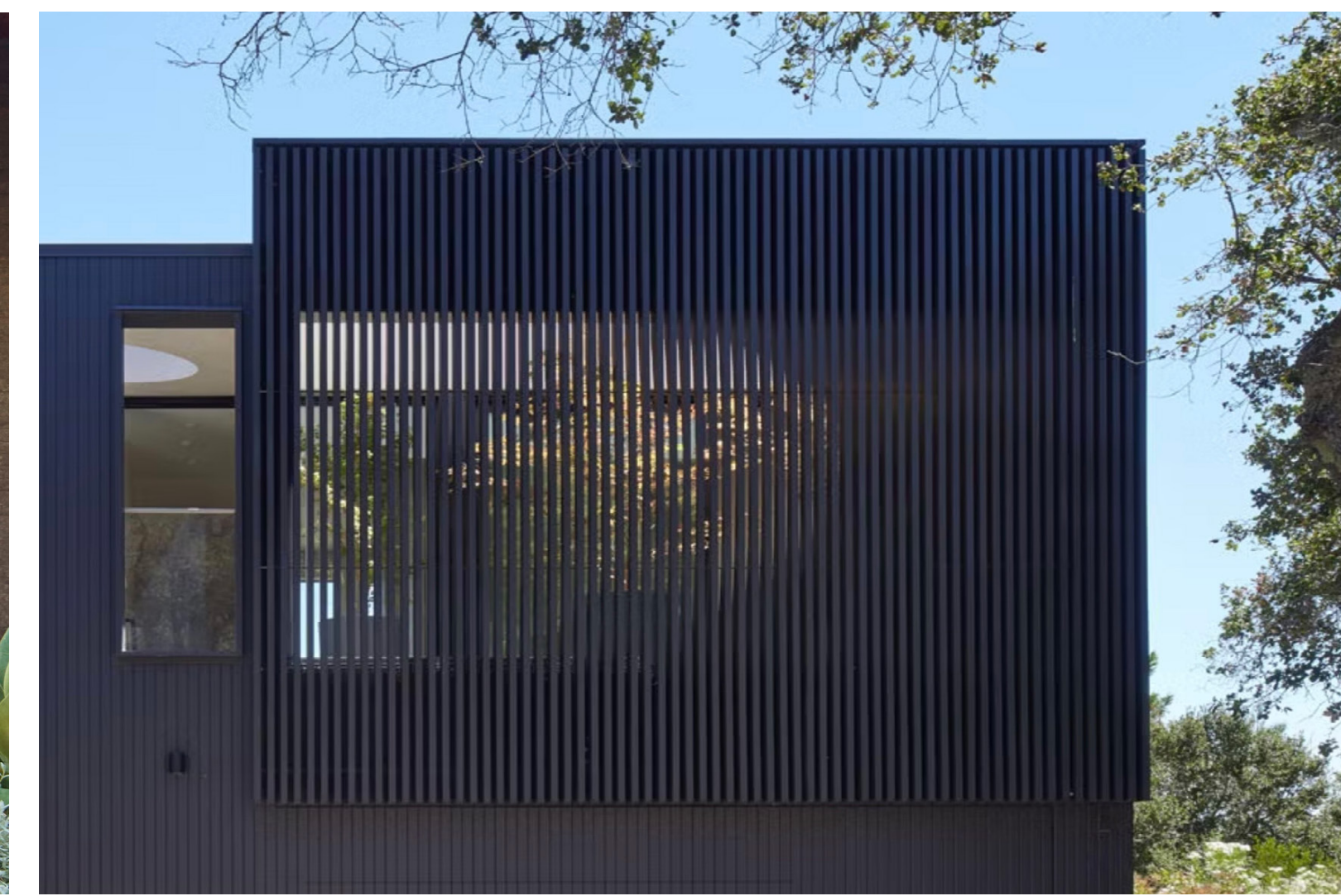
**Lumiere Path Light** - Dark paint finish, warm color LED light output.  
 (Scheduled Lighting Fixture "E")



**Bega In ground Guide Light** - Dark paint finish, warm color LED light output.  
 (Scheduled Lighting Fixture "F")



**Aluminum Doors and Windows** - Dark metallic paint finish.



**Cedar Wood Lattice/Louvers** - Oriented vertically.



**Finish Concrete** - Cast-in-place MDO formed concrete.  
**Black Basalt Stone Pavers** - For decks, patios and pathways.



**Cedar Wood Siding** - Oriented horizontally, dark opaque stain finish  
 (DenseGlass panels installed behind all wood siding).



**T/B Residence**

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Description

Exterior Materials

Drawn By AT & NH  
 Scale As Noted

Date 7/2/25 Issues and Revisions Coastal Permit Application