



BOLINAS RESIDENCE

40 CLIFF ROAD, BOLINAS, CA 94924

PLANNING SUBMITTAL

Use of these plans and specifications shall be restricted to the original task for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

PROJECT DIRECTORY:

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CONTRACTOR:	UPSCALE CONSTRUCTION 2151 UNION STREET SUITE 1 SAN FRANCISCO, CA 94123	CONTACT: TELEPHONE: EMAIL:	DANNY BERNARDINI 650.787.2833 danny@upscaleconstruction.com
LAND SURVEYOR:	MUIR CONSULTING, INC. 139 CHURCH AVENUE OAKDALE, CA 95361	CONTACT: TELEPHONE: EMAIL:	JACK SMITH 209.845.8630 jsmith@muirconsulting.com
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CIVIL ENGINEER:	TARNOFF ENGINEERING CORPORATION 1442A WALNUT ST, #42B BERKELEY, CA 94709	CONTACT: TELEPHONE: EMAIL:	MICHAEL TARNOFF 415.279.5996 michael@tarnoffengineering.com
LANDSCAPE:	GREEN 17 P.O. BOX 2696 SAUSALITO, CA 94966	CONTACT: TELEPHONE: EMAIL:	DJ JOHNS 415.332.3033 dj@green17design.com
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ELECTRICAL ENGINEER:	SUMMIT ENGINEERING, INC. 463 AVIATION BLVD, STE 200 SANTA ROSA, CA 95403 www.summit-ir.com	CONTACT: TELEPHONE: EMAIL:	PAUL BUNBURY 707.308.8569 paul@summit-ir.com
MECHANICAL ENGINEER:	CB ENGINEERS 489 10TH STREET SAN FRANCISCO, CA 94103	CONTACT: TELEPHONE: EMAIL:	PAUL O'NEILL 415.651.5000 paul.oneill@cbengineers.com
AV CONSULTANT:	METRO 18 3450 3RD ST, UNIT #4C SAN FRANCISCO, CA 94124	CONTACT: TELEPHONE: EMAIL:	JAY BAKALER 415.252.7720 jay.bakaler@metroeighteen.com
HISTORICAL CONSULTANT:	LEFT COAST ARCHITECTURAL HISTORY P.O. BOX 70415 RICHMOND, CA 94807	CONTACT: TELEPHONE: EMAIL:	CATILIN HIBMA 415.745.1906 collin@leftcoastarchitecturalhistory.com
PERMIT EXPEDITER:	GBASF 3130 20TH ST #190 SAN FRANCISCO, CA 94110	CONTACT: TELEPHONE: EMAIL:	GARY BELL 415.902.5400 gary@gbasf.com

PROJECT DATA:

SITE DATA	BOLINAS RESIDENCE
PROJECT NAME:	RESIDENTIAL REMODEL
PROJECT ADDRESS:	40 CLIFF ROAD, BOLINAS, CA, 94924
DESCRIPTION OF WORK:	INTERIOR REMODEL WITHIN EXISTING BUILDING, INCLUDES LIMITED STRUCTURAL WORK, NEW DETACHED ACCESSORY DWELLING UNIT, SITE WORK WITH NEW RETAINING WALLS.
BUILDING DATA	
BUILDING CODES:	2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101) CALIFORNIA ENERGY COMMISSION TITLE 24 MARIN COUNTY MUNICIPAL CODE
TYPE OF CONSTRUCTION:	TYPE VB
SPRINKLER PROTECTION:	EXISTING NON-SPRINKLERED, PROPOSED NON-SPRINKLERED
OCCUPANCY TYPE / USE:	R-3 / SINGLE FAMILY RESIDENCE
ASSESSOR'S BLOCK/LOT:	PARCEL 193-114-02
ZONING DISTRICT:	C-RA-82; RESIDENTIAL AGRICULTURE
COUNTYWIDE PLAN DESIGN:	C-5F5; LOW DENSITY RESIDENTIAL COASTAL ZONE
MAIN RESIDENCE	
NO. OF OCCUPIED FLOORS:	2 EXISTING, 2 PROPOSED
NO. OF STORIES:	2 EXISTING, 2 PROPOSED
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED
NO. OF BEDROOMS/BATHS:	1/1 EXISTING, 1/1 PROPOSED
GROSS FLOOR AREA:	686 SF EXISTING, 686 SF PROPOSED
AREA COUNTED IN F.A.R.:	600 SF EXISTING, 600 SF PROPOSED
ACCESSORY DWELLING UNIT	
NO. OF OCCUPIED FLOORS:	0 EXISTING, 1 PROPOSED
NO. OF STORIES:	0 EXISTING, 1 PROPOSED
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED
NO. OF BEDROOMS/BATH:	0/0 EXISTING, 2/1.5 PROPOSED
GROSS FLOOR AREA:	0 SF EXISTING, 1443 SF PROPOSED
AREA COUNTED IN F.A.R.:	0 SF EXISTING, 800 SF PROPOSED

PROJECT INFORMATION:

1	LOT AREA (SF)		
	EXISTING		4,938
2	BUILDING AREA (SF)		
	EXISTING (HABITABLE + NON-HABITABLE)	812	
3	FLOOR AREA (SF)		
	EXISTING	600	
4	FLOOR AREA RATIO		
	EXISTING	12%	
5	PROPOSED AREA OF ADDITIONAL DISTURBANCE		
			6,493 SF
6A	EXISTING LOT COVERAGE		
	IMPERVIOUS COVERAGE	743 SF	
6B	PROPOSED LOT COVERAGE		
	IMPERVIOUS COVERAGE	1,861 SF	
7	GRADING CALCULATIONS		
	CUT	384 CY	
8	PARKING		
	EXISTING	2	
9	MIN. SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA	MAIN HOUSE	ADU
	FRONT	25'-0"	N/A
10	MAX. HEIGHT OF PROPOSED BUILDING AREA		
	MAIN HOUSE (17'-3" EXISTING, 17'-3" PROPOSED)		25'

SHEET INDEX:

DATE	DESCRIPTION	NO. OF SHEETS
03.27.2024	PLANNING R2	34
02.02.2024	PLANNING R1	8
10.27.2023	PLANNING	7

NO.	DESCRIPTION	NO. OF SHEETS
ARCHITECTURAL DRAWINGS (# SHEETS: 34 TOTAL)		
A0.00	COVER SHEET / PROJECT INFO	1
A0.01	GENERAL NOTES / PLOT PLAN	1
A0.02	SITE PHOTOS	1
A0.03	ARBORIST REPORT	1
A0.04	MCSP MINIMUM CONTROL MEASURES	1
A0.12	PROPOSED EXTERIOR RENDERINGS	1
A0.13	EXTERIOR MATERIAL PALETTE	1
A1.00	BOUNDARY & TOPOGRAPHIC SURVEY (1 OF 6)	1
A1.01	BOUNDARY & TOPOGRAPHIC SURVEY (2 OF 6)	1
A1.02	BOUNDARY & TOPOGRAPHIC SURVEY (3 OF 6)	1
A1.03	BOUNDARY & TOPOGRAPHIC SURVEY (4 OF 6)	1
A1.04	BOUNDARY & TOPOGRAPHIC SURVEY (5 OF 6)	1
A1.05	BOUNDARY & TOPOGRAPHIC SURVEY (6 OF 6)	1
A1.06	RECORD OF SURVEY	1
A1.07	EXISTING EASEMENT	1
A1.08	EXISTING EASEMENT	1
A1.10	EXISTING/DEMO & PROPOSED SITE PLAN	1
A1.20	PROPOSED SITE PLAN	1
A1.21	ENLARGED PLAN: PG&E PLATFORM	1
A1.22	PROPOSED SITE SECTIONS: PG&E PLATFORM	1
A1.30	CONSTRUCTION MANAGEMENT PLAN	1
A1.31	EXISTING AND PROPOSED IMPERVIOUS COVER PLAN	1
A2.01	EXISTING/DEMO PLAN & PROPOSED PLAN: FIRST LEVEL MAIN HOUSE	1
A2.02	EXISTING/DEMO PLAN & PROPOSED PLAN: SECOND LEVEL MAIN HOUSE	1
A2.03	EXISTING/DEMO PLAN & PROPOSED PLAN: ROOF PLAN MAIN HOUSE	1
A2.04	PROPOSED PLAN: CRAWLSPACE ADU	1
A2.05	PROPOSED PLAN: FIRST LEVEL ADU	1
A2.06	PROPOSED PLAN: ATTIC LEVEL ADU	1
A2.07	PROPOSED PLAN: ADU ROOF	1
A5.00	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: NORTH	1
A5.01	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: EAST	1
A5.02	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: SOUTH	1
A5.03	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: WEST	1
A5.04	PROPOSED ADU ELEVATIONS: NORTH & EAST	1
A5.05	PROPOSED ADU ELEVATIONS: SOUTH & WEST	1
A6.00	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	1
A6.01	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	1
A6.02	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: ADU	1

AREA CALCULATIONS:

AREA CALCULATIONS (IN SQUARE FEET)	EXISTING	PROPOSED	NET CHANGE
1ST FLOOR (MAIN HOUSE)			
HABITABLE	457	457	+0
NON HABITABLE	0	0	+0
2ND FLOOR (MAIN HOUSE)			
HABITABLE	143	143	+0
NON HABITABLE	86	86	+0
CRAWLSPACE (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	104	+104
FIRST LEVEL (ADU)			
HABITABLE	0	800	+800
NON HABITABLE	0	0	+0
ATTIC (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	226	+226
TOTAL HABITABLE	600	1400	+800
TOTAL NON HABITABLE	86	416	+330
TOTAL HABITABLE + NON HABITABLE	686	1816	+1130
F.A.R. SUMMARY			
TOTAL FLOOR AREA COUNTED IN F.A.R.	600	1400	+800
TOTAL LOT SIZE	4938	4938	+0
F.A.R. (MAX ALLOWED = 30%)	12%	28%	16%

NOTE: SEE ADDITIONAL FLOOR AREA CALCS & DIAGRAMS ON A2.01 AND A2.04.

SHEET INDEX (CONT):

DATE	DESCRIPTION	NO. OF SHEETS
03.27.2024	PLANNING R2	34
02.02.2024	PLANNING R1	8
10.27.2023	PLANNING	7

NO.	DESCRIPTION	NO. OF SHEETS
CIVIL DRAWINGS (# SHEETS: 8 TOTAL)		
C1	TITLE SHEET, NOTES & LEGEND	1
C2	GRADING & DRAINAGE PLAN	1
C2.1	SITE SECTION	1
C3	EROSION CONTROL & STORMWATER PLAN	1
C4	OFFSITE UTILITY PLAN	1
LANDSCAPE DRAWINGS (# SHEETS: 7 TOTAL)		
L0.1	TREE PROTECTION & REMOVAL PLAN	1
L1.0	LAYOUT PLAN & NOTES	1
L3.0	PLANTING PLAN & SCHEDULE	1
L3.1	PLANTING DETAIL & NOTES	1
L4.0	IRRIGATION PLAN	1
L5.0	LIGHTING PLAN	1
L6.0	DETAILS	1

SYMBOL LEGEND:

KEY NOTE	99	PLAN DETAIL	XX A.X.X
ROOM TAG	STUDIO 100 100 SF	ELEVATION	XX A.X.X
WALL TYPE	99	SECTION	XX A.X.X
DOOR TAG	999	INTERIOR ELEVATION	1 4 A.X.X 2 3
WINDOW TAG	99	REGION	XX A.X.X
CEILING HEIGHT	X-XX"	REVISION	
SPOT ELEVATION		FINISH TAG	XX 01
ELEVATION DATUM	FINISHED CEILING X-XX"	BREAKLINE	
COLUMN GRIDLINE	XX	NORTH ARROW	
DRAWING TITLE	1 TITLE 1/1" = 1'-0"	PROJECT	
		TRUE	

SUTRO ARCHITECTS

BOLINAS RESIDENCE



PLANNING - R2
03.27.2024
PLANNING - R1
02.02.2024
PLANNING
10.27.2023

COVER SHEET

NO SCALE

A0.00

415.956.3445
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1055 Post Street, San Francisco CA 94109
PARCEL 193-114-02 | PROJECT NO. 2020.045

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BOLINAS RESIDENCE

40 CLIFF RD

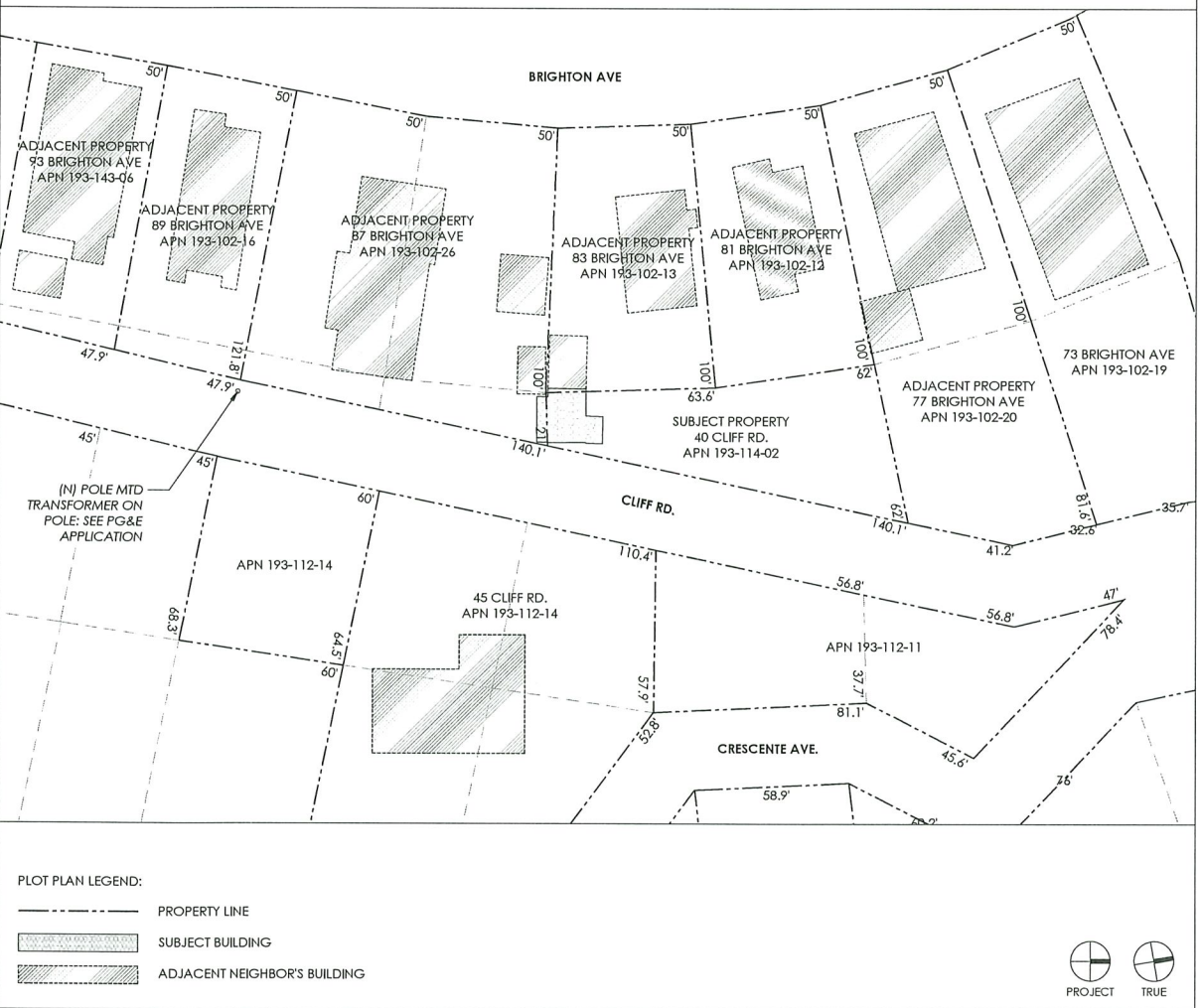
ABBREVIATIONS:

ADJ.	ADJUSTABLE	MTD.	MOUNTED
A.F.F.	ABOVE FINISH FLOOR	MUL.	MULLION
AGGR.	AGGREGATE	NEW	NEW
ALT.	ALTERNATE	N.	NORTH
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	NO. OR #	NUMBER
ARCH.	ARCHITECTURAL	NOM.	NOMINAL
BD.	BOARD	N.T.S.	NOT TO SCALE
BITUM.	BITUMINOUS	O.	OWNER
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	OPNG.	OPENING
BLKG.	BLOCKING	OPP.	OPPOSITE
BM.	BEAM	PG & E	PACIFIC GAS & ELECTRIC COMPANY
B.O.	BOTTOM OF	P.P.	POURED IN PLACE
C.L.	CENTERLINE	PL.	PLATE
CAB.	CABINET	PLAST.	PLASTER
CEM.	CEMENT	PLUMB.	PLUMBING
CHIM.	CHIMNEY	PLYWD.	PLYWOOD
CLG.	CEILING	PNT.	PAINT
CLR.	CLEAR	PR.	PAIR
C.M.U.	CONCRETE MASONRY UNIT	PSI	PER SQUARE INCH
COL.	COLUMN	PT.	POINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONSTR.	CONSTRUCTION	PTD.	PAINTED
CONT.	CONTINUOUS	Q.I.	QUARRY TILE
CTR.	CENTER	R.	RISER
C.W.	COLD WATER	R.A.	RETURN AIR
D.	DRYER	R.C.P.	REFLECTED CEILING PLAN
DBL.	DOUBLE	R.D.	ROOF DRAIN
DET.	DETAIL	REC.	RECESSED
DIA.	DIAMETER	REF.	REFERENCE
DM.	DIMENSION	REFL.	REFLECTED
DN.	DOWN	REFR.	REFRIGERATOR
DR.	DOOR	REG.	REGISTER
D.S.P.	DRY STANDPIPE	RENF.	REINFORCED
D.W.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RET.	RETAINING
DWR.	DRAWER	REV.	REVISION/REVISED/REVERSED
		R.M.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	R.W.L.	RAIN WATER LEADER
EA.	EACH	S.	SOUTH
ELEV.	ELEVATION	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEC.	ELECTRICAL	S.C.	SOLID CORE
ENCL.	ENCLOSURE	S.C.E.D.	SEE CIVIL ENGINEERING DRAWINGS
E.O.	EDGE OF	SCHED.	SCHEDULE
EQ.	EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SEP.	SEPARATION
EXIST.	EXISTING	SERV.	SERVICE
EXP.	EXPANSION	SH.	SHIELD
EXT.	EXTERIOR	S.H.	SPRINKLER HEAD
F.A.	FIRE ALARM	SHR.	SHOWER
F.A.U.	FORCED AIR UNIT	SHT.	SHEET
F.D.	FLOOR DRAIN	SHG.	SHEATHING
FIN.	FINISH	SIM.	SIMILAR
FXT.	FIXTURE	SL.	SLIDING
FL.	FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FLASH.	FLASHING	S.M.D.	SEE MECHANICAL DRAWINGS
FLUOR.	FLUORESCENT	S.P.D.	SEE PLUMBING DRAWINGS
F.O.C.	FACE OF CONCRETE	SPEC.	SPECIFICATION
F.O.F.	FACE OF FINISH	SQ.	SQUARE
F.O.M.	FACE OF MASONRY	STA.	STATION
F.O.PLY	FACE OF PLYWOOD	ST.L.	STAINLESS STEEL
F.O.S.	FACE OF STUDS	ST.D.	SEE STRUCTURAL DRAWINGS
F.P.	FIREPROOF	STD.	STANDARD
FR.	FRAME	STL.	STEEL
FT.	FOOT OR FEET	STN.	STONE
FURR.	FURRING	STOR.	STORAGE
FUT.	FUTURE	STRUCT.	STRUCTURAL
G.	GAS	SUSP.	SUSPENDED
GA.	GAUGE	S.V.	SHEET VINYL
GALV.	GALVANIZED	S.W.	SHEAR WALL
G.C.	GENERAL CONTRACTOR	SYML.	SYMMETRICAL
G.D.	GARBAGE DISPOSAL	SYS.	SYSTEM
GEN.	GENERAL	T.O.C.	TOP OF CURB
GL.	GIRDLINE	TEL.	TELEPHONE
GND.	GROUND	TEMP.	TEMPERED
G.O.	GAS OUTLET	T.& G	TONGUE & GROOVE
GR.	GRADE	THK.	THICK
G.S.M.	GALVANIZED SHEET METAL	THRU.	THROUGH
GYP.	GYPSON	T.O.	TOP OF
H.B.	HOSE BIBB	T.O.C.	TOP OF CONCRETE
HD.	HEAD	T.O.P.	TOP OF PLATE
HDR.	HEADER	T.O.PLY	TOP OF PLYWOOD
HGR.	HANGER	T.O.W.	TOP OF WALL
HORL.	HORIZONTAL	TYP.	TYPICAL
H.R.	HANDRAIL	UNIF.	UNIFORM BUILDING CODE
HT.	HEIGHT	UNF.	UNFINISHED
H.W.H.	HOT WATER HEATER	U.O.N.	UNLESS OTHERWISE NOTED
IN.	INCH	VEN.	VENER
INSUL.	INSULATION	VERT.	VERTICAL
INT.	INTERIOR	VEST.	VESTIBULE
JST.	JOIST	V.F.	VERIFY IN FIELD
JT.	JOINT	VOL.	VOLUME
JM.	LAMINATE	W.C.	WATER CLOSET OR WALL COVERING
LAV.	LAVATORY	WD.	WOOD
LT.FXT	LIGHT FIXTURE	W.D.	WASHER / DRYER
LN.	LINEAR	W.H.	WATER HEATER
LN.	LINE	W/O	WITHOUT
LT.	LIGHT	W.P.	WATERPROOFING
MACH.	MACHINE	W.P.M.	WATERPROOF MEMBRANE
MAINT.	MAINTENANCE	WT.	WEIGHT
MAT.	MATERIAL	W.R.	WATER RESISTANT
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MFL.	MANUFACTURER		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		

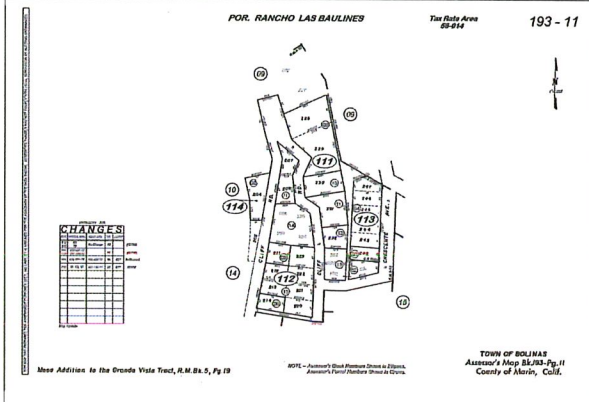
GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.8 GALLONS PER MINUTE. ALL BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.2 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 408).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS. LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 2406.4.5).
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 7'2" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

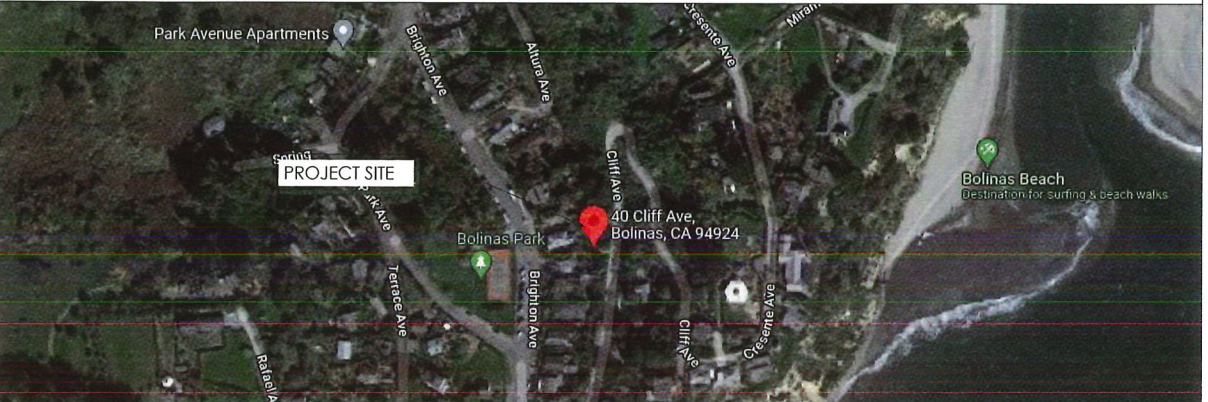
PLOT PLAN:



ASSESSORS PARCEL MAP:



VICINITY MAP:



SUTRO ARCHITECTS



PLANNING - R2
03.27.2026

PLANNING - R1
02.02.2026

PLANNING
10.27.2025

GENERAL NOTES & PLOT PLAN

SCALE AS NOTED

A0.01

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BOLINAS, CA 94924
PARCEL 193-11-4-02 | PROJECT NO. 2020.045

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1 MAIN HOUSE NORTH/FRONT ELEVATION



2 MAIN HOUSE EAST/SIDE ELEVATION



3 MAIN HOUSE SOUTH/REAR ELEVATION



4 MAIN HOUSE WEST/SIDE ELEVATION



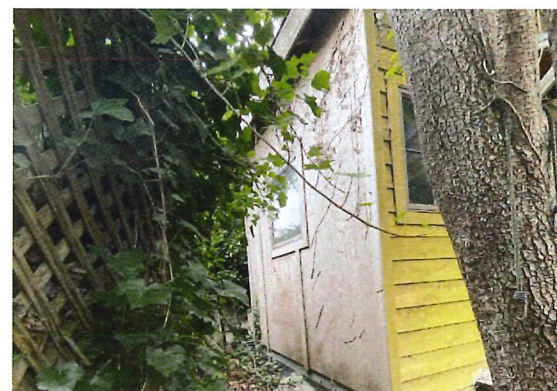
5 SHED NORTH/BACK ELEVATION



6 SHED EAST/SIDE ELEVATION



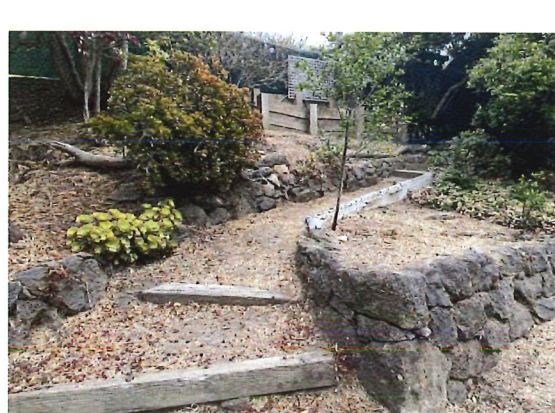
7 SHED SOUTH/FRONT ELEVATION



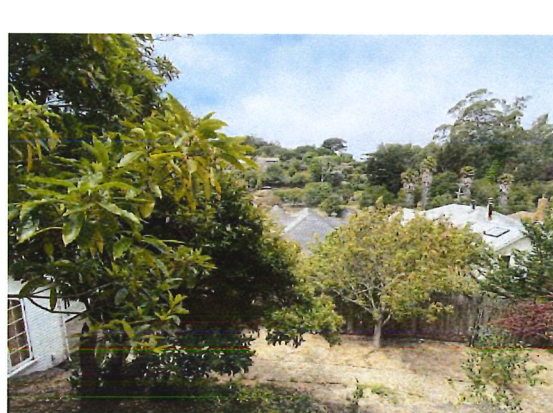
8 SHED WEST/SIDE ELEVATION



9 VIEW OF SITE LOOKING SOUTH



10 VIEW OF FENCE LOOKING EAST



11 VIEW OF FENCE LOOKING WEST



- AERIAL VIEW / SITE PHOTO KEY

SUTRO ARCHITECTS

BOLINAS RESIDENCE

415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco CA
94109

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2	03.27.2026	△
PLANNING - R1	02.02.2026	△
PLANNING	10.27.2025	△

SITE PHOTOS

SCALE AS NOTED

A0.02

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ARBORIST REPORT

Tree Inventory
40 Cliff Road
Bolinas, California
(APN: 193-114-02)

Prepared for:
Sutro Architects
1055 Post Street
San Francisco CA 94109

Prepared by:
Dr. Kent Jullin
ISA Certified Arborist
California Professional Forester
ARBORSCIENCE, LLC

February 28, 2023

P.O. Box 111, Woodacre, CA 94973-0111
 (415) 419-5197 • kent.jullin@gmail.com • http://arborscientist.com

ASSIGNMENT

Sutro Architects hired ARBORSCIENCE, LLC to inventory trees growing at 40 Cliff Road in Bolinas. The client's interest in identifying trees on the property with special status prompted this inventory that I completed on June 3, 2022.

SCOPE OF WORK AND LIMITATIONS

This inventory is based on the circumstances and observations, as they existed at the time of the site inspection. Opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by ArborScience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the tree discussed in this assessment should be re-assessed periodically.

SITE DESCRIPTION AND CONTEXT

The home at 40 Cliff Road in Bolinas was built in 1924 on a narrow, 0.14-acre parcel (APN: 193-114-02). Improvements include perimeter fencing, and garden walkways leading to a single-family residence and garden shed. Landscaping is mature and overgrown. The 40 Cliff Road property is within the California Coastal Zone. The Marin County Native Tree Protection and Preservation ordinance does not apply to properties located in the coastal zone, and a Coastal Permit may instead be required for the removal of trees and vegetation as determined by the Marin County Community Development Agency. Given that trees on the subject property are not part of a "significant" stand of trees and are not within an environmentally sensitive habitat area such as a wetland, riparian corridor, dune or beach, it is unlikely that they would be afforded special status.

SUBJECT TREE DESCRIPTIONS

The 19 subject trees (Table 1 and Tree Map, attached) were planted or have volunteered since the home was built nearly 100 years ago. Fruit and nut trees on the property include apple (*Malus domestica*), pear (*Pyrus communis*), Fuyu Persimmon (*Diospyros kaki*), cherry plum (*Prunus cerasifera*) and English walnut (*Juglans regia*). Ornamental trees on the property include blackwood acacia (*Acacia melanoxylon*), scotch elm (*Ulmus glabra*), Victorian box (*Pittosporum undulatum*), saucer magnolia (*Magnolia x soulangeana*), glossy privet (*Ligustrum lucidum*), and Oregon ash (*Fraxinus latifolia*). Most of these trees are overmature, in fair to poor health, have considerable deferred pruning maintenance, and have poor structural form including severe defects like trunk decay (Trees 10 and 14) that present high failure risks.

CONCLUSIONS AND RECOMMENDATIONS

The subject trees are old and generally overmature, with considerable deferred pruning maintenance, poor structural form, and low vigor. Two of the trees have trunk decay and present high failure risks.

None of the trees are native and would be considered protected pursuant to the Marin County Code. A Coastal Permit may instead be required for the removal of trees and vegetation on the property, as determined by the Marin County Community Development Agency (which enforces coastal permit requirements) related to the proposed project. However, given that trees on the subject property are not part of a "significant stand" of trees and are not within an "environmentally sensitive habitat area" such as a wetland, or riparian corridor, or dune or beach, it is unlikely that they would be afforded special status within the Coastal Zone.

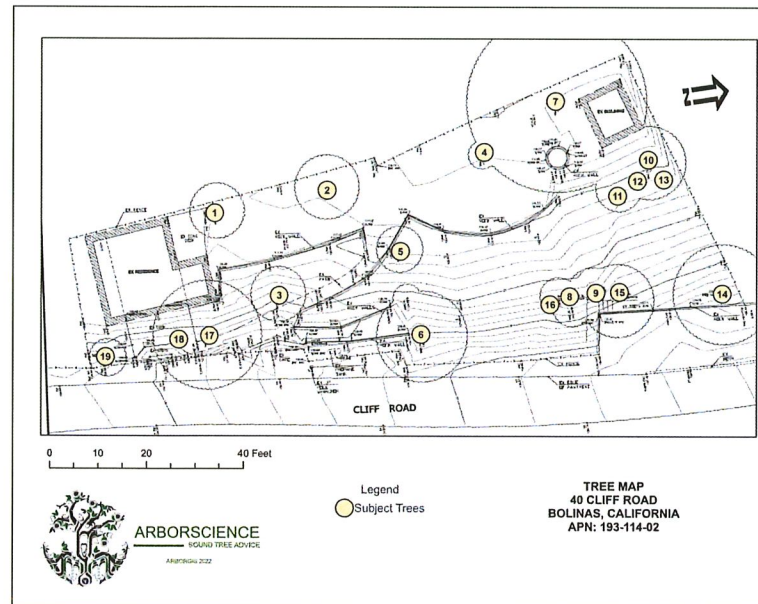
Sincerely,

ARBORSCIENCE, LLC

Kent Jullin
 Dr. Kent R. Jullin
 ISA Certified Arborist #WE-8733A
 ISA Tree Risk Assessor Qualified
 California Registered Professional Forester #2648

Table 1. Trees growing at 40 Cliff Road in Bolinas.

Tree Number	Common Name	Latin Name	DBH (in.)	Notes	Condition	Fireprone Species
1	Apple	<i>Malus domestica</i>	4,4,5	Bearing fruit	Good	No
2	Pear	<i>Pyrus communis</i>	1,3,4,5,5	Bearing fruit	Good	No
3	Glossy privet	<i>Ligustrum lucidum</i>	5,5,6,7	-	Poor	No
4	Fuyu persimmon	<i>Diospyros kaki</i>	3,4	Flowering	Good	No
5	Plum	<i>Prunus cerasifera</i>	2,4,5	-	Good	No
6	Victorian box	<i>Pittosporum undulatum</i>	5,7,8,9,10	-	Poor	No
7	Saucer magnolia	<i>Magnolia x soulangeana</i>	6,8,11,14	Crown dieback	Poor	No
8	Blackwood acacia	<i>Acacia melanoxylon</i>	19	Previously topped	Poor	Yes
9	Victorian box	<i>Pittosporum undulatum</i>	8	Recumbent trunk	Poor	No
10	Oregon ash	<i>Fraxinus latifolia</i>	10,12,14	Trunk decay, dieback	Poor	No
11	Scotch elm	<i>Ulmus glabra</i>	5	-	Fair	No
12	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
13	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
14	English walnut	<i>Juglans regia</i>	10,10	Trunk decay, dieback	Poor	No
15	Victorian box	<i>Pittosporum undulatum</i>	7	Recumbent trunk	Poor	No
16	Victorian box	<i>Pittosporum undulatum</i>	9	Recumbent trunk	Poor	No
17	Victorian box	<i>Pittosporum undulatum</i>	3,4,14	-	Poor	No
18	Victorian box	<i>Pittosporum undulatum</i>	4,10	-	Poor	No
19	Plum	<i>Prunus cerasifera</i>	4,6	-	Poor	No



SUTRO ARCHITECTS

BOLINAS RESIDENCE

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PLANNING - R2
 03.27.2026
 PLANNING - R1
 02.02.2026
 PLANNING
 10.27.2025

ARBORIST REPORT

SCALE AS NOTED

A0.03

GENERAL STORMWATER CONTROL NOTES:

- SEE CIVIL DRAWINGS FOR SITE SPECIFIC STORMWATER CONTROL MEASURES.

Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects

Erosion Controls	Sediment Controls	Good Housekeeping
NS Scheduling	6. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation & Creek Set Backs	7. Fiber Rolls	11. Stockpile Management
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management
3. Soil Preparation/ Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Erosion Control Blankets	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
5. Revegetation		15. Litter and Waste Management

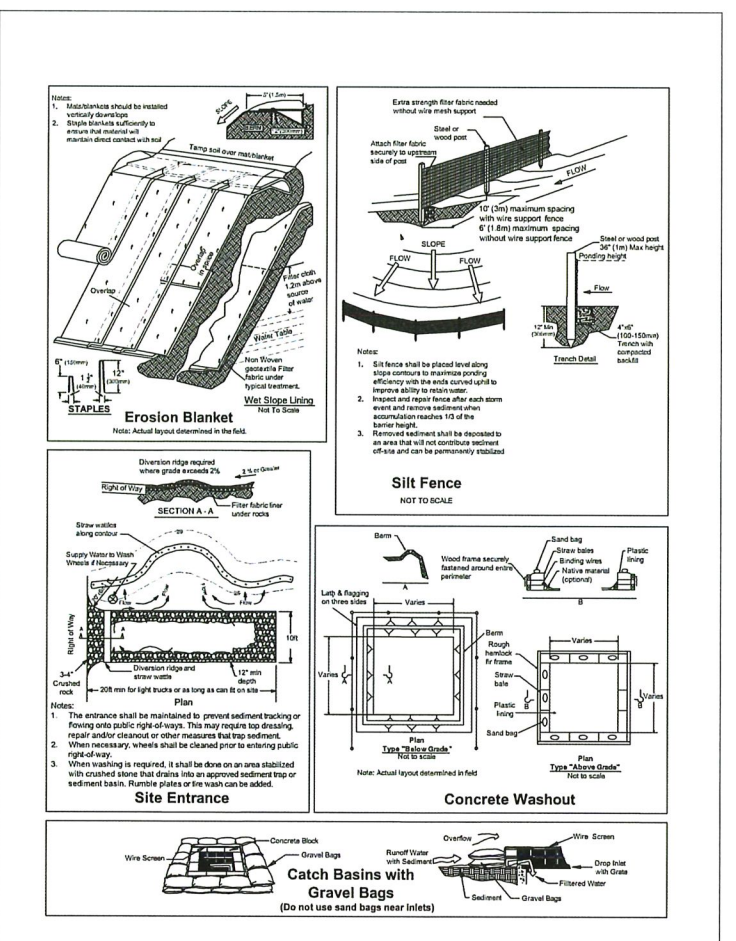
NS=not shown on graphic

Note: Select an effective combination of control measures from each category, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/construct/stormwater/manuals.htm>. Visit www.mcstopp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
 415-473-4381 voice/TTY or dtsability@ccs.marin.ca.us

Control Measure	General Description
Erosion Control Best Management Practices	
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and sod/cover (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
3 Soil Preparation/ Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, slat leveling, etc.). For more info see the following factsheets: CASQA: EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.costal.ca.gov/etd/Wildlife-Friendly_Products.pdf . For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12 inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient room for turning in and out of the site. Rumble pads or rumble rocks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per either Type 1 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.costal.ca.gov/etd/Wildlife-Friendly_Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 6.5-1 in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCSTOPP BMPs for trench dewatering. http://www.marincounty.org/docs/etd/division/mcstopp/development/insdia/Files/Departments/PW/mcstopp/development/Trenching/WaterMCS/TOPPPFinal_03.pdf . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3; or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pantries (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic traps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-9, NS-10; or Caltrans: NS-9, and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.



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BOLINAS RESIDENCE



PLANNING - R2
 03.27.2025
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 02.02.2026
 PLANNING
 10.27.2025

MCSTPP MINIMUM CONTROL MEASURES

SCALE AS NOTED
A0.04

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MAIN HOUSE



ADU



MAIN HOUSE



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PLANNING - R2	03.27.2026	△
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PROPOSED EXTERIOR RENDERINGS

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METAL & GLASS WINDOW SYSTEM



SOLID WOOD VERTICAL PANELING



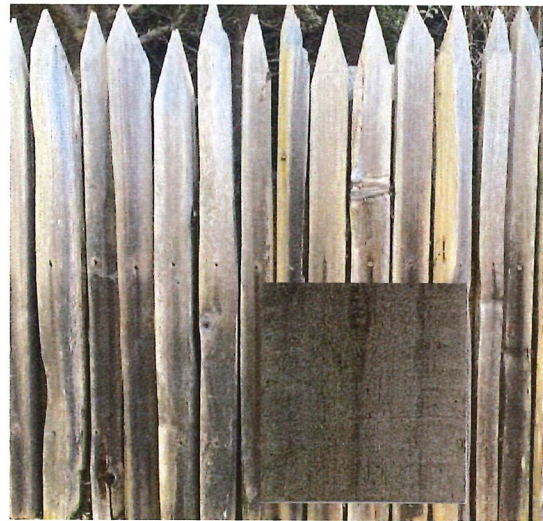
SOLID WOOD BATTENBOARD VERTICAL PANELING



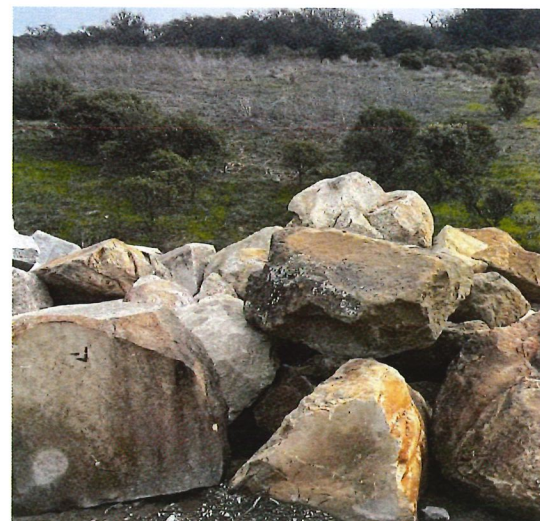
ANTIQUED TERRACOTTA ROOF TILES



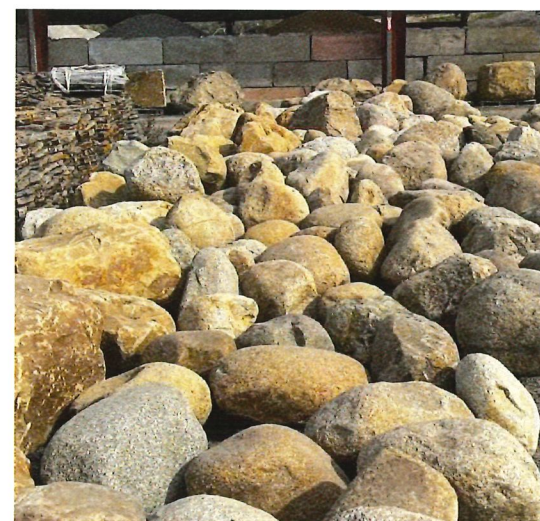
STACKED STONE WALL



FENCE IN AGED WHITE PINE



LANDSCAPE BOULDERS OPTION 1



LANDSCAPE BOULDERS OPTION 2



NATURAL FLAGSTONE PAVERS WITH GREENERY

SUTRO ARCHITECTS

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BOLINAS, CA 94924
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PLANNING - P2 03.27.2026

PLANNING - R1 02.02.2026

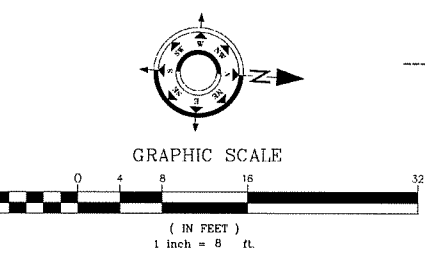
PLANNING 10.27.2025

EXTERIOR MATERIAL PALETTE

SCALE AS NOTED

A0.13

- LEGEND:**
- AC ASPHALTIC CONCRETE
 - BLDG BUILDING
 - CF CONCRETE FOOTING
 - CIP CAST IRON PIPE
 - CONC CONCRETE
 - CRW CONCRETE RETAINING WALL
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - GB GRADE BREAK
 - GS GROUNDSHOT
 - HB HOSE BIB
 - HP HINGE POINT
 - JP JOINT POLE
 - LANDG LANDING
 - PROPANT PROPANE TANK
 - RP ROOF PEAK
 - SDMH STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TC TOP OF CURB
 - TCRW TOP OF CONCRETE RETAINING WALL
 - THRESH THRESHOLD
 - TOP TOP OF BUILDING
 - TRT TOP OF RAILROAD TIE
 - TRRW TOP OF ROCK RETAINING WALL
 - TWRW TOP OF WOOD RETAINING WALL
 - UNKN UNKNOWN
 - VLT VAULT
 - WGV WATER GATE VALVE
 - WH WATER HEATER
 - WRW WOOD RETAINING WALL
- SYMBOLS:**
- INDICATES FIRE HYDRANT
 - INDICATES GROUNDSHOT
 - INDICATES TREE SIZE
 - INDICATES BOUNDARY LINE
 - INDICATES LOT LINE
 - INDICATES MAJOR CONTOUR LINE
 - INDICATES MINOR CONTOUR LINE
 - INDICATES WIRE FENCE
 - INDICATES WOOD FENCE
 - INDICATES ROCK RETAINING WALL
 - INDICATES UNDERGROUND SANITARY SEWER LINE
 - INDICATES OVERHEAD UTILITY LINES
 - INDICATES APPROXIMATE TREE DRIFLINE
 - INDICATES CONCRETE
 - INDICATES WOOD DECK/LANDING



NOTES:

- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
- THE DATE OF THE FIELD SURVEY WAS AUGUST 11, SEPTEMBER 8 AND 23, 2022.
- ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
- CONTOURS SET AT 1 FOOT INTERVALS.
- THE RECORD LOCATION OF THE BUILDING EASEMENT AGREEMENT (DGC NO. 2010-0049565) DOES NOT FIT THE RESOLVED BOUNDARY. THE LOCATION OF SAID EASEMENT HAS BEEN MOVED TO SHOW THE INTENT OF SAID EASEMENT. SEE DOCUMENT FOR RESTRICTIONS ON NEW CONSTRUCTION.

BENCHMARK:

ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, NORTH 3°55'57" WEST, AS CALCULATED BETWEEN A FOUND 1 1/4" IRON PIPE AT THE SOUTHEASTERLY CORNER OF LOT 235 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF LOT 18 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF BOLINAS HIGHLANDS" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

O.D. REPUBLIC TITLE COMPANY
 245 FOURTH ST
 SAN RAFAEL, CA 94901
 (415) 454-8100

PRELIMINARY REPORT:
 ORDER NO.: 0435017012-1-D
 DATED: MARCH 18, 2014, AT 7:30 AM

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

HD SCANNING NOTE:

TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS.
 SCANNER: LEICA P40

TREE NOTE:

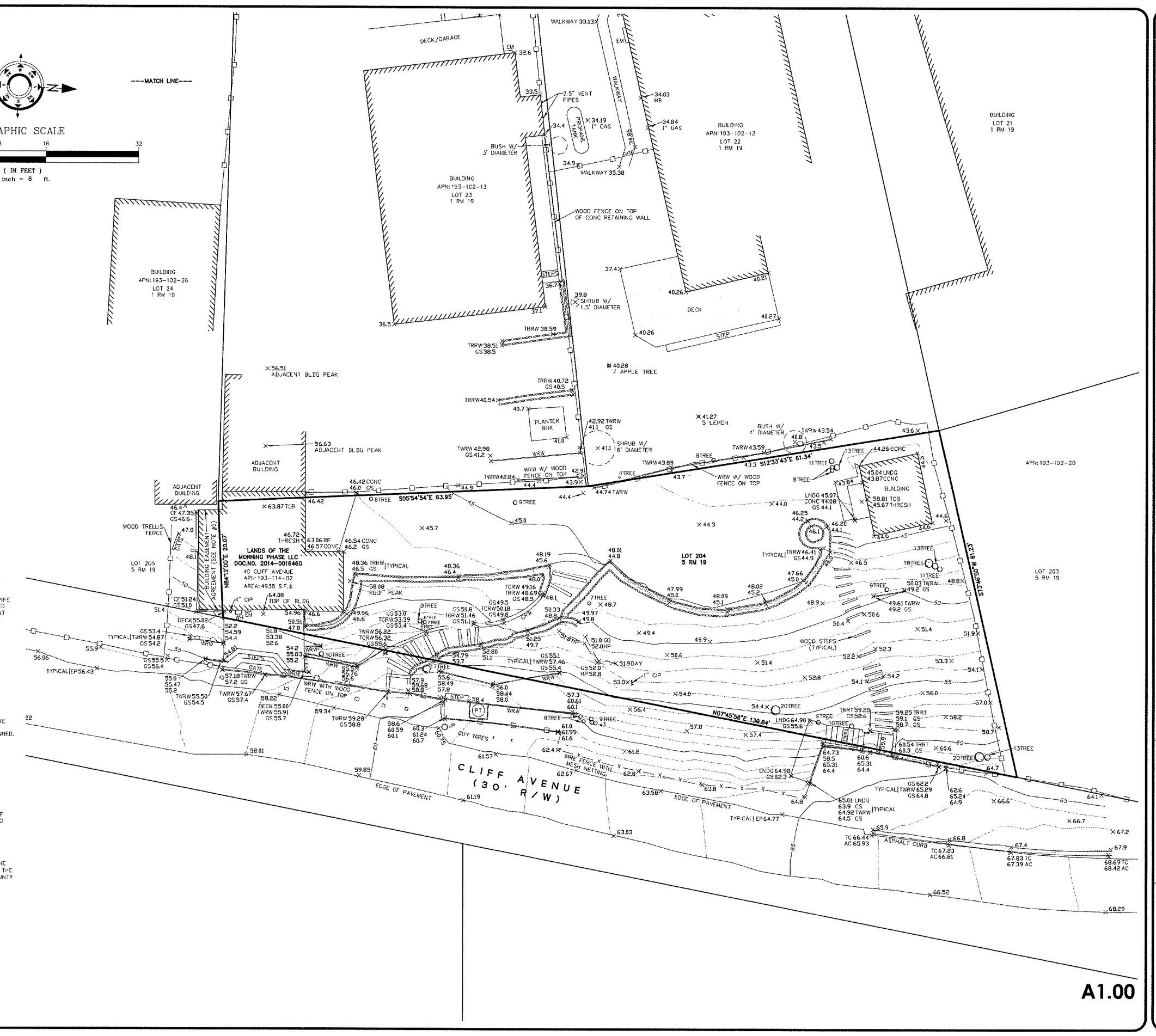
TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:

BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

SURVEYOR'S STATEMENT:

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



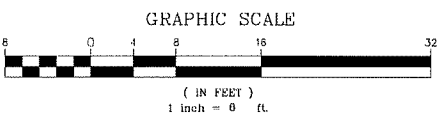
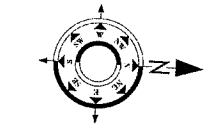
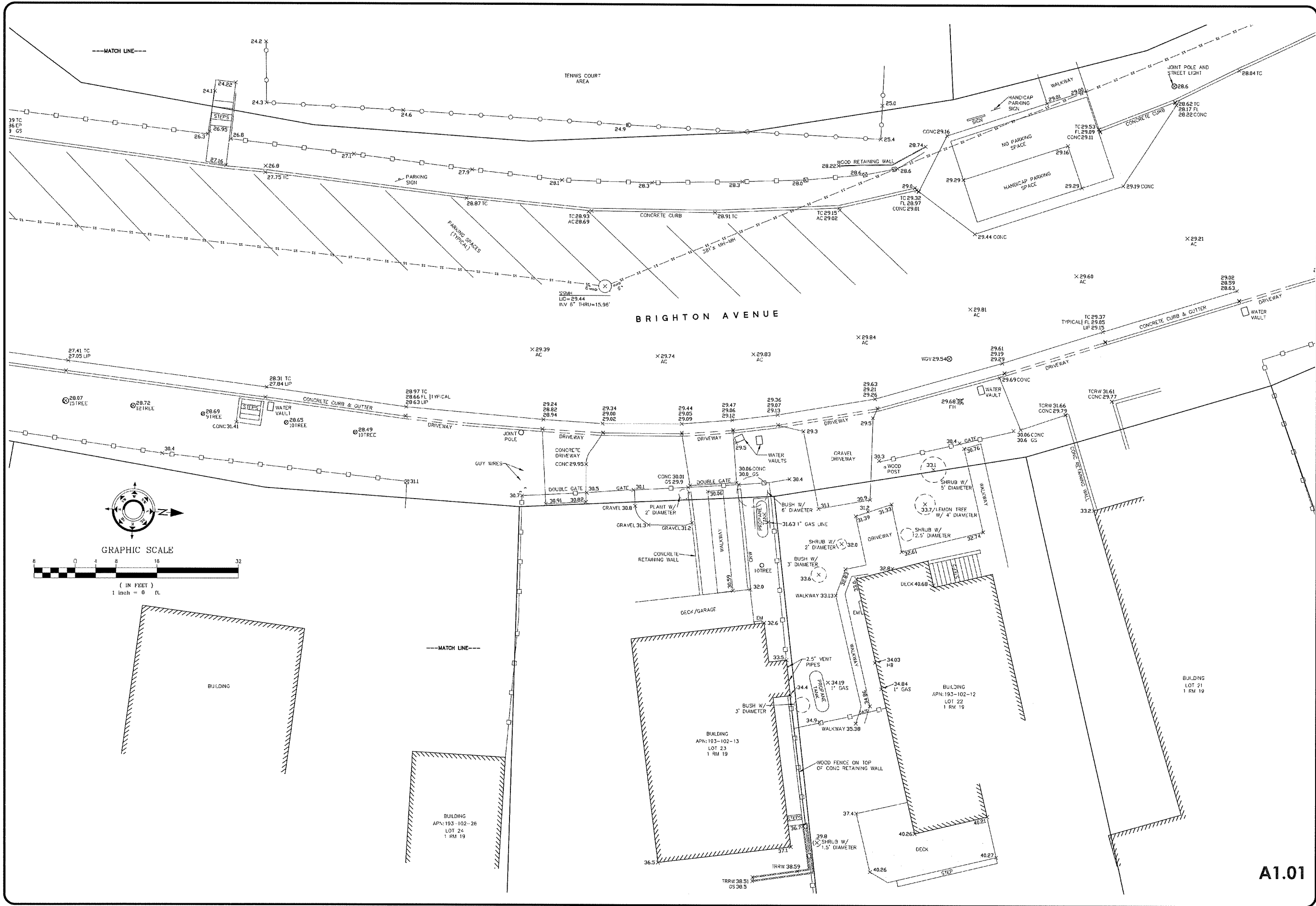
SURVEYOR'S STATEMENT:

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Mark M. Smith
 MARK M. SMITH, S. #7539

DATE: _____

A1.00

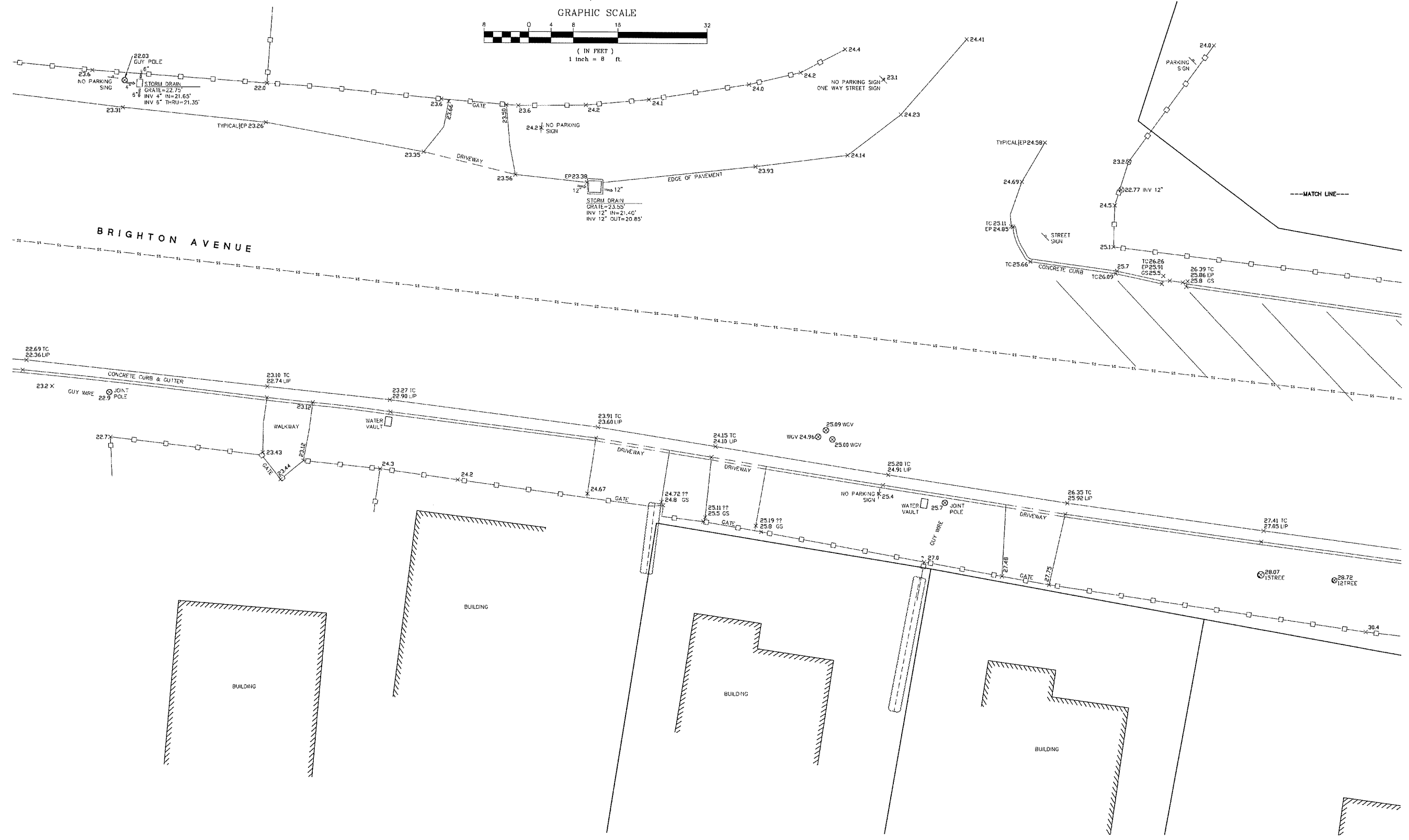
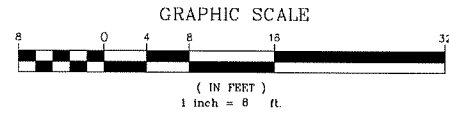
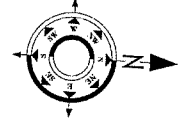


A1.01

MUIR CONSULTING
 139 CHURCH AVENUE
 CAKDALE, CA 95361
 (209) 845-8630
 SURVEY • HDG • GPS • UAV
 www.muirconsulting.com

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER	6534-01
	DRAWN BY	WCC
	CHECKED BY	JMS
	DATE	11/01/2022
	DRAWING NAME	B534-C3TOPO.dwg
	SHEET NO.	2 OF 6



A1.02

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BOUNDARY & TOPOGRAPHIC SURVEY

OF
40 CLIFF ROAD

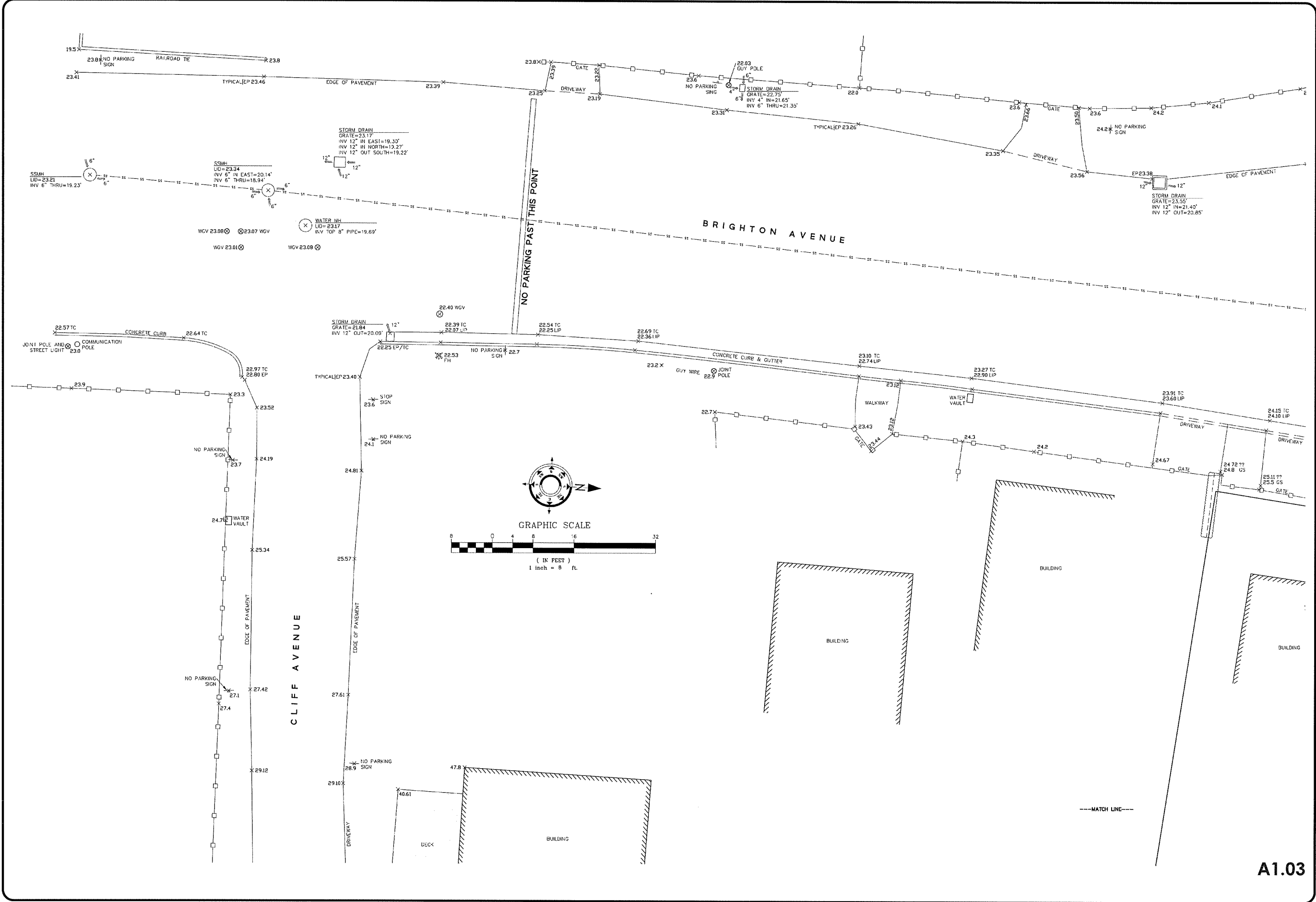
CALIFORNIA

MARIN COUNTY

BOLINAS

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022
DRAWING NAME	6534-01.TOPG.DWG
SHEET NO.	3
OF	6

REVISIONS	



A1.03

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BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-01 TOPO (HW)
SHEET NO.	4
OF	6



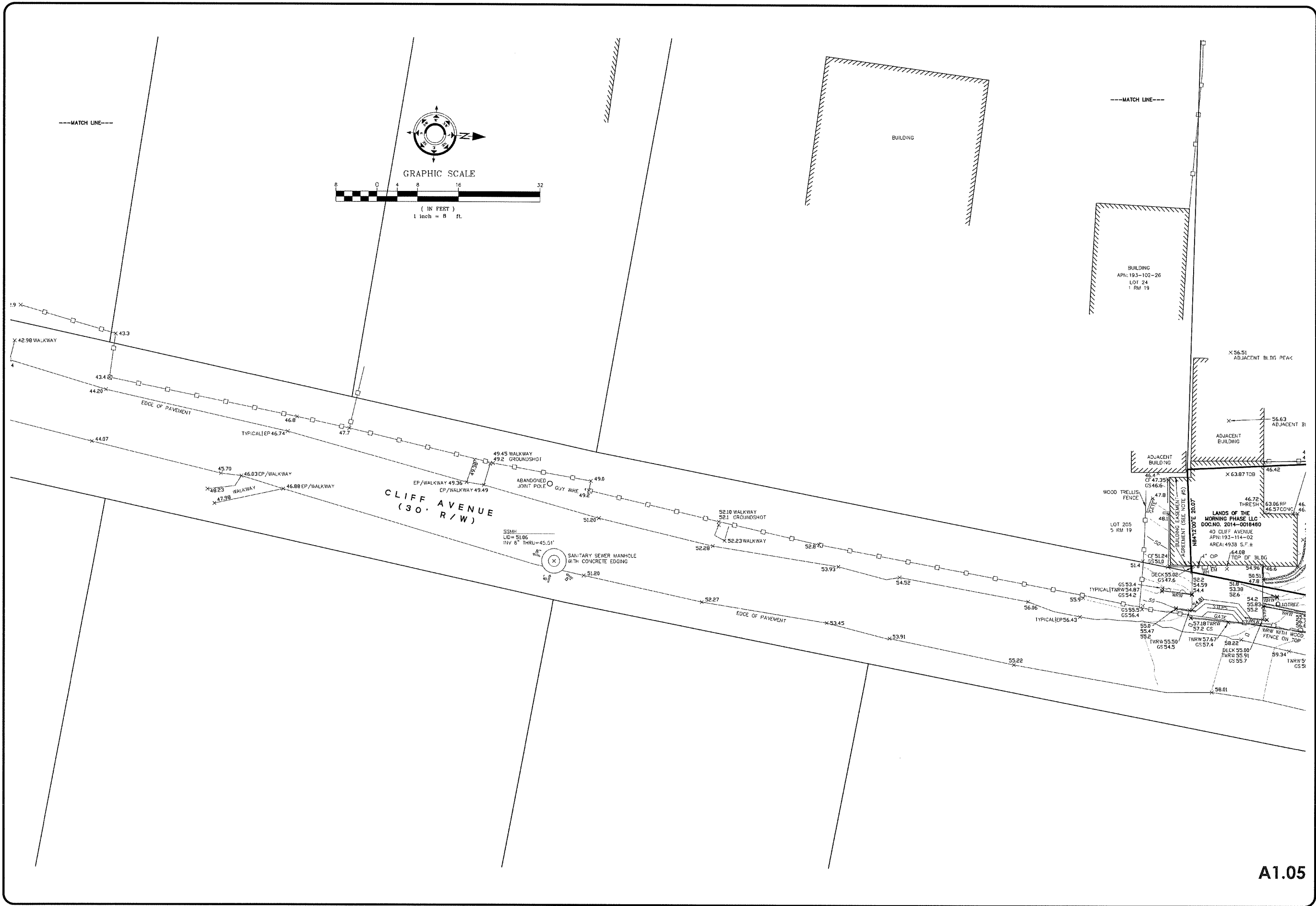
A1.04

REVISIONS	JOB NUMBER 6534-01
	DRAWING NAME
	DRAWN BY WCC
	CHECKED BY JMS
	DATE 11/01/2022
	SHEET NO. 5 OF 6

BOUNDARY & TOPOGRAPHIC SURVEY
OF
40 CLIFF ROAD
MARIN COUNTY CALIFORNIA



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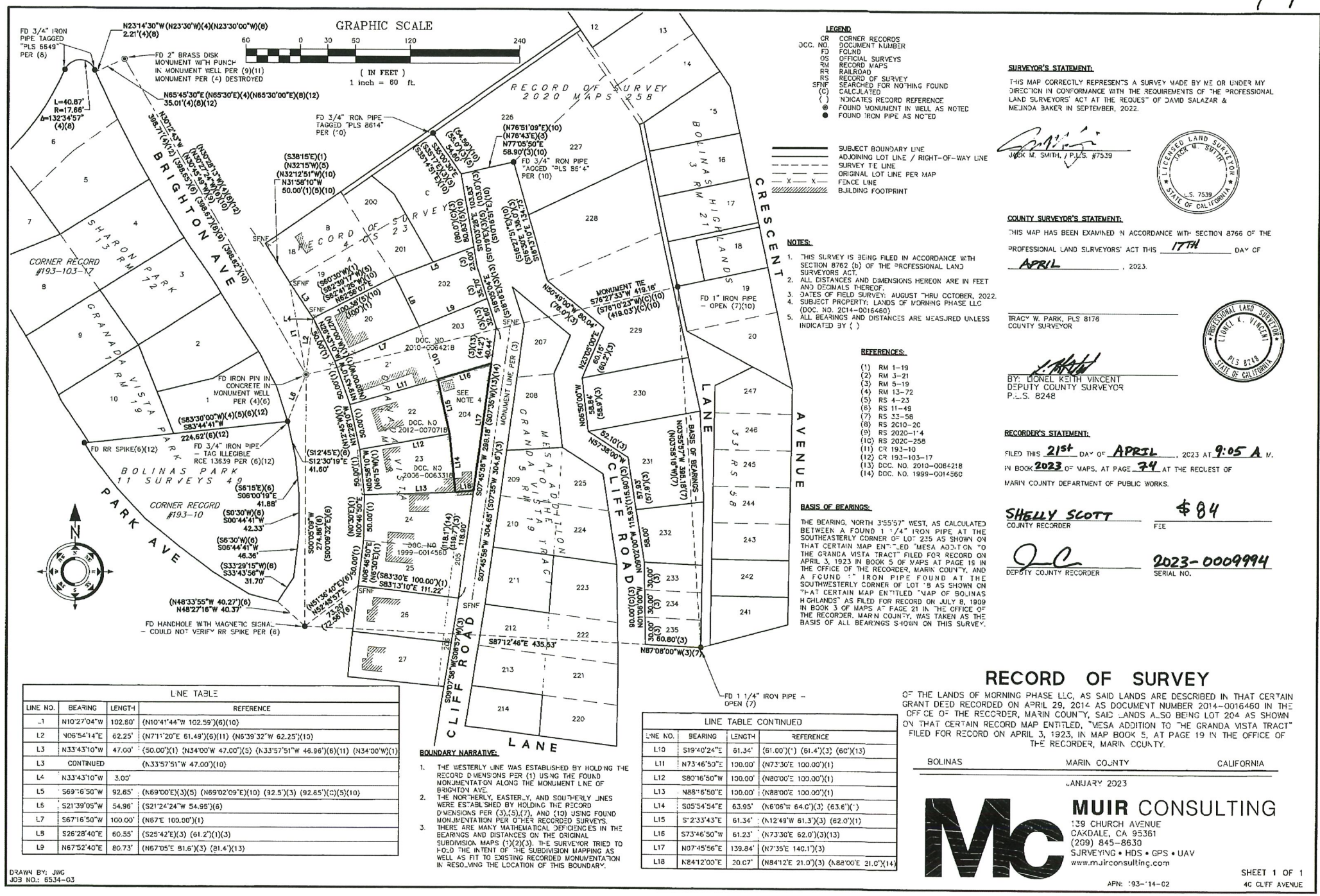
A1.05

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BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER	6534-01
	DRAWN BY	MCC
	CHECKED BY	JMS
	DATE	11/01/2022
	DRAWING NAME	6534-01.TOPG.DWG
	SHEET NO.	6 OF 6

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LINE TABLE

LINE NO.	BEARING	LENGTH	REFERENCE
L1	N10°27'04\"W	102.80'	(N10°41'44\"W 102.59')(6)(10)
L2	N06°54'14\"E	62.25'	(N71°1'20\"E 61.49')(5)(11) (N6°39'32\"W 62.25')(10)
L3	N33°43'10\"W	47.00'	(50.00')(1) (N34°00\"W 47.00')(5) (N33°57'51\"W 46.96')(6)(11) (N34°00\"W)(1)
L3	CONTINUED		(N33°57'51\"W 47.00')(10)
L4	N33°43'10\"W	3.00'	
L5	S69°16'50\"W	92.65'	(N69°00'E)(3)(5) (N69°02'09\"E)(10) (32.5')(3) (92.65')(5)(10)
L5	S21°39'09\"W	54.96'	(S21°24'24\"W 54.96')(6)
L7	S67°16'50\"W	100.00'	(N67°E 100.00')(1)
L8	S26°28'40\"E	60.55'	(S25°42'E)(3) (61.2')(1)(3)
L9	N67°52'40\"E	80.73'	(N67°05'E 81.6')(3) (81.4')(13)

LINE TABLE CONTINUED

LINE NO.	BEARING	LENGTH	REFERENCE
L10	S19°40'24\"E	61.34'	(61.00')(1) (61.4')(3) (60')(15)
L11	N73°46'59\"E	100.00'	(N73°30'E 100.00')(1)
L12	S80°16'50\"W	100.00'	(N80°00'E 100.00')(1)
L13	N88°16'50\"E	100.00'	(N88°00'E 100.00')(1)
L14	S05°54'54\"E	63.95'	(N6°06\"W 64.0')(3) (63.6')(1)
L15	S°23'34'33\"E	61.34'	(N12°49\"W 61.3')(3) (62.0')(1)
L16	S73°46'50\"W	61.23'	(N73°30'E 62.0')(3)(13)
L17	N07°45'56\"E	139.84'	(N7°35'E 140.1')(3)
L18	N24°12'00\"E	20.67'	(N84°12'E 21.0')(3) (N84°00'E 21.0')(14)

BOUNDARY NARRATIVE:

- THE WESTERLY LINE WAS ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (1) USING THE FOUND MONUMENTATION ALONG THE MONUMENT LINE OF BRIGHTON AVE.
- THE NORTHERLY, EASTERLY, AND SOUTHERLY LINES WERE ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (3), (5), (7), AND (10) USING FOUND MONUMENTATION PER OTHER RECORDED SURVEYS.
- THERE ARE MANY MATHEMATICAL DEFICIENCIES IN THE BEARINGS AND DISTANCES ON THE ORIGINAL SUBDIVISION MAPS (1)(2)(3). THE SURVEYOR TRIED TO HOLD THE INTENT OF THE SUBDIVISION MAPPING AS WELL AS FIT TO EXISTING RECORDED MONUMENTATION IN RESOLVING THE LOCATION OF THIS BOUNDARY.

- LEGEND**
- CR CORNER RECORDS
 - DOC. NO. DOCUMENT NUMBER
 - FD FOUND
 - OS OFFICIAL SURVEYS
 - RM RECORD MAPS
 - RR RAILROAD
 - RS RECORD OF SURVEY
 - SFNF SEARCHED FOR NOTHING FOUND
 - (C) CALCULATED
 - () INDICATES RECORD REFERENCE
 - FOUND MONUMENT IN WELL AS NOTED
 - FOUND IRON PIPE AS NOTED

- SUBJECT BOUNDARY LINE
- - - ADJOINING LOT LINE / RIGHT-OF-WAY LINE
- SURVEY T.E. LINE
- - - ORIGINAL LOT LINE PER MAP
- X - X FENCE LINE
- ▭ BUILDING FOOTPRINT

- NOTES:**
- THIS SURVEY IS BEING FILED IN ACCORDANCE WITH SECTION 8762 (b) OF THE PROFESSIONAL LAND SURVEYORS ACT.
 - ALL DISTANCES AND DIMENSIONS HEREON ARE IN FEET AND DECIMALS THEREOF.
 - DATES OF FIELD SURVEY AUGUST THRU OCTOBER, 2022.
 - SUBJECT PROPERTY: LANDS OF MORNING PHASE LLC (DOC. NO. 2014-0016460).
 - ALL BEARINGS AND DISTANCES ARE MEASURED UNLESS INDICATED BY { }

- REFERENCES:**
- (1) RM 1-19
 - (2) RM 3-21
 - (3) RM 5-19
 - (4) RM 13-72
 - (5) RS 4-23
 - (6) RS 11-48
 - (7) RS 33-58
 - (8) RS 2010-20
 - (9) RS 2020-14
 - (10) RS 2020-258
 - (11) CR 193-10
 - (12) CR 193-103-17
 - (13) DOC. NO. 2010-0084218
 - (14) DOC. NO. 1999-0014580

BASIS OF BEARINGS:

THE BEARING, NORTH 3°55'57\" WEST, AS CALCULATED BETWEEN A FOUND 1 1/4\" IRON PIPE AT THE SOUTHEASTLY CORNER OF LOT 235 AS SHOWN ON THAT CERTAIN MAP ENTITLED \"MESA ADDITION TO THE GRANDA VISTA TRACT\" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 16 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1\" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF LOT 8 AS SHOWN ON THAT CERTAIN MAP ENTITLED \"MAP OF BOLINAS HIGHLANDS\" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AT THE REQUEST OF DAVID SALAZAR & MEJNDA BAKER IN SEPTEMBER, 2022.

Jack M. Smith, P.L.S. #7539

COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS ACT THIS 17TH DAY OF APRIL, 2023.

Tracy W. Park, P.L.S. #1876
 COUNTY SURVEYOR

RECORDER'S STATEMENT:

FILED THIS 21st DAY OF APRIL, 2023 AT 9:05 A.M.
 IN BOOK 2023 OF MAPS, AT PAGE 74 AT THE REQUEST OF
 MARIN COUNTY DEPARTMENT OF PUBLIC WORKS.

Shelly Scott, FEE \$ 84
 COUNTY RECORDER
 J.C.
 DEPUTY COUNTY RECORDER
 SERIAL NO. 2023-0009994

RECORD OF SURVEY

OF THE LANDS OF MORNING PHASE LLC, AS SAID LANDS ARE DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON APRIL 29, 2014 AS DOCUMENT NUMBER 2014-0016460 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, SAID LANDS ALSO BEING LOT 204 AS SHOWN ON THAT CERTAIN RECORD MAP ENTITLED, \"MESA ADDITION TO THE GRANDA VISTA TRACT\" FILED FOR RECORD ON APRIL 3, 1923, IN MAP BOOK 5, AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY.

BOLINAS MARIN COUNTY CALIFORNIA
 JANUARY 2023

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SHEET 1 OF 1
 APR: 193-14-02 40 CLIFF AVENUE

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 1055 Post Street, San Francisco CA 94109

BOLINAS RESIDENCE
 40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-11-4-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

RECORD OF SURVEY
 AS NOTED
A1.06

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

RECORDING REQUESTED BY:
JACK SIEDMAN
WHEN RECORDED MAIL TO:
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CAL 94924

2010-0064956
Recorded
Official Records
County of
Marin
JOSH C. TRAYER
Assessor-Recorder
22:02PM 11-14-2010 Page 1 of 11
REC FEE 45.00

AP Nos. 193-102-26&193-114-02

DOCUMENT TITLE

EASEMENT AGREEMENT

THIS PAGE IS ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION

ADDITIONAL RECORDING FEE APPLIES

6. Indemnity.

- (a) Grantee shall indemnify and hold Grantor harmless against any and all claims, expenses, and liability due to any of Grantee's actions or actions of Grantee's subcontractors, guests, invitees, and/or agents related to the Easement.
- (b) Grantor shall indemnify and hold Grantee harmless against any and all claims, expenses and liability due to any of Grantors' actions and actions of Grantors' subcontractors, guests, invitees, and/or agents related to the Easement.

7. Mediation. If a dispute arises out of or is related to this Easement Agreement, or its breach, the parties agree to try in good faith to settle the dispute by non-binding mediation before resorting to court action. The parties shall each pay one-half the cost of such mediation.

8. Discretion of Parties. Enforcement of the terms of this Easement shall be at the discretion of Grantee and Grantor, and any forbearance by Grantee or Grantor to exercise their rights under this Easement in the event of any breach of any term of this Easement by the other shall not be deemed or construed to be a waiver of such term or of any subsequent breach of the same or any other term of this Easement or of any rights under this Easement. No delay or omission in the exercise of any rights or remedy upon any breach shall impair such right or remedy or be construed as a waiver.

9. Amendment. If circumstances arise under which an amendment to or modification of this Easement would be appropriate, Grantor and Grantee may jointly amend this Easement. Any such amendment shall be recorded in the official records of Marin County, California.

10. Notices. Any notice, demand, request, consent, approval, or communication that either party desires or is required to give to the other shall be in writing and either served personally or sent by first class mail, postage prepaid, addressed as follows:

To Grantor:
Ashley Ratcliffe
P.O. Box 635
Bolinas, CA 94924

To Grantee:
Kevin and Annette Haw

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

John P. McGrath
John P. McGrath
1941 A Rice Valley Blvd
Walnut Creek, California 94595
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CALIF. 94924

EASEMENT AGREEMENT

This Easement Agreement ("Agreement") is made by and between Ashley Ratcliffe (hereinafter referred to as "Grantor") and Kevin and Annette Haw, (hereinafter collectively referred to as "Grantee") and is effective as of the last date of signature.

RECITALS

Grantor is the owner of certain real property ("the servient tenement") in the town of Bolinas, Marin County, California, known as 87 Brighton Ave., APN 193-102-26. Said servient tenement is depicted on Exhibit "A", attached hereto, which is a reproduction of the Town of Bolinas Assessor's Map Bk.193-pg.11, County of Marin, California, and incorporated herein by this reference.

Grantee is the owner of certain real property ("the dominant tenement") in the town of Bolinas, Marin County, California, known as 40 Cliff Road APN 193-114-02 as depicted on the above-described Exhibit "A", attached hereto, incorporated herein by this reference.

The purpose of this Agreement is to grant to Grantee certain easement rights over the property of Grantor, as set forth below.

AGREEMENT

1. Purpose of Agreement. A structure on Grantee's property encroaches upon a portion of Grantor's property, as depicted on the above-described Exhibit "A", attached hereto and incorporated herein by reference. The Encroachment occurred approximately thirty (30) years ago as an add-on to a structure that already existed on the dominant tenement. "The Encroachment" is approximately four (4) feet in the North to South direction and seventeen (17)

435 South Ray Rd.
Portland, TN 37148

or to such other address as either party or its assignee from time to time shall designate by written notice to the other.

If either Grantor or Grantee shall sell their respective properties, thereafter the notices shall be sent to the name and address listed in the Marin County Assessor's most current listings as owner of the sold property.

11. Easement to Run With the Land.

(a) All of the restrictions, covenants, easements, equitable servitudes and affirmative obligations set forth in this Agreement that touch and concern the Property shall run with the land. All other terms, covenants, conditions and provisions of this Agreement shall inure to the benefit and be binding upon the respective heirs, successors and assigns of the parties.

(b) The terms and conditions of this agreement shall not give rise to any personal obligation of: (1) the Grantor for actions or events occurring after the Grantor no longer owns the servient tenement; or (2) the Grantee for actions or events occurring after the Grantee no longer owns the dominant tenement.

12. General Provisions.

(a) Controlling Law. The interpretation and performance of this Easement shall be governed by the laws of the State of California.

(b) Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Easement shall be liberally construed in favor of the grant to effect the purpose of this Easement. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of this Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

(c) Severability. If any provisions of this Easement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Easement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, as the case may be, shall not be affected thereby.

(d) Entire Agreement. This instrument sets forth the entire Agreement of the parties with respect to the Easement and supersedes all prior

feet in the East to West direction and ranges in height from approximately five (5) foot, nine (9) inches at its lowest point to seven (7) foot at its tallest point, and is attached to the structure on the dominant tenement. The Encroachment is part of the kitchen and bathroom areas of the structure on the dominant tenement. The purpose of this Agreement is to grant an easement to Grantee allowing the continuation of The Encroachment and Grantee's continued use of The Encroachment.

2. Grant of Easement. In consideration of the mutual covenants, terms, conditions, and restrictions contained herein, and pursuant to the laws of the State of California, Grantor hereby voluntarily grants and conveys to Grantee, and their successors and assigns, subject to all existing encumbrances and exception to title, an easement appurtenant over the servient tenement of the nature and character and to the extent hereinafter set forth.

Grantor hereby grants to Grantee the following: an exclusive easement for The Encroachment which is entirely on the servient tenement and permanently attached and incorporated into the structure on the dominant tenement. The Encroachment is described above and identified on the above-described Exhibit "A", attached hereto and incorporated herein by reference.

Should either party want a legal description to more particularly describe the location of this easement, the party wanting the legal description shall be free to obtain one and the other party agrees to make an appropriate amendment to this agreement, in recordable form, to include said legal description. This easement shall be appurtenant to the dominant tenement.

3. Declaration of Restrictions. The Grantor hereby declares that the servient tenement shall be held, transferred, sold, conveyed, given, leased, occupied and used subject to all of the restrictions, covenants, easements, equitable servitudes, and affirmative obligations set forth in this Agreement.

4. Limitations of Grantees' Use. The use of the Easement by Grantee, and their successors in interest and assigns, is limited to the uses of the dominant tenement identified above. No other structures shall be constructed in the easement area, nor shall The Encroachment be extended or expanded in any direction, beyond its current envelope, including in height. In addition, if The Encroachment is ever demolished or if the structure on the dominant tenement to which it is affixed is ever replaced with a new structure, such new structure will not encroach into the easement area.

5. Maintenance and Repair. The obligation for maintenance and repair of the existing structure within the Easement shall be solely that of the Grantee.

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco CA
94109

BOLINAS RESIDENCE

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.07

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discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with the "Amendment" paragraph herein.

(e) No Forfeiture. Nothing contained herein will result in a forfeiture or reversion of Grantor's title in any respect.

(f) Attorney Fees. The prevailing party in any lawsuit or arbitration arising out of this agreement shall be entitled to recover reasonable attorney's fees.

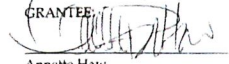
(g) Captions. The captions in this instrument have been inserted solely for convenience of reference and are not a part of this instrument and shall have no effect upon construction or interpretation.

DATED: Feb 16, 2010 GRANTOR:

 Ashley Ratcliffe

DATED: 3-8-10, 2010 GRANTEE:

 Kevin Haw

DATED: 3-8-10, 2010 GRANTEE:

 Annette Haw

Tax Rate Area 193-11
56-014

POR. RANCHO LAS BAULINES

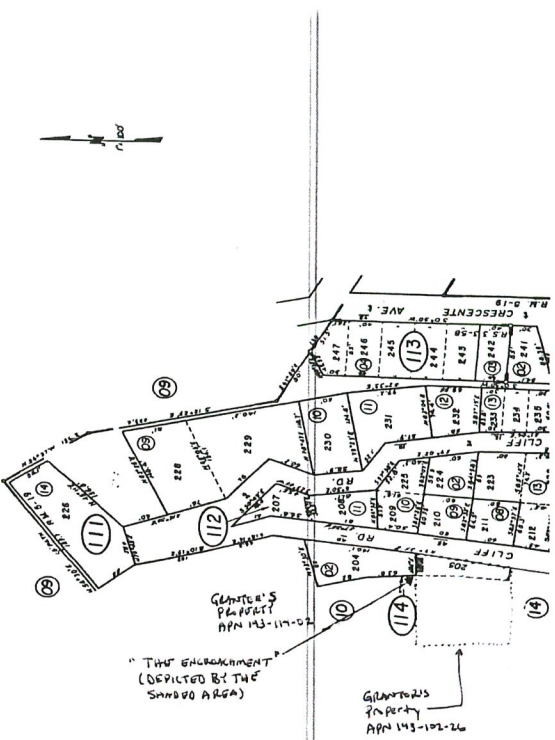


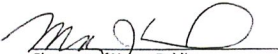
EXHIBIT "A" TO EASEMENT AGREEMENT
 B/W KEVIN + ANNETTE HAW + ASHLEY RATCLIFFE
 PAGE 1 OF 3

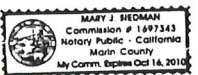
State of California)
 County of Marin) ss.

On February 16, 2010 before me, MARY T. SIEDMAN, Notary Public in and for said State, personally appeared ASHLEY RATCLIFFE who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal. (NOTARY SEAL)


 Signature of Notary Public



Commencing at the Northeastly corner of Lot 24 as shown upon that map entitled, "Plat of Granda Vista", filed for record in Book 1 of Maps, at Page 19, Marin County Records, also being the Northwestly corner of Lot 205 as shown upon that map entitled, "Mesa Addition to the Granda Vista Tract", filed for record in Book 5 of Maps, at Page 19, Marin County Records; thence Easterly along the Northerly line of said Lot 205, N 84deg 12' E, a distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence leaving said Northerly line distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence N 03deg 50' E, a distance of 2.91 feet; thence N 03deg 50' W, a distance of 3.50 feet to a point on said Northerly line of Lot 205; thence Westerly along said Northerly line of Lot 205, S 84deg 12' W, a distance of 17.38 feet to the TRUE POINT OF BEGINNING.


EX "A" - PAGE 2 OF 3

State of Missouri)
 County of Robertson) ss.

On March 8, 2010 before me, DEBRA WHITE, Notary Public in and for said State, personally appeared KEVIN HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


 Signature of Notary Public

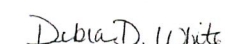


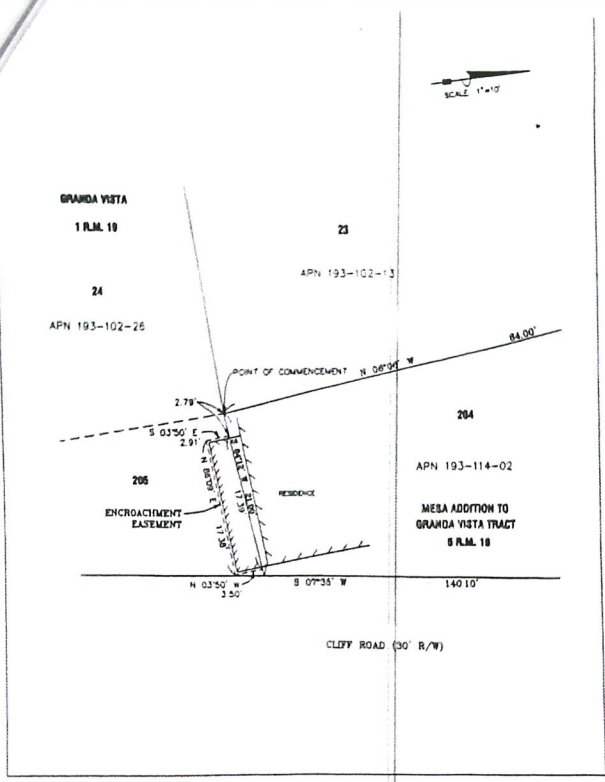
State of Missouri)
 County of Robertson) ss.

On March 8, 2010 before me, Debra White, Notary Public in and for said State, personally appeared ANNETTE HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

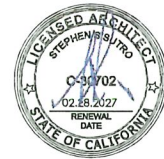

 Signature of Notary Public



EX "A" - PAGE 3 OF 3

SUTRO ARCHITECTS

BOLINAS RESIDENCE



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.08

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 94109

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 BOLINAS, CA 94924
 PARCEL 193-11-4-02 | PROJECT NO. 2020.045



BOLINAS RESIDENCE

40 CLIFF ROAD, BOLINAS, CA 94924

PLANNING SUBMITTAL

SUTRO ARCHITECTS

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sutroarchitects.com
1055 Post Street, San Francisco CA 94109

BOLINAS RESIDENCE
40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020045



PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

COVER SHEET
NO SCALE
A0.00

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PROJECT DIRECTORY:			
OWNER:	MORNING PHASE LLC 40 CLIFF AVE BOLINAS, CA 94924	CONTACT:	DAVID SALAZAR 415.812.8756 dts@dtsalazar.com
ARCHITECT:	SUTRO ARCHITECTS 1055 POST STREET SAN FRANCISCO, CA 94109 www.sutroarchitects.com	CONTACT:	SARAH TURNER 415.766.4078 sturner@sutroarchitects.com
INTERIOR DESIGNER:	TAKBE STUDIO 53 QUAI DE LA TOURNELLE PARIS, FRANCE 75005	CONTACT:	LAURE BOUCHARD +33 6 20 00 48 12 laure.bouchard@takbestudio.com
CONTRACTOR:	UPSCALE CONSTRUCTION 2151 UNION STREET SUITE 1 SAN FRANCISCO, CA 94123	CONTACT:	DANNY BERNARDINI 650.787.2833 danny@upscaleconstruction.com
LAND SURVEYOR:	MUIR CONSULTING, INC. 139 CHURCH AVENUE OAKDALE, CA 95361	CONTACT:	JACK SMITH 209.845.8630 jsmith@muirconsulting.com
GEOTECH ENGINEER:	MURRAY ENGINEERS 409 4TH STREET SAN RAFAEL, CA 94901	CONTACT:	Andrew Scuvillo 415.888.8952 ascuvillo@murrayengineers.com
CIVIL ENGINEER:	TARNOFF ENGINEERING CORPORATION 1442A WALNUT ST., #428 BERKELEY, CA 94709	CONTACT:	MICHAEL TARNOFF 415.229.5996 michael@tarnoffengineering.com
LANDSCAPE:	GREEN 17 P.O. BOX 2696 SAUSALITO, CA 94966	CONTACT:	DJ JOHNS 415.332.3033 dj@green17design.com
STRUCTURAL ENGINEER:	BKG STRUCTURAL ENGINEERS 1600 EL CAMINO REAL, UNIT C SAN CARLOS, CA 94070	CONTACT:	RYAN BILLANTE 650.489.9214 ryan@bkgse.com
ELECTRICAL ENGINEER:	SUMMIT ENGINEERING, INC. 463 AVIATION BLVD, STE 200 SANTA ROSA, CA 95403 www.summit-sr.com	CONTACT:	PAUL BUNBURY 707.208.8569 paul@summit-sr.com
MECHANICAL ENGINEER:	CB ENGINEERS 449 10TH STREET SAN FRANCISCO, CA 94103	CONTACT:	PAUL O'NEILL 415.651.9030 paul.oneill@cbengineers.com
AV CONSULTANT:	METRO 18 3450 3RD ST. UNIT #4C SAN FRANCISCO, CA 94124	CONTACT:	JAY BAKLER 415.252.7720 jay.bakler@metroeighteen.com
HISTORICAL CONSULTANT:	LEFT COAST ARCHITECTURAL HISTORY P.O. BOX 70415 RICHMOND, CA 94807	CONTACT:	CAITLIN HIRMA 415.745.1906 caitlin@leftcoastarchitecturalhistory.com
PERMIT EXPEDITER:	GBASF 3132 20TH ST #190 SAN FRANCISCO, CA 94110	CONTACT:	GARY BELL 415.922.5400 gary@gbasf.com

PROJECT DATA:			
SITE DATA			
PROJECT NAME:	BOLINAS RESIDENCE		
PROJECT TYPE:	RESIDENTIAL REMODEL		
PROJECT ADDRESS:	40 CLIFF ROAD, BOLINAS, CA, 94924		
DESCRIPTION OF WORK:	INTERIOR REMODEL WITHIN EXISTING BUILDING, INCLUDES LIMITED STRUCTURAL WORK, NEW DETACHED ACCESSORY DWELLING UNIT, SITE WORK WITH NEW RETAINING WALLS.		
BUILDING DATA			
BUILDING CODES:	2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101) CALIFORNIA ENERGY COMMISSION TITLE 24 MARIN COUNTY MUNICIPAL CODE		
TYPE OF CONSTRUCTION:	TYPE VB		
SPRINKLER PROTECTION:	EXISTING NON-SPRINKLERED, PROPOSED NON-SPRINKLERED		
OCCUPANCY TYPE / USE:	R-3 / SINGLE FAMILY RESIDENCE		
ASSESSOR'S BLOCK/LOT:	PARCEL 193-114-02		
ZONING DISTRICT:	C-RA-B2; RESIDENTIAL AGRICULTURE		
COUNTY-WIDE PLAN DESIGN:	C-SF5; LOW DENSITY RESIDENTIAL COASTAL ZONE		
MAIN RESIDENCE			
NO. OCCUPIED FLOORS:	2 EXISTING, 2 PROPOSED		
NO. OF STORIES:	2 EXISTING, 2 PROPOSED		
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED		
NO. OF BEDROOMS/BATHS:	1/1 EXISTING, 1/1 PROPOSED		
GROSS FLOOR AREA:	686 SF EXISTING, 686 SF PROPOSED		
AREA COUNTED IN F.A.R.:	600 SF EXISTING, 600 SF PROPOSED		
ACCESSORY DWELLING UNIT			
NO. OCCUPIED FLOORS:	0 EXISTING, 1 PROPOSED		
NO. OF STORIES:	0 EXISTING, 1 PROPOSED		
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED		
NO. OF BEDROOMS/BATH:	0/0 EXISTING, 2/1.5 PROPOSED		
GROSS FLOOR AREA:	0 SF EXISTING, 1443 SF PROPOSED		
AREA COUNTED IN F.A.R.:	0 SF EXISTING, 800 SF PROPOSED		
PROJECT INFORMATION:			
1	LOT AREA (SF)	EXISTING	4,938
	PROPOSED		4,938
2	BUILDING AREA (SF)	EXISTING (HABITABLE + NON-HABITABLE)	812
	PROPOSED (HABITABLE + NON-HABITABLE)		1,730
3	FLOOR AREA (SF)	EXISTING	600
	PROPOSED		1,400
4	FLOOR AREA RATIO	EXISTING	12%
	PROPOSED		28%
5	PROPOSED AREA OF ADDITIONAL DISTURBANCE		6,493 SF
	EXISTING LOT COVERAGE		
6A	IMPERVIOUS COVERAGE		743 SF
	PERVIOUS COVERAGE		4,195 SF
6B	PROPOSED LOT COVERAGE		
	IMPERVIOUS COVERAGE		1,861 SF
	PERVIOUS COVERAGE		3,077 SF
7	GRADING CALCULATIONS		
	CUT		384 CY
	FILL		15 CY
	OFF-HAUL		369 CY
8	PARKING		
	EXISTING		2
	PROPOSED		2
9	MIN. SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA	MAIN HOUSE	ADU
	FRONT	25'-0"	N/A
	REAR	12'-10"	4'-0"
	SIDE	10'	4'-0"
10	MAX. HEIGHT OF PROPOSED BUILDING AREA		
	MAIN HOUSE (17'-3" EXISTING, 17'-3" PROPOSED)		25'
	ADU (15'-0" PROPOSED)		15'

SHEET INDEX:			
03.27.2026 - PLANNING R2	02.02.2026 - PLANNING R1	10.27.2025 - PLANNING	
ARCHITECTURAL DRAWINGS			(# SHEETS: 36 TOTAL)
A0.00	COVER SHEET / PROJECT INFO		
A0.01	GENERAL NOTES / PLOT PLAN		
A0.02	SITE PHOTOS		
A0.03	ARBORIST REPORT		
A0.04	MCSPP MINIMUM CONTROL MEASURES		
A0.12	PROPOSED EXTERIOR RENDERINGS		
A0.13	EXTERIOR MATERIAL PALETTE		
A1.00	BOUNDARY & TOPOGRAPHIC SURVEY (1 OF 6)		
A1.01	BOUNDARY & TOPOGRAPHIC SURVEY (2 OF 6)		
A1.02	BOUNDARY & TOPOGRAPHIC SURVEY (3 OF 6)		
A1.03	BOUNDARY & TOPOGRAPHIC SURVEY (4 OF 6)		
A1.04	BOUNDARY & TOPOGRAPHIC SURVEY (5 OF 6)		
A1.05	BOUNDARY & TOPOGRAPHIC SURVEY (6 OF 6)		
A1.06	RECORD OF SURVEY		
A1.07	EXISTING EASEMENT		
A1.08	EXISTING EASEMENT		
A1.10	EXISTING/DEMO & PROPOSED SITE PLAN		
A1.20	PROPOSED SITE PLAN		
A1.21	ENLARGED PLAN: PG&E PLATFORM		
A1.22	PROPOSED SITE SECTIONS: PG&E PLATFORM		
A1.30	CONSTRUCTION MANAGEMENT PLAN		
A1.31	EXISTING AND PROPOSED IMPERVIOUS COVER PLAN		
A2.01	EXISTING/DEMO PLAN & PROPOSED PLAN: FIRST LEVEL MAIN HOUSE		
A2.02	EXISTING/DEMO PLAN & PROPOSED PLAN: SECOND LEVEL MAIN HOUSE		
A2.03	EXISTING/DEMO PLAN & PROPOSED PLAN: ROOF PLAN MAIN HOUSE		
A2.04	PROPOSED PLAN: CRAWLSPACE ADU		
A2.05	PROPOSED PLAN: FIRST LEVEL ADU		
A2.06	PROPOSED PLAN: ATTIC LEVEL ADU		
A2.07	PROPOSED PLAN: ADU ROOF		
A5.00	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: NORTH		
A5.01	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: EAST		
A5.02	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: SOUTH		
A5.03	EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: WEST		
A5.04	PROPOSED ADU ELEVATIONS: NORTH & EAST		
A5.05	PROPOSED ADU ELEVATIONS: SOUTH & WEST		
A6.00	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE		
A6.01	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE		
A6.02	EXISTING / DEMO & PROPOSED BUILDING SECTIONS: ADU		
AREA CALCULATIONS:			
AREA CALCULATIONS			
(IN SQUARE FEET)	EXISTING	PROPOSED	NET CHANGE
1ST FLOOR (MAIN HOUSE)			
HABITABLE	457	457	+0
NON HABITABLE	0	0	+0
2ND FLOOR (MAIN HOUSE)			
HABITABLE	143	143	+0
NON HABITABLE	86	86	+0
CRAWLSPACE (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	104	+104
FIRST LEVEL (ADU)			
HABITABLE	0	800	+800
NON HABITABLE	0	0	+0
ATTIC (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	226	+226
TOTAL HABITABLE	600	1400	+800
TOTAL NON HABITABLE	86	416	+330
TOTAL HABITABLE + NON HABITABLE	686	1816	+1130
F.A.R. SUMMARY			
TOTAL FLOOR AREA COUNTED IN F.A.R.	600	1400	+800
TOTAL LOT SIZE	4938	4938	+0
F.A.R. (MAX ALLOWED = 30%)	12%	28%	16%
NOTE: SEE ADDITIONAL FLOOR AREA CALCS & DIAGRAMS ON A2.01 AND A2.04.			

SHEET INDEX (CONT):			
03.27.2026 - PLANNING R2	02.02.2026 - PLANNING R1	10.27.2025 - PLANNING	
CIVIL DRAWINGS			(# SHEETS: 5 TOTAL)
C1	TITLE SHEET, NOTES & LEGEND		
C2	GRADING & DRAINAGE PLAN		
C2.1	SITE SECTION		
C3	EROSION CONTROL & STORMWATER PLAN		
C4	OFFSITE UTILITY PLAN		
LANDSCAPE DRAWINGS			(# SHEETS: 7 TOTAL)
L0.1	TREE PROTECTION & REMOVAL PLAN		
L1.0	LAYOUT PLAN & NOTES		
L3.0	PLANTING PLAN & SCHEDULE		
L3.1	PLANTING DETAIL & NOTES		
L4.0	IRRIGATION PLAN		
L5.0	LIGHTING PLAN		
L6.0	DETAILS		
SYMBOL LEGEND:			
KEY NOTE	99	PLAN DETAIL	XX A.X.X
ROOM TAG	STUDIO 100 100 SF	ELEVATION	XX A.X.X
WALL TYPE	95	SECTION	XX A.X.X
DOOR TAG	999	INTERIOR ELEVATION	4 A.X.X 2
WINDOW TAG	99	REGION	3 XX A.X.X
CEILING HEIGHT	X-XX"	REVISION	
SPOT ELEVATION			
ELEVATION DATUM	FINISHED CEILING X-XX"	FINISH TAG	XX 01
COLUMN GRIDLINE	XX	BREAKLINE	
DRAWING TITLE	1 TITLE 1/8" = 1'-0"	NORTH ARROW	PROJECT TRUE



BOLINAS RESIDENCE

40 CLIFF RD

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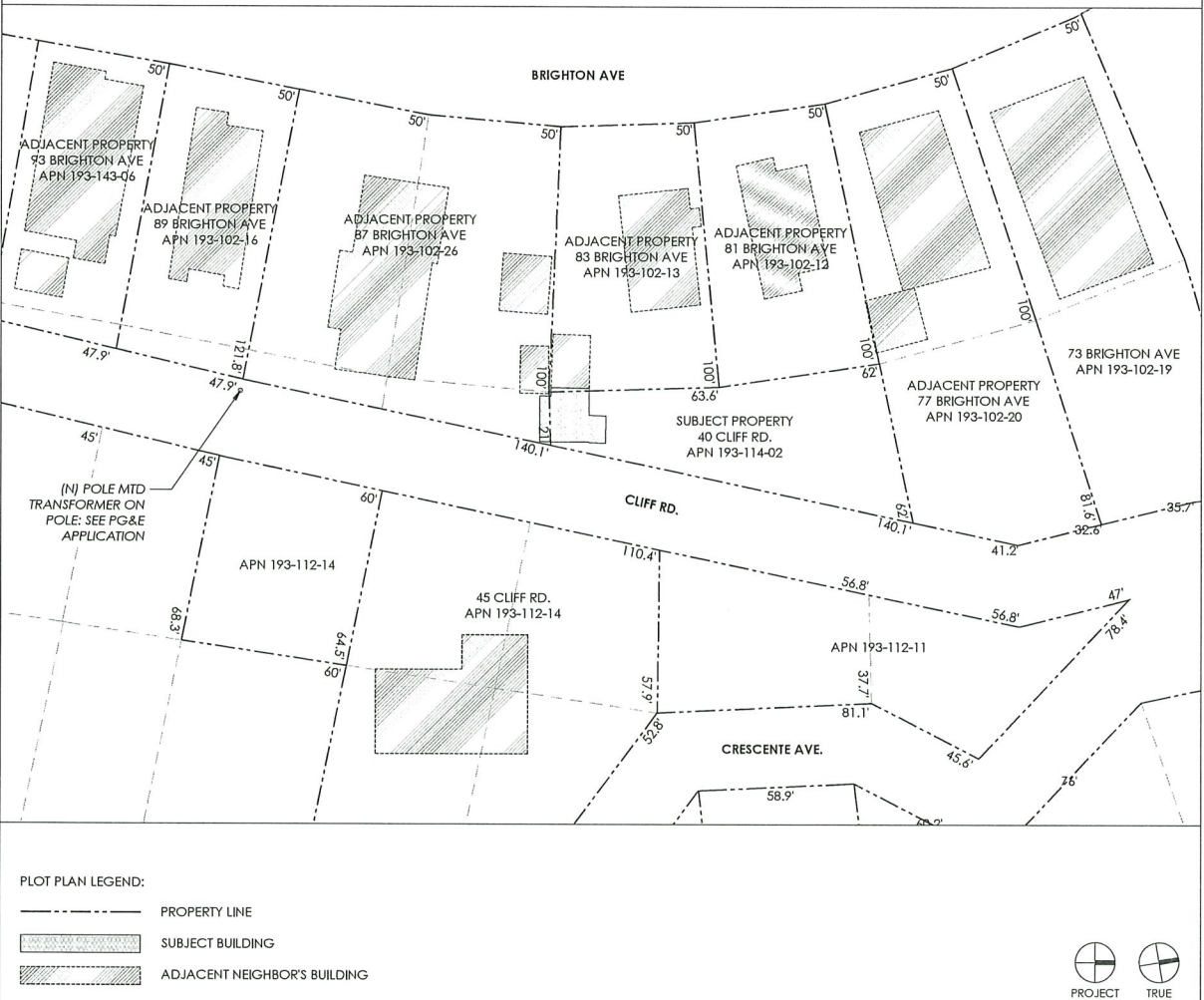
ABBREVIATIONS:

ADJ.	ADJUSTABLE	MTD.	MOUNTED
A.F.F.	ABOVE FINISH FLOOR	MUL.	MULLION
AGGR.	AGGREGATE	NEW	NEW
ALT.	ALTERNATE	N.	NORTH
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	NO. OR #	NUMBER
ARCH.	ARCHITECTURAL	NOM.	NOMINAL
BD.	BOARD	N.T.S.	NOT TO SCALE
BITUM.	BITUMINOUS	O.	OWNER
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	OPNG.	OPENING
BLKG.	BLOCKING	OPP.	OPPOSITE
BM.	BEAM	P.C. & E	PACIFIC GAS & ELECTRIC COMPANY
B.O.	BOTTOM OF	P.I.P.	POURED IN PLACE
C.L.	CENTERLINE	PL.	PLATE
CAB.	CABINET	PLAST.	PLASTER
CEM.	CEMENT	PLUMB.	PLUMBING
CHIM	CHIMNEY	PLYWD.	PLYWOOD
CLG.	CEILING	PNT.	PAINT
CLR.	CLEAR	PAIR	PAIR
C.M.U.	CONCRETE MASONRY UNIT	P.S.I	PER SQUARE INCH
COL.	COLUMN	PT.	POINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONSTR.	CONSTRUCTION	PTD.	PAINTED
CONT.	CONTINUOUS	Q.T.	QUARRY TILE
CTR.	CENTER	R.	RISER
C.W.	COLD WATER	R.A.	RETURN AIR
D.	DOUBLE	R.C.P.	REFLECTED CEILING PLAN
DBL.	DOUBLE	R.D.	ROOF DRAIN
DET.	DETAIL	REC.	RECESSED
DIA.	DIAMETER	REF.	REFERENCE
DIM.	DIMENSION	REFL.	REFLECTED
DN.	DOWN	REFR.	REFRIGERATOR
DR.	DOOR	REG.	REGISTER
D.S.P.	DRY STANDPIPE	REIN.	REINFORCED
D.W.	DISHWASHER	REQD.	REQUIRED
DWG.	DRAWING	RET.	RETAINING
DWR.	DRAWER	REV.	REVISION/REVISED/REVERSED
(E)	EXISTING	R.M.	ROOM
EA.	EACH	R.O.	ROUGH OPENING
ELEV.	ELEVATION	R.W.L.	RAIN WATER LEADER
ELEC.	ELECTRICAL	S.	SOUTH
ENCL.	ENCLOSURE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
E.O.	EDGE OF	S.C.	SOLID CORE
EQ.	EQUAL	S.C.E.D.	SEE CIVIL ENGINEERING DRAWINGS
EQUIP.	EQUIPMENT	SCHED.	SCHEDULE
EXIST.	EXISTING	SECT.	SECTION
EXP.	EXPANSION	SEP.	SEPARATION
EXT.	EXTERIOR	SERV.	SERVICE
F.A.	FIRE ALARM	SH.	SHIELD
F.A.U.	FORCED AIR UNIT	S.H.	SPRINKLER HEAD
F.D.	FLOOR DRAIN	SHR.	SHOWER
FIN.	FINISH	SHT.	SHEET
FKT.	FIXTURE	SHG.	SHEATHING
FL.	FLOOR	SIM.	SIMILAR
FLASH.	FLASHING	SL.	SLIDING
FLUOR.	FLUORESCENT	S.L.D.	SEE LANDSCAPE DRAWINGS
F.O.C.	FACE OF CONCRETE	S.M.D.	SEE MECHANICAL DRAWINGS
F.O.F.	FACE OF FINISH	S.P.D.	SEE PLUMBING DRAWINGS
F.O.M.	FACE OF MASONRY	SPEC.	SPECIFICATION
F.O.PLY	FACE OF PLYWOOD	SQ.	SQUARE
F.O.S.	FACE OF STUDS	STA.	STATION
F.P.	FIREPROOF	ST.STL.	STAINLESS STEEL
FR.	FRAME	S.T.D.	SEE STRUCTURAL DRAWINGS
FT.	FOOT OR FEET	STD.	STANDARD
FURR.	FURRING	STL.	STEEL
FUT.	FUTURE	STN.	STONE
G.	GAS	STOR.	STORAGE
GA.	GAUGE	STRUC.	STRUCTURAL
GALV.	GALVANIZED	SUSP.	SUSPENDED
G.C.	GENERAL CONTRACTOR	S.V.	SHEET VINYL
G.D.	GARBAGE DISPOSAL	S.W.	SHEAR WALL
GEN.	GENERAL	SYMM.	SYMMETRICAL
GL.	GRIDLINE	SYS.	SYSTEM
GND.	GROUND	T.O.C.	TOP OF CURB
G.O.	GAS OUTLET	TEL.	TELEPHONE
GR.	GRADE	T.E. & G	TONGUE & GROOVE
G.S.M.	GALVANIZED SHEET METAL	TH.	THICK
GYP.	GYPSUM	THRU.	THROUGH
H.B.	HOSE BIBB	T.O.P.	TOP OF
HD.	HEAD	T.O.C.C.	TOP OF CONCRETE
HDR.	HEADER	T.O.P.	TOP OF PLATE
HGR.	HANGER	T.O.PLY	TOP OF PLYWOOD
HORIZ.	HORIZONTAL	T.Q.W.	TOP OF WALL
H.R.	HANDRAIL	TYE.	TYPICAL
HT.	HEIGHT	UNF.	UNIFORM BUILDING CODE
H.W.H.	HOT WATER HEATER	UNF.	UNFINISHED
IN.	INCH	U.O.N.	UNLESS OTHERWISE NOTED
INSUL.	INSULATION	VEN.	VENER
INT.	INTERIOR	VERT.	VERTICAL
JST.	JOIST	VEST.	VESTIBULE
JT.	JOINT	V.F.	VERIFY IN FIELD
LAM.	LAMINATE	VOL.	VOLUME
LAV.	LAVATORY	W.C.	WATER CLOSET OR WALL COVERING
LT.FXT.	LIGHT FIXTURE	WD.	WOOD
LN.	LINEAR	WD.	WASHER / DRYER
LN.	LINE	W.D.	WATER HEATER
LT.	LIGHT	W/O	WITHOUT
MACH.	MACHINE	W.P.	WATERPROOFING
MAINT.	MAINTENANCE	W.P.M.	WATERPROOF MEMBRANE
MAT.	MATERIAL	WT.	WEIGHT
MAX.	MAXIMUM	W.R.	WATER RESISTANT
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MTL.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		

GENERAL NOTES:

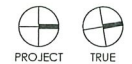
- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.8 GALLONS PER MINUTE. ALL BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.2 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 408).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS. LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 2406.4.5).
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

PLOT PLAN:

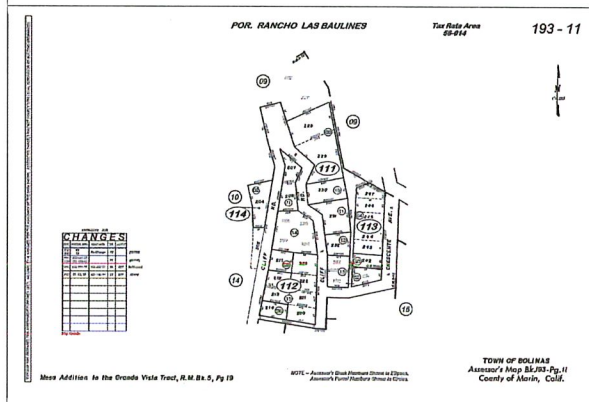


PLOT PLAN LEGEND:

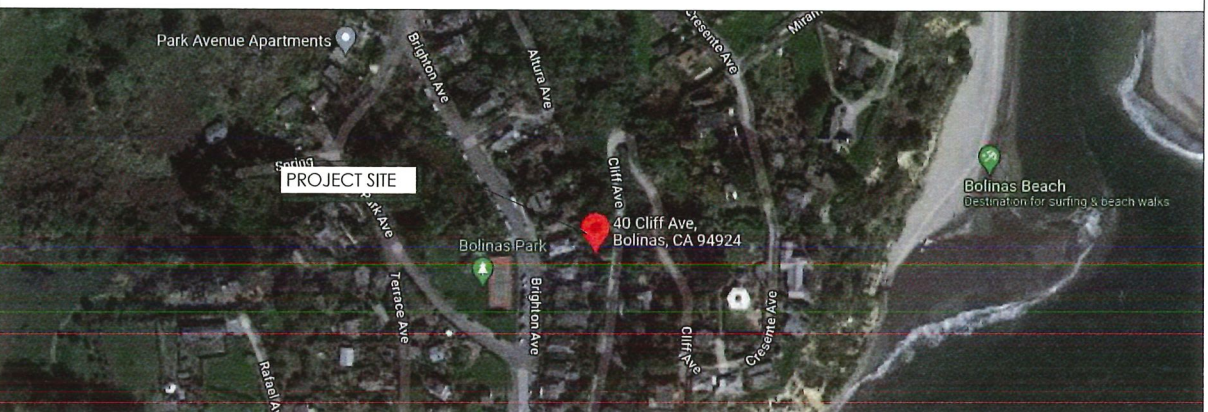
- PROPERTY LINE
- SUBJECT BUILDING
- ADJACENT NEIGHBOR'S BUILDING



ASSESSORS PARCEL MAP:



VICINITY MAP:



SUTRO ARCHITECTS

BOLINAS RESIDENCE



- PLANNING - R2 03.27.2026
- PLANNING - R1 02.02.2026
- PLANNING 10.27.2025

GENERAL NOTES & PLOT PLAN

SCALE AS NOTED

A0.01

415.958.3445
sutroarchitects.com
1055 Post Street, San Francisco CA 94109

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BOLINAS, CA 94924
PARCEL 193-112-14-02 | PROJECT NO. 2020.045

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1 MAIN HOUSE NORTH/FRONT ELEVATION



2 MAIN HOUSE EAST/SIDE ELEVATION



3 MAIN HOUSE SOUTH/REAR ELEVATION



4 MAIN HOUSE WEST/SIDE ELEVATION



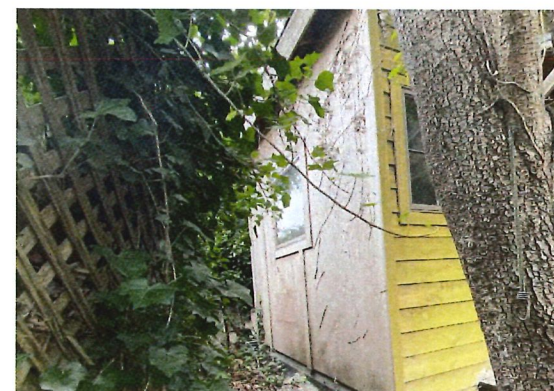
5 SHED NORTH/BACK ELEVATION



6 SHED EAST/SIDE ELEVATION



7 SHED SOUTH/FRONT ELEVATION



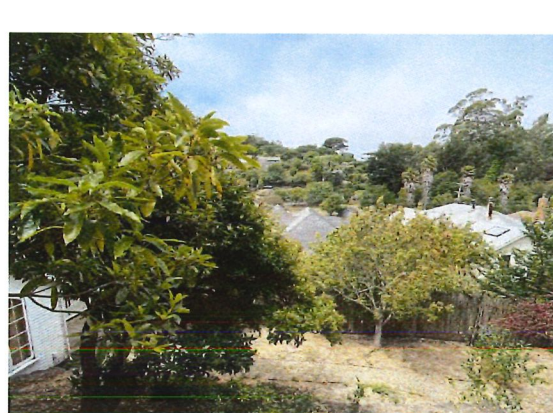
8 SHED WEST/SIDE ELEVATION



9 VIEW OF SITE LOOKING SOUTH



10 VIEW OF FENCE LOOKING EAST



11 VIEW OF FENCE LOOKING WEST



12 AERIAL VIEW / SITE PHOTO KEY

SUTRO ARCHITECTS

BOLINAS RESIDENCE

415.956.3445
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1055 Post Street, San Francisco CA
94110

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PLANNING - R2	03.27.2026	▲
PLANNING - R1	02.02.2026	▲
PLANNING	10.27.2025	▲

SITE PHOTOS

SCALE AS NOTED

A0.02

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ARBORIST REPORT

Tree Inventory
40 Cliff Road
Bolinas, California
(APN: 193-114-02)

Prepared for:
Sutro Architects
 1055 Post Street
 San Francisco CA 94109

Prepared by:
Dr. Kent Julin
 ISA Certified Arborist
 California Professional Forester
 ARBORSCIENCE, LLC

February 28, 2023

P.O. Box 111, Woodacre, CA 94973-0111
 (415) 419-5197 • kent.julin@gmail.com • http://arborscientist.com

ASSIGNMENT

Sutro Architects hired ARBORSCIENCE, LLC to inventory trees growing at 40 Cliff Road in Bolinas. The client's interest in identifying trees on the property with special status prompted this inventory that I completed on June 3, 2022.

SCOPE OF WORK AND LIMITATIONS

This inventory is based on the circumstances and observations, as they existed at the time of the site inspection. Opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by Arborscience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the tree discussed in this assessment should be re-assessed periodically.

SITE DESCRIPTION AND CONTEXT

The home at 40 Cliff Road in Bolinas was built in 1924 on a narrow, 0.14-acre parcel (APN: 193-114-02). Improvements include perimeter fencing, and garden walkways leading to a single-family residence and garden shed. Landscaping is mature and overgrown. The 40 Cliff Road property is within the California Coastal Zone. The Marin County Native Tree Protection and Preservation ordinance does not apply to properties located in the coastal zone, and a Coastal Permit may instead be required for the removal of trees and vegetation as determined by the Marin County Community Development Agency. Given that trees on the subject property are not part of a "significant" stand of trees and are not within an environmentally sensitive habitat area such as a wetland, riparian corridor, dune or beach, it is unlikely that they would be afforded special status.

SUBJECT TREE DESCRIPTIONS

The 19 subject trees (Table 1 and Tree Map, attached) were planted or have volunteered since the home was built nearly 100 years ago. Fruit and nut trees on the property include apple (*Malus domestica*), pear (*Pyrus communis*), Fuyu Persimmon (*Diospyros kaki*), cherry plum (*Prunus cerasifera*) and English walnut (*Juglans regia*). Ornamental trees on the property include blackwood acacia (*Acacia melanoxylon*), scotch elm (*Ulmus glabra*), Victorian box (*Pittosporum undulatum*), saucer magnolia (*Magnolia x soulangeana*), glossy privet (*Ligustrum lucidum*), and Oregon ash (*Fraxinus latifolia*). Most of these trees are overmature, in fair to poor health, have considerable deferred pruning maintenance, and have poor structural form including severe defects like trunk decay (Trees 10 and 14) that present high failure risks.

CONCLUSIONS AND RECOMMENDATIONS

The subject trees are old and generally overmature, with considerable deferred pruning maintenance, poor structural form, and low vigor. Two of the trees have trunk decay and present high failure risks.

None of the trees are native and would be considered protected pursuant to the Marin County Code. A Coastal Permit may instead be required for the removal of trees and vegetation on the property, as determined by the Marin County Community Development Agency (which enforces coastal permit requirements) related to the proposed project. However, given that trees on the subject property are not part of a "significant stand" of trees and are not within an "environmentally sensitive habitat area" such as a wetland, or riparian corridor, or dune or beach, it is unlikely that they would be afforded special status within the Coastal Zone.

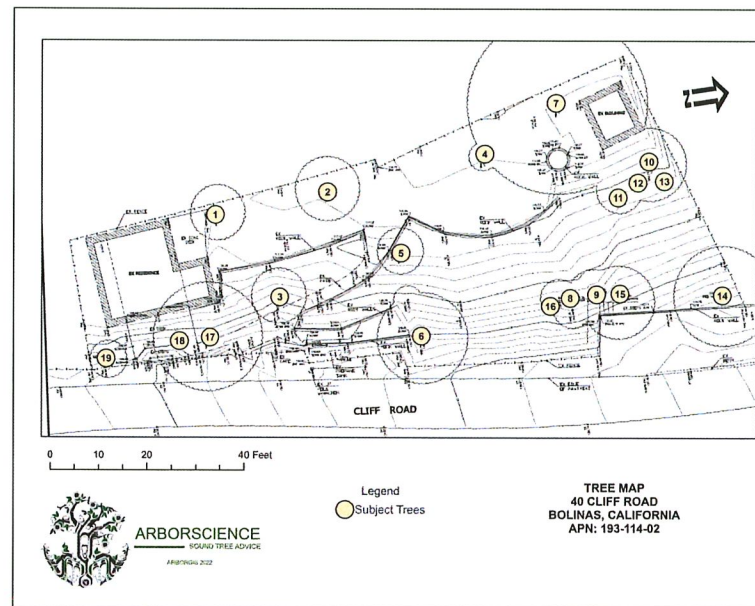
Sincerely,

ARBORSCIENCE, LLC

Kent Julin
 Dr. Kent R. Julin
 ISA Certified Arborist #WE-8733A
 ISA Tree Risk Assessor Qualified
 California Registered Professional Forester #2648

Table 1. Trees growing at 40 Cliff Road in Bolinas.

Tree Number	Common Name	Latin Name	DBH (in.)	Notes	Condition	Fireprone Species
1	Apple	<i>Malus domestica</i>	4,4,5	Bearing fruit	Good	No
2	Pear	<i>Pyrus communis</i>	1,3,4,5,5	Bearing fruit	Good	No
3	Glossy privet	<i>Ligustrum lucidum</i>	5,5,6,7	-	Poor	No
4	Fuyu persimmon	<i>Diospyros kaki</i>	3,4	Flowering	Good	No
5	Plum	<i>Prunus cerasifera</i>	2,4,5	-	Good	No
6	Victorian box	<i>Pittosporum undulatum</i>	5,7,8,9,10	-	Poor	No
7	Saucer magnolia	<i>Magnolia x soulangeana</i>	6,8,11,14	Crown dieback	Poor	No
8	Blackwood acacia	<i>Acacia melanoxylon</i>	19	Previously topped	Poor	Yes
9	Victorian box	<i>Pittosporum undulatum</i>	8	Recumbent trunk	Poor	No
10	Oregon ash	<i>Fraxinus latifolia</i>	10,12,14	Trunk decay, dieback	Poor	No
11	Scotch elm	<i>Ulmus glabra</i>	5	-	Fair	No
12	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
13	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
14	English walnut	<i>Juglans regia</i>	10,10	Trunk decay, dieback	Poor	No
15	Victorian box	<i>Pittosporum undulatum</i>	7	Recumbent trunk	Poor	No
16	Victorian box	<i>Pittosporum undulatum</i>	9	Recumbent trunk	Poor	No
17	Victorian box	<i>Pittosporum undulatum</i>	3,4,14	-	Poor	No
18	Victorian box	<i>Pittosporum undulatum</i>	4,10	-	Poor	No
19	Plum	<i>Prunus cerasifera</i>	4,6	-	Poor	No



SUTRO ARCHITECTS

BOLINAS RESIDENCE

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 sutroarchitects.com
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 94109

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 BOLINAS, CA 94924
 PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2
 03.27.2026
 PLANNING - R1
 02.02.2026
 PLANNING
 10.27.2025

ARBORIST REPORT


SCALE AS NOTED

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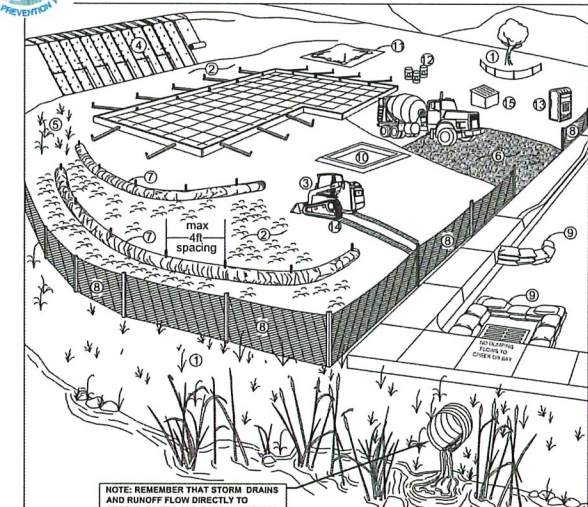
GENERAL STORMWATER CONTROL NOTES:

- SEE CIVIL DRAWINGS FOR SITE SPECIFIC STORMWATER CONTROL MEASURES.



Marin County Stormwater Pollution Prevention Program

Minimum Control Measures For Small Construction Projects



NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

Erosion Controls	Sediment Controls	Good Housekeeping
NS Scheduling	6. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation & Creek Set Backs	7. Fiber Rolls	11. Stockpile Management
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management
3. Soil Preparation/Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Erosion Control Blankets	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
5. Revegetation		15. Litter and Waste Management

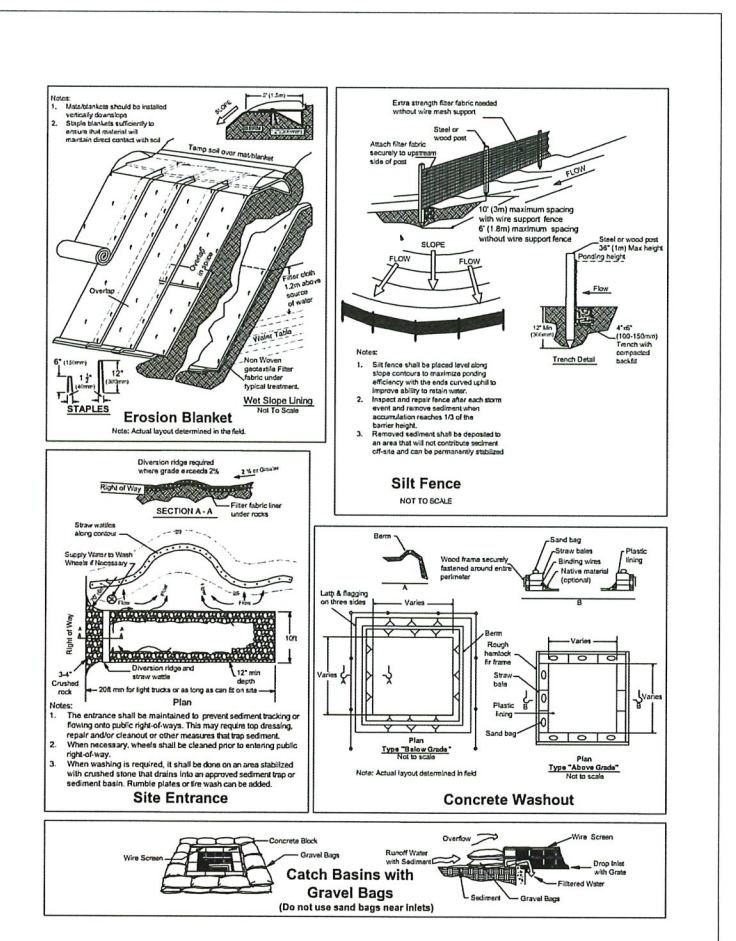
NS-not shown on graphic

Note: Select an effective combination of control measures from each category, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/construct/stormwater/manuals.htm>. Visit www.mcspppp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
415-473-4381 voice/TTY or dlsabilityaccess@co.marin.ca.us

Control Measure	General Description
Erosion Control Best Management Practices	
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-5, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-4, SS-5, SS-6, SS-7, SS-8.
3 Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stak sleeping, etc.). For more info see the following factsheets: CASQA: EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf . For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 1 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient room for turning in and out of the site. Rumble pads or rumble rocks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/npa/Wildlife-Friendly_Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-3 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCSPPPP BMPs for trench dewatering. http://www.marincounty.org/docs/low/divisions/mcsp/development/development/Files/Department/PW/mcsp/development/Trenching/WReqMCSPPPPFinal08_09.pdf . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-4; or Caltrans: WM-4.
11 Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3; or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pantry (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.




BOLINAS RESIDENCE | **SUTRO ARCHITECTS**

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MCSPP MINIMUM CONTROL MEASURES

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MAIN HOUSE



SUNROOM



SMALL HOUSE



SCREENED PORCH

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PROPOSED EXTERIOR RENDERINGS

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METAL & GLASS WINDOW SYSTEM



SOLID WOOD VERTICAL PANELING



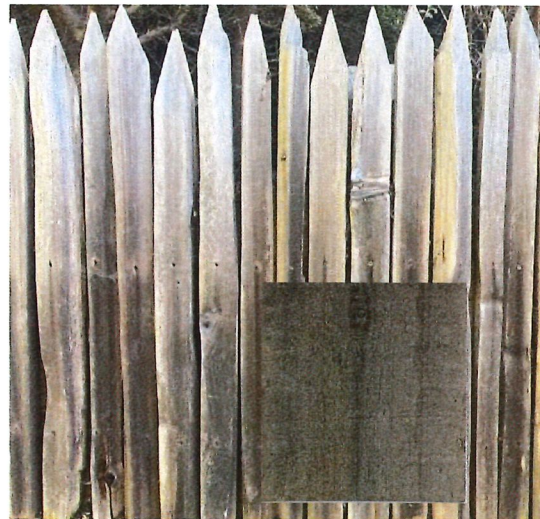
SOLID WOOD BATTENBOARD VERTICAL PANELING



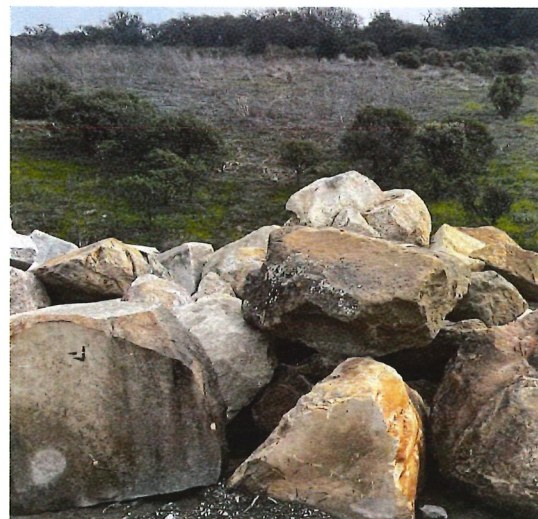
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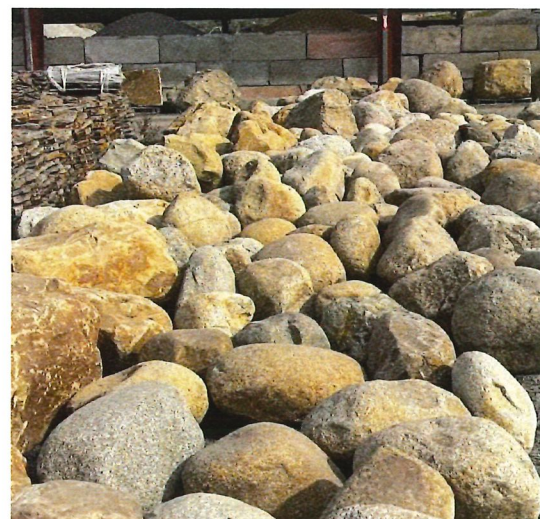
STACKED STONE WALL



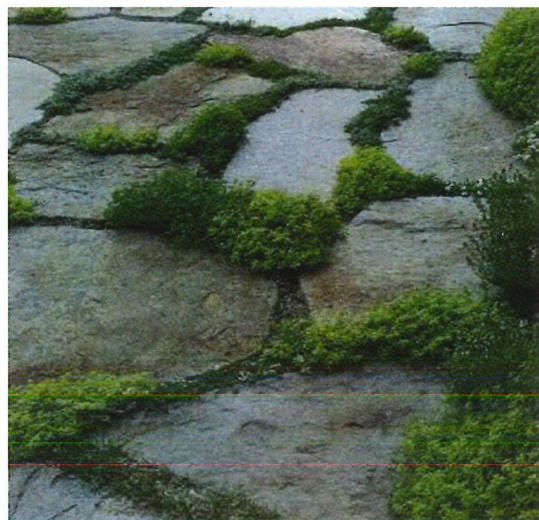
FENCE IN AGED WHITE PINE



LANDSCAPE BOULDERS OPTION 1



LANDSCAPE BOULDERS OPTION 2



NATURAL FLAGSTONE PAVERS WITH GREENERY

SUTRO ARCHITECTS

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PLANNING 10.27.2025

EXTERIOR MATERIAL PALETTE

SCALE AS NOTED

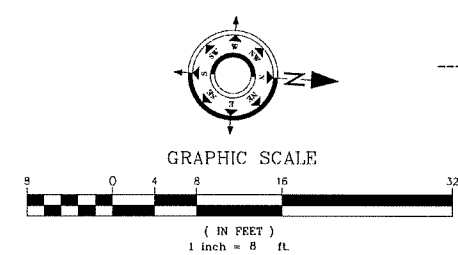
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JOB NUMBER	6534-01		DATE	11/01/2022	
	DRAWN BY	WCC		CHECKED BY	JMS
DRAWING NAME	6534-01.TOPD.dwg		SHEET NO.	1 OF 6	

LEGEND:

- AC ASPHALTIC CONCRETE
- BLDC BUILDING
- CF CONCRETE FOOTING
- CP CAST IRON PIPE
- CCNC CONCRETE
- CRW CONCRETE RETAINING WALL
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOWLINE
- GB GRADE BREAK
- GS GROUNDSHOT
- HS HOSE BIB
- HP HINGE POINT
- JP JOINT POLE
- LDNG LANDING
- PT PROPANE TANK
- RP ROOF PEAK
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CONCRETE RETAINING WALL
- TCRW THRESHOLD
- TOB TOP OF BUILDING
- TRRT TOP OF RAILROAD TIE
- TRRW TOP OF ROCK RETAINING WALL
- TWRW TOP OF WOOD RETAINING WALL
- UNKN UNKNOWN
- VLT VAULT
- WGV WATER GATE VALVE
- WH WATER HEATER
- WRW WOOD RETAINING WALL
- X_{FS} INDICATES FIRE HYDRANT
- X_{S1.4} INDICATES GROUNDSHOT
- O_{12TREE} INDICATES TREE SIZE
- INDICATES BOUNDARY LINE
- INDICATES LOT LINE
- INDICATES MAJOR CONTOUR LINE
- INDICATES MINOR CONTOUR LINE
- X-X-X-X INDICATES WIRE FENCE
- INDICATES WOOD FENCE
- INDICATES ROCK RETAINING WALL
- INDICATES UNDERGROUND SANITARY SEWER LINE
- INDICATES OVERHEAD UTILITY LINES
- INDICATES APPROXIMATE TREE DRIFLINE
- INDICATES CONCRETE
- INDICATES WOOD DECK/LANDING



- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS AUGUST 11, SEPTEMBER 8 AND 23, 2022
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 - CONTOURS SET AT 1 FOOT INTERVALS.
 - THE RECORD LOCATION OF THE BUILDING EASEMENT AGREEMENT (DOC. NO. 2010-00649585) DOES NOT FIT THE RESOLVED BOUNDARY. THE LOCATION OF SAID EASEMENT HAS BEEN MOVED TO SHOW THE INTENT OF SAID EASEMENT. SEE DOCUMENT FOR RESTRICTIONS ON NEW CONSTRUCTION.

BENCHMARK:
 ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:
 THE BEARING, NORTH 3°55'57" WEST, AS CALCULATED BETWEEN A FOUND 1 1/4" IRON PIPE AT THE SOUTHEASTLY CORNER OF LOT 235 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1" IRON PIPE FOUND AT THE SOUTHWESTLY CORNER OF LOT 18 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF BOLINAS HIGHLANDS" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:
 O.D. REPUBLIC TITLE COMPANY
 545 FOURTH ST
 SAN RAFAEL, CA 94901
 (415) 454-8300

PRELIMINARY REPORT:
 ORDER NO.: 035007012-1JC
 DATED: MARCH 19, 2014, AT 7:30 AM

UTILITY NOTE:
 UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

HD SCANNING NOTE:
 TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS
 SCANNER: LEICA P40

TREE NOTE:
 TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:
 BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8752 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

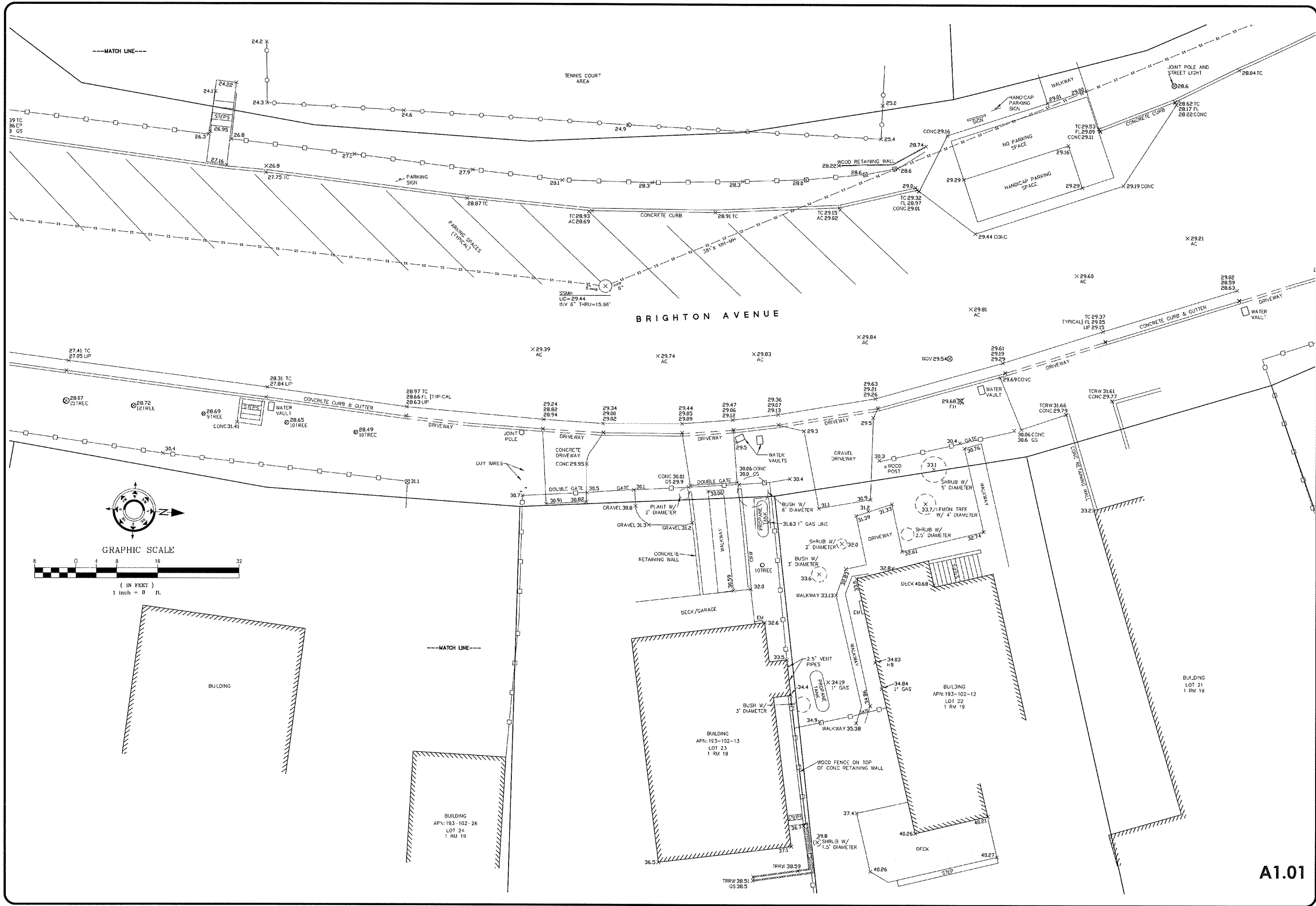
SURVEYOR'S STATEMENT:
 THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Jack R. Smith, S. #7530

 DATE _____



A1.00

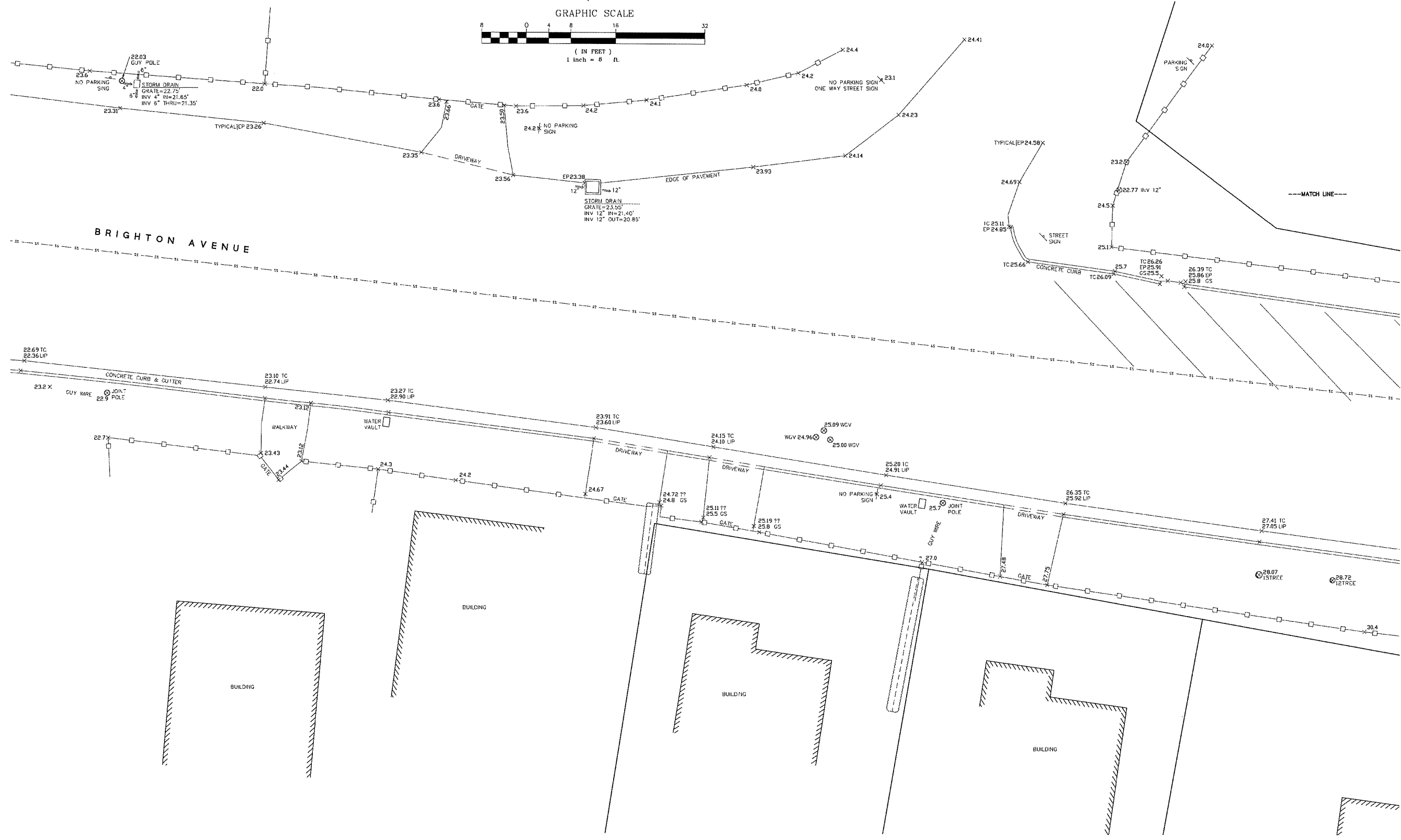
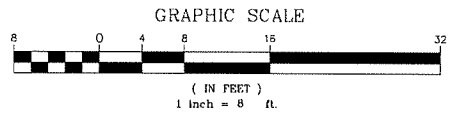
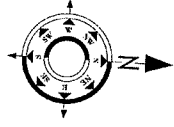


A1.01

MUIR CONSULTING
 139 CHURCH AVENUE
 CAKDALE, CA 95361
 (209) 845-8630
 SURVEY • HDG • GPS • UAV
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BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
	DRAWING NAME
DRAWN BY	WCC
	6534-01 TOPO.DWG
CHECKED BY	JMS
	SHEET NO.
DATE	11/01/2022
2 OF 6	
BOLINAS	



BRIGHTON AVENUE

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139 CHURCH AVENUE
CARDALE, CA 95301
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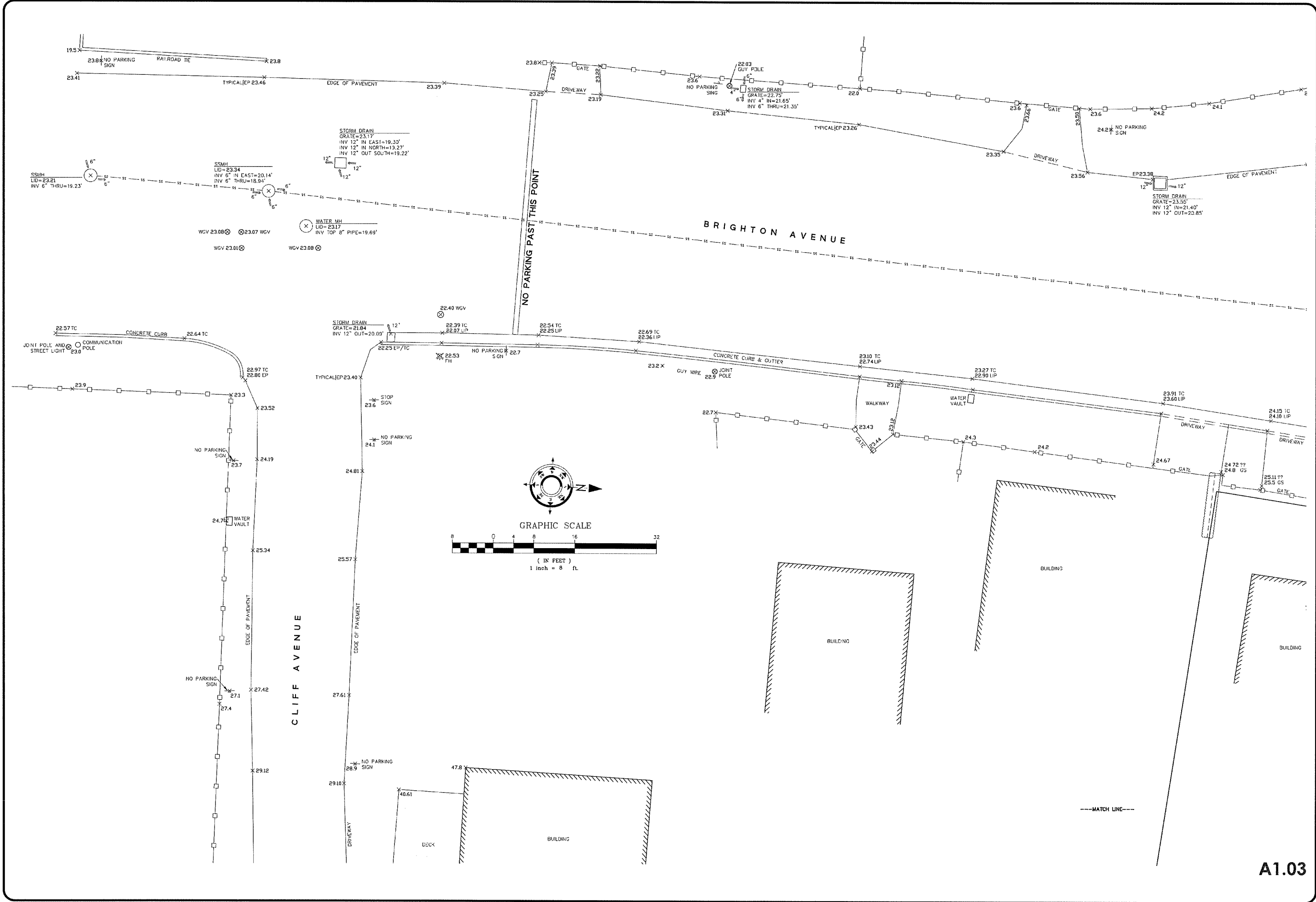


BOUNDARY & TOPOGRAPHIC SURVEY
OF
40 CLIFF ROAD
MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	MCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-01TOPD.dwg
SHEET NO.	3
OF	6

A1.02



A1.03



BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-03.TOPO.dwg
SHEET NO.	4
TOTAL SHEETS	6



A1.04

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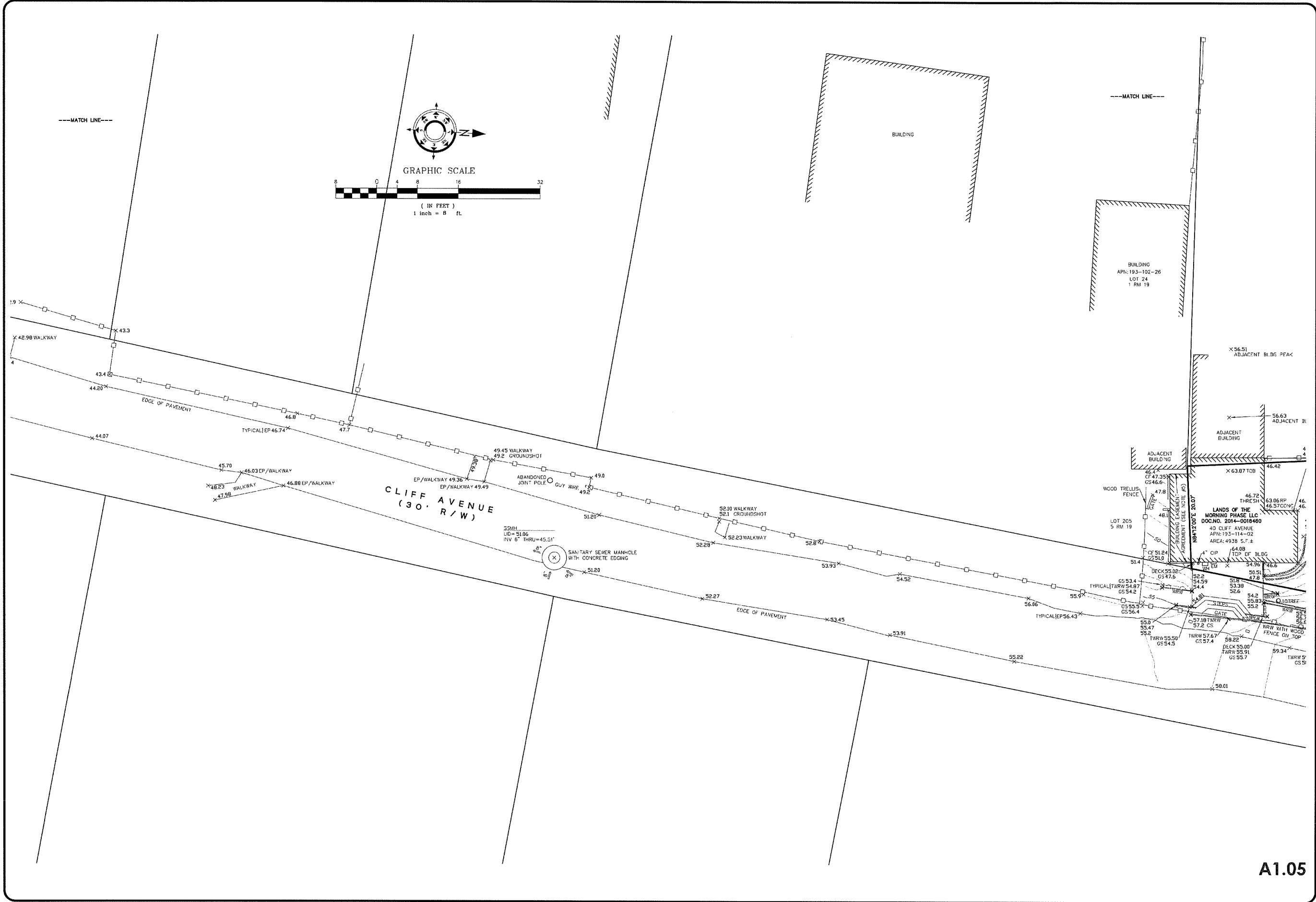
MC

STATE OF CALIFORNIA
 COUNTY OF MARIN
 CIVIL ENGINEER
 No. 10000
 JAMES MUIR

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

BOLINAS **5** of **6**

REVISIONS	JOB NUMBER	DRAWING NAME
	6534-01	6534-01 TOPO.DWG
	DRAWN BY	WCC
	CHECKED BY	JMS
	DATE	11/01/2022



A1.05

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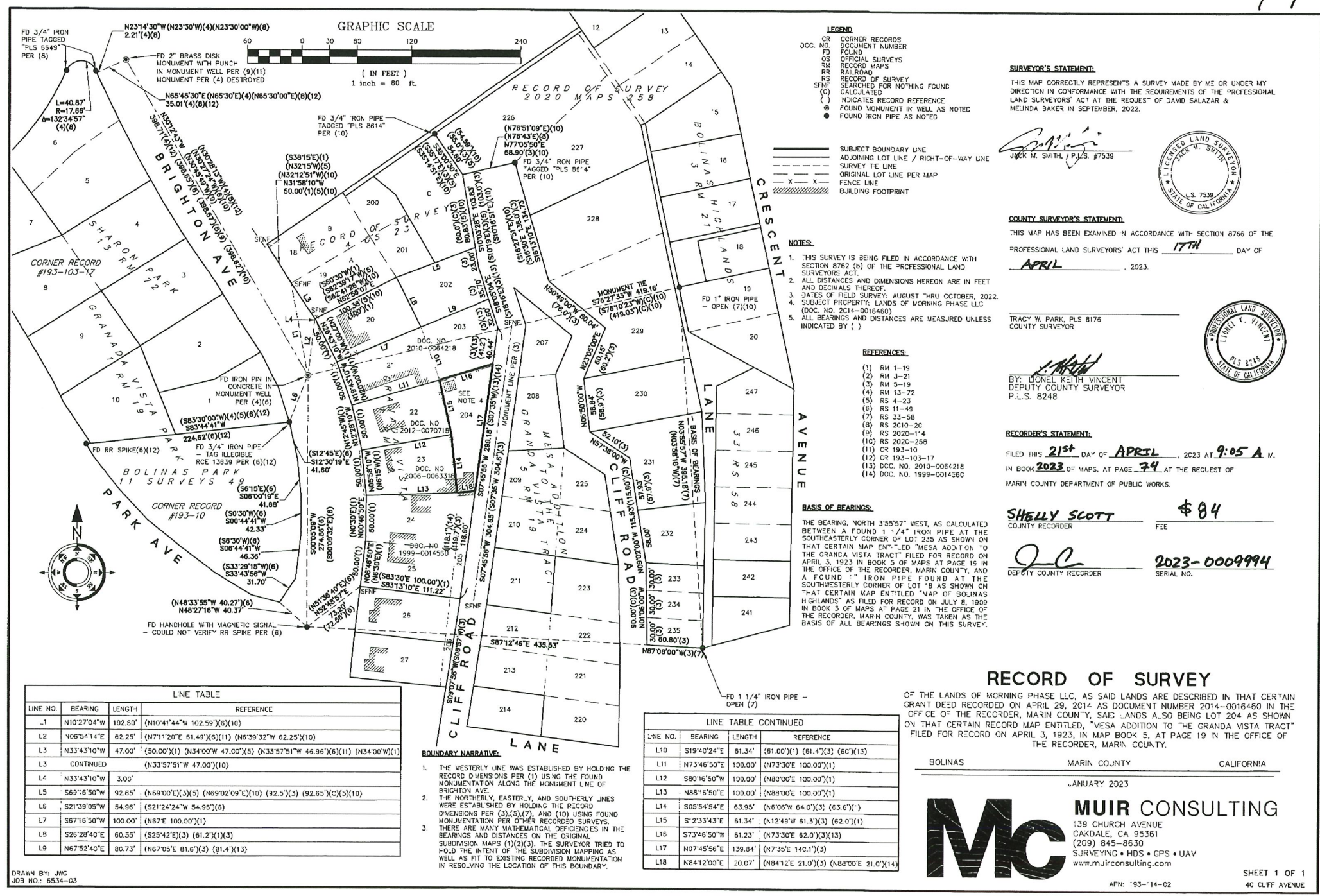


BOUNDARY & TOPOGRAPHIC SURVEY
 OF
 40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

REVISIONS	
DRAWING NAME	B534-01.TPO.DWG
SHEET NO.	6 OF 6

74



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SUTRO ARCHITECTS
 415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco CA 94109

BOLINAS RESIDENCE
 40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-11-402 I PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

RECORD OF SURVEY
 AS NOTED
A1.06

RECORD OF SURVEY

OF THE LANDS OF MORNING PHASE LLC, AS SAID LANDS ARE DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON APRIL 29, 2014 AS DOCUMENT NUMBER 2014-0016460 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, SAID LANDS ALSO BEING LOT 204 AS SHOWN ON THAT CERTAIN RECORD MAP ENTITLED, "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923, IN MAP BOOK 5, AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY.

BOLINAS MARIN COUNTY CALIFORNIA
 JANUARY 2023

McMUIR CONSULTING
 139 CHURCH AVENUE
 CAKDALE, CA 95361
 (209) 845-8630
 SURVEYING • HDS • GPS • UAV
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APN: 193-11-402 SHEET 1 OF 1
 40 CLIFF AVENUE

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RECORDING REQUESTED BY:
JACK SIEDMAN
WHEN RECORDED MAIL TO:
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CAL 94924

2010-0064956
Recorded
Official Records
County of
Marin
JONN C. TRAYER
Assessor-Recorder
REC FEE 45.00
22:05PM 11-Dec-2010 Page 1 of 11

AP Nos. 193-102-26&193-114-02

THIS SPACE FOR RECORDERS USE ONLY

DOCUMENT TITLE

EASEMENT AGREEMENT

THIS PAGE IS ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION

ADDITIONAL RECORDING FEE APPLIES

6. Indemnity.

(a) Grantee shall indemnify and hold Grantor harmless against any and all claims, expenses, and liability due to any of Grantee's actions or actions of Grantee's subcontractors, guests, invitees, and/or agents related to the Easement.

(b) Grantor shall indemnify and hold Grantee harmless against any and all claims, expenses and liability due to any of Grantors' actions and actions of Grantors' subcontractors, guests, invitees, and/or agents related to the Easement.

7. Mediation. If a dispute arises out of or is related to this Easement Agreement, or its breach, the parties agree to try in good faith to settle the dispute by non-binding mediation before resorting to court action. The parties shall each pay one-half the cost of such mediation.

8. Discretion of Parties. Enforcement of the terms of this Easement shall be at the discretion of Grantee and Grantor, and any forbearance by Grantee or Grantor to exercise their rights under this Easement in the event of any breach of any term of this Easement by the other shall not be deemed or construed to be a waiver of such term or of any subsequent breach of the same or any other term of this Easement or of any rights under this Easement. No delay or omission in the exercise of any rights or remedy upon any breach shall impair such right or remedy or be construed as a waiver.

9. Amendment. If circumstances arise under which an amendment to or modification of this Easement would be appropriate, Grantor and Grantee may jointly amend this Easement. Any such amendment shall be recorded in the official records of Marin County, California.

10. Notices. Any notice, demand, request, consent, approval, or communication that either party desires or is required to give to the other shall be in writing and either served personally or sent by first class mail, postage prepaid, addressed as follows:

To Grantor:
Ashley Ratcliffe
P.O. Box 635
Bolinas, CA 94924

To Grantee:
Kevin and Annette Haw

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

John P. McGrath
John P. McGrath
1940 A Rice Valley Blvd
Walnut Creek, California 94595
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CALIF. 94924

EASEMENT AGREEMENT

This Easement Agreement ("Agreement") is made by and between Ashley Ratcliffe (hereinafter referred to as "Grantor") and Kevin and Annette Haw, (hereinafter collectively referred to as "Grantee") and is effective as of the last date of signature.

RECITALS

Grantor is the owner of certain real property ("the servient tenement") in the town of Bolinas, Marin County, California, known as 87 Brighton Ave., APN 193-102-26. Said servient tenement is depicted on Exhibit "A", attached hereto, which is a reproduction of the Town of Bolinas Assessor's Map Bk.193-pg.11, County of Marin, California, and incorporated herein by this reference.

Grantee is the owner of certain real property ("the dominant tenement") in the town of Bolinas, Marin County, California, known as 40 Cliff Road APN 193-114-02 as depicted on the above-described Exhibit "A", attached hereto, incorporated herein by this reference.

The purpose of this Agreement is to grant to Grantee certain easement rights over the property of Grantor, as set forth below.

AGREEMENT

1. Purpose of Agreement. A structure on Grantee's property encroaches upon a portion of Grantor's property, as depicted on the above-described Exhibit "A", attached hereto and incorporated herein by reference. The Encroachment occurred approximately thirty (30) years ago as an add-on to a structure that already existed on the dominant tenement. "The Encroachment" is approximately four (4) feet in the North to South direction and seventeen (17)

435 South Ray Rd.
Portland, TN 37148

or to such other address as either party or its assignee from time to time shall designate by written notice to the other.

If either Grantor or Grantee shall sell their respective properties, thereafter the notices shall be sent to the name and address listed in the Marin County Assessor's most current listings as owner of the sold property.

11. Easement to Run With the Land.

(a) All of the restrictions, covenants, easements, equitable servitudes and affirmative obligations set forth in this Agreement that touch and concern the Property shall run with the land. All other terms, covenants, conditions and provisions of this Agreement shall inure to the benefit and be binding upon the respective heirs, successors and assigns of the parties.

(b) The terms and conditions of this agreement shall not give rise to any personal obligation of: (1) the Grantor for actions or events occurring after the Grantor no longer owns the servient tenement; or (2) the Grantee for actions or events occurring after the Grantee no longer owns the dominant tenement.

12. General Provisions.

(a) Controlling Law. The interpretation and performance of this Easement shall be governed by the laws of the State of California.

(b) Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Easement shall be liberally construed in favor of the grant to effect the purpose of this Easement. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of this Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

(c) Severability. If any provisions of this Easement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Easement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, as the case may be, shall not be affected thereby.

(d) Entire Agreement. This instrument sets forth the entire Agreement of the parties with respect to the Easement and supersedes all prior

feet in the East to West direction and ranges in height from approximately five (5) foot, nine (9) inches at its lowest point to seven (7) foot at its tallest point, and is attached to the structure on the dominant tenement. The Encroachment is part of the kitchen and bathroom areas of the structure on the dominant tenement. The purpose of This Agreement is to grant an easement to Grantee allowing the continuation of The Encroachment and Grantee's continued use of The Encroachment.

2. Grant of Easement. In consideration of the mutual covenants, terms, conditions, and restrictions contained herein, and pursuant to the laws of the State of California, Grantor hereby voluntarily grants and conveys to Grantee, and their successors and assigns, subject to all existing encumbrances and exception to title, an easement appurtenant over the servient tenement of the nature and character and to the extent hereinafter set forth.

Grantor hereby grants to Grantee the following: an exclusive easement for The Encroachment which is entirely on the servient tenement and permanently attached and incorporated into the structure on the dominant tenement. The Encroachment is described above and identified on the above-described Exhibit "A", attached hereto and incorporated herein by reference.

Should either party want a legal description to more particularly describe the location of this easement, the party wanting the legal description shall be free to obtain one and the other party agrees to make an appropriate amendment to this agreement, in recordable form, to include said legal description. This easement shall be appurtenant to the dominant tenement.

3. Declaration of Restrictions. The Grantor hereby declares that the servient tenement shall be held, transferred, sold, conveyed, given, leased, occupied and used subject to all of the restrictions, covenants, easements, equitable servitudes, and affirmative obligations set forth in this Agreement.

4. Limitations of Grantees' Use. The use of the Easement by Grantee, and their successors in interest and assigns, is limited to the uses of the dominant tenement identified above. No other structures shall be constructed in the easement area, nor shall The Encroachment be extended or expanded in any direction, beyond its current envelope, including in height. In addition, if The Encroachment is ever demolished or if the structure on the dominant tenement to which it is affixed is ever replaced with a new structure, such new structure will not encroach into the easement area.

5. Maintenance and Repair. The obligation for maintenance and repair of the existing structure within the Easement shall be solely that of the Grantee.

SUTRO ARCHITECTS

415.996.3445
sutroarchitects.com
1055 Post Street, San Francisco CA
94109

BOLINAS RESIDENCE

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.07

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discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with the "Amendment" paragraph herein.

(e) No Forfeiture. Nothing contained herein will result in a forfeiture or reversion of Grantor's title in any respect.

(f) Attorney Fees. The prevailing party in any lawsuit or arbitration arising out of this agreement shall be entitled to recover reasonable attorney's fees.


(g) Captions. The captions in this instrument have been inserted solely for convenience of reference and are not a part of this instrument and shall have no effect upon construction or interpretation.

DATED: Feb 16, 2010 GRANTOR:

 Ashley Ratcliffe

DATED: 3-8-10, 2010 GRANTEE:

 Kevin Haw

DATED: 3-8-10, 2010 GRANTEE:

 Annette Haw

Tax Role Area 193-11
56-014

POR. RANCHO LAS BAULINES

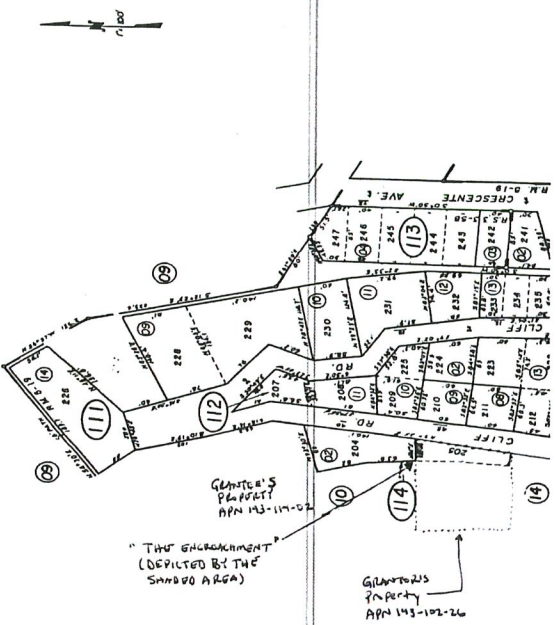


EXHIBIT "A" TO EASEMENT AGREEMENT
 B/W KEVIN + ANNETTE HAW + ASHLEY RATCLIFFE
 PAGE 1 OF 3

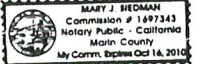
State of California)
 County of Marin) ss.

On February 16, 2010 before me, MARY J. SIEGMAN, Notary Public in and for said State, personally appeared ASHLEY RATCLIFFE who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal. (NOTARY SEAL)


 Signature of Notary Public



Commencing at the Northeastly corner of Lot 24 as shown upon that map entitled, "Plan of Granda Vista", filed for record in Book 1 of Maps, at Page 19, Marin County Records, also being the Northwestly corner of Lot 205 as shown upon that map entitled, "Mesa Addition to the Granda Vista Tract", filed for record in Book 5 of Maps, at Page 19, Marin County Records; thence Easterly along the Northerly line of said Lot 205, N 84deg 12' E, a distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence leaving said Northerly line of Lot 205, S 03deg 50' E, a distance of 2.91 feet; thence N 84deg 00' E, a distance of 17.38 feet; thence N 03deg 50' W, a distance of 3.50 feet to a point on said Northerly line of Lot 205; thence Westerly along said Northerly line of Lot 205, S 84deg 12' W, a distance of 17.38 feet to the TRUE POINT OF BEGINNING.

EX "A" - PAGE 2 OF 3

State of Tennessee)
 County of Robertson) ss.

On March 8, 2010 before me, DEBRA WHITE, Notary Public in and for said State, personally appeared KEVIN HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


 Signature of Notary Public

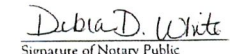


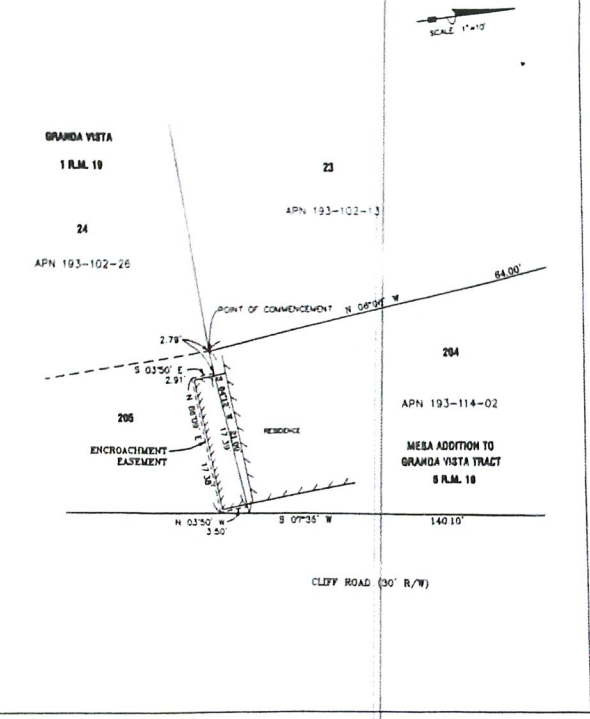
State of Tennessee)
 County of Robertson) ss.

On March 8, 2010 before me, Debra White, Notary Public in and for said State, personally appeared ANNETTE HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.


 Signature of Notary Public



EX "A" - PAGE 3 OF 3

SUTRO ARCHITECTS

BOLINAS RESIDENCE

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 sutroarchitects.com
 1055 Post Street, San Francisco CA
 94109

40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-11-4-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.08

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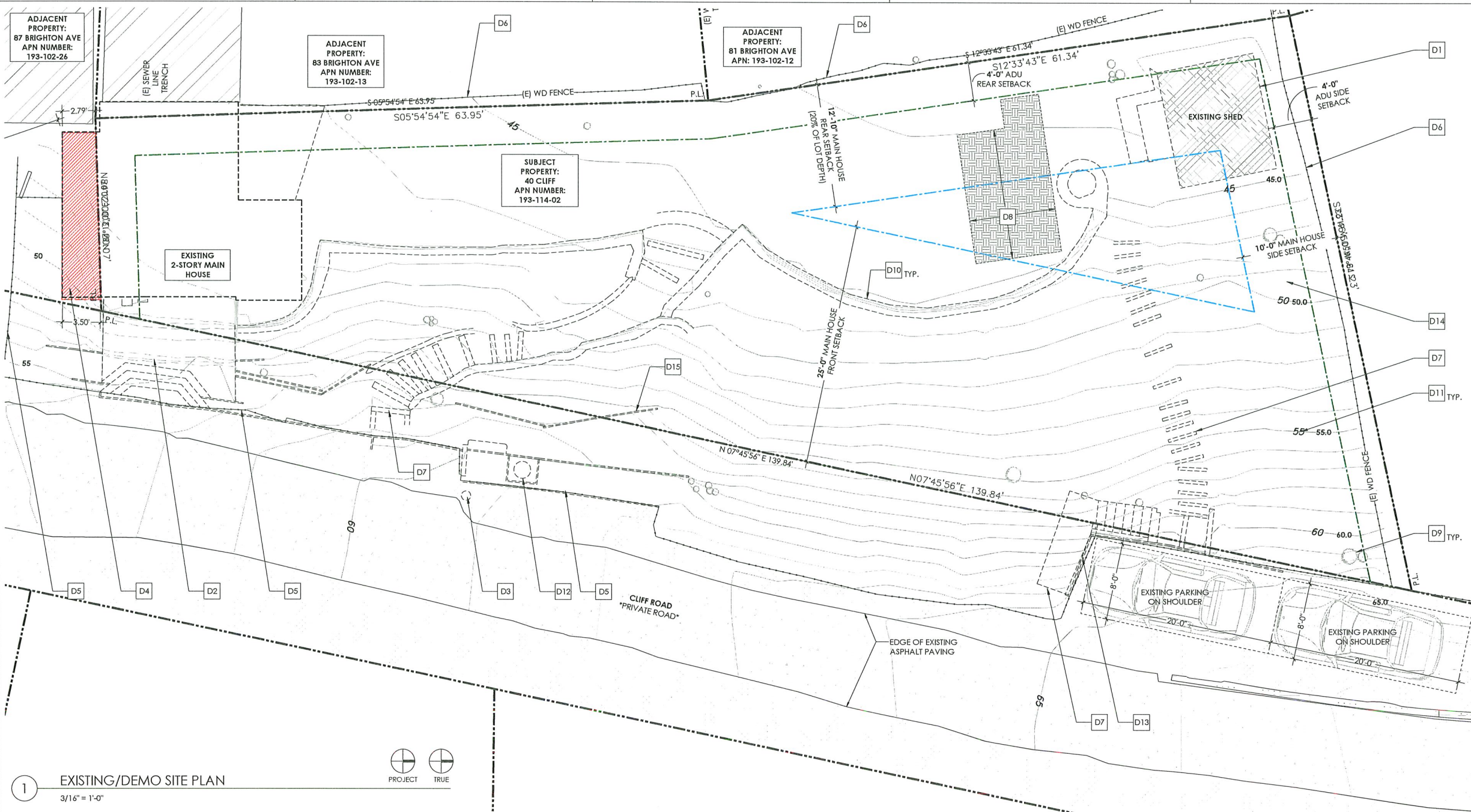
- GENERAL SITE PLAN NOTES:**
- VERIFY ALL EXISTING DIMENSIONS/CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR OR COMMENCING WORK. **DO NOT SCALE DRAWINGS** FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
 - CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH BEST COMMON PRACTICES AND/OR MFR'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
 - ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
 - SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND AHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS & AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SEE LANDSCAPE DRAWINGS.
- ALL EXISTING UTILITIES TO REMAIN U.O.N. GC TO CONFIRM ALL UTILITY LOCATIONS & CAPACITIES.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINES. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

- DEMO KEYNOTES:**
- D1 (E) SHED STRUCTURE TO BE DEMOLISHED
 - D2 (E) NON-CONFORMING DECK TO BE REPAIRED AND MAINTAINED IN KIND
 - D3 (E) END POLE TO BE REMOVED AND RELOCATED; SEE PG&E APPLICATION #124729161
 - D4 (E) ENCROACHMENT EASEMENT WITH 87 BRIGHTON AVE
 - D5 (E) NON-CONFORMING WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND
 - D6 (E) WOOD FENCE TO BE REMOVED
 - D7 (E) WOOD STAIRS TO BE REMOVED
 - D8 EXTENTS OF (N) ADU CRAWLSPACE TBD
 - D9 (E) TREES TO BE REMOVED U.O.N; SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL PLAN

- DEMO KEYNOTES CONT.**
- D10 (E) SITE RETAINING WALLS TO BE REMOVED. (E) SOIL TO BE HELD BACK TEMPORARILY FOR (N) SITE RETAINING WALLS. SEE PROPOSED SITE PLAN FOR (N) RETAINING WALL LOCATIONS.
 - D11 SEE CIVIL DRAWINGS FOR PROPOSED SITE GRADING AND DRAINAGE PLANS
 - D12 (E) PROPANE TANK TO BE REMOVED
 - D13 (E) NON-CONFORMING WOOD RETAINING WALL TO BE REPAIRED AND MAINTAINED IN KIND.
 - D14 (E) SOIL TO BE EXCAVATED FOR (N) BASEMENT
 - D15 (E) WD RETAINING WALL TO BE REMOVED

- EXISTING & DEMO SITE PLAN LEGEND:**
- PROPERTY LINE
 - ▭ SUBJECT PROPERTY
 - MAIN HOUSE SETBACK
 - ADU SETBACK
 - ▨ ADJACENT NEIGHBOR'S BLDG
 - ▨ AREA OF DEMOLITION
 - EXISTING ELEMENTS TO BE REMOVED
 - ▨ (E) ENCROACHMENT EASEMENT
 - ▨ (E) FENCE TO BE REPAIRED & MAINTAINED
 - ▨ (E) SOIL TO BE REMOVED FOR (N) ADU CRAWLSPACE



BOLINAS RESIDENCE

SUTRO ARCHITECTS

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94109

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045

LICENSED ARCHITECT
STEPHEN GIJNO
C-4702
02.28.2027
RENEWAL DATE
STATE OF CALIFORNIA

PLANNING - R2
03.27.2026

PLANNING - R1
02.02.2026

PLANNING
10.27.2025

EXISTING / DEMO
SITE PLAN

3/16" = 1'-0"

A1.10

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 - CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE

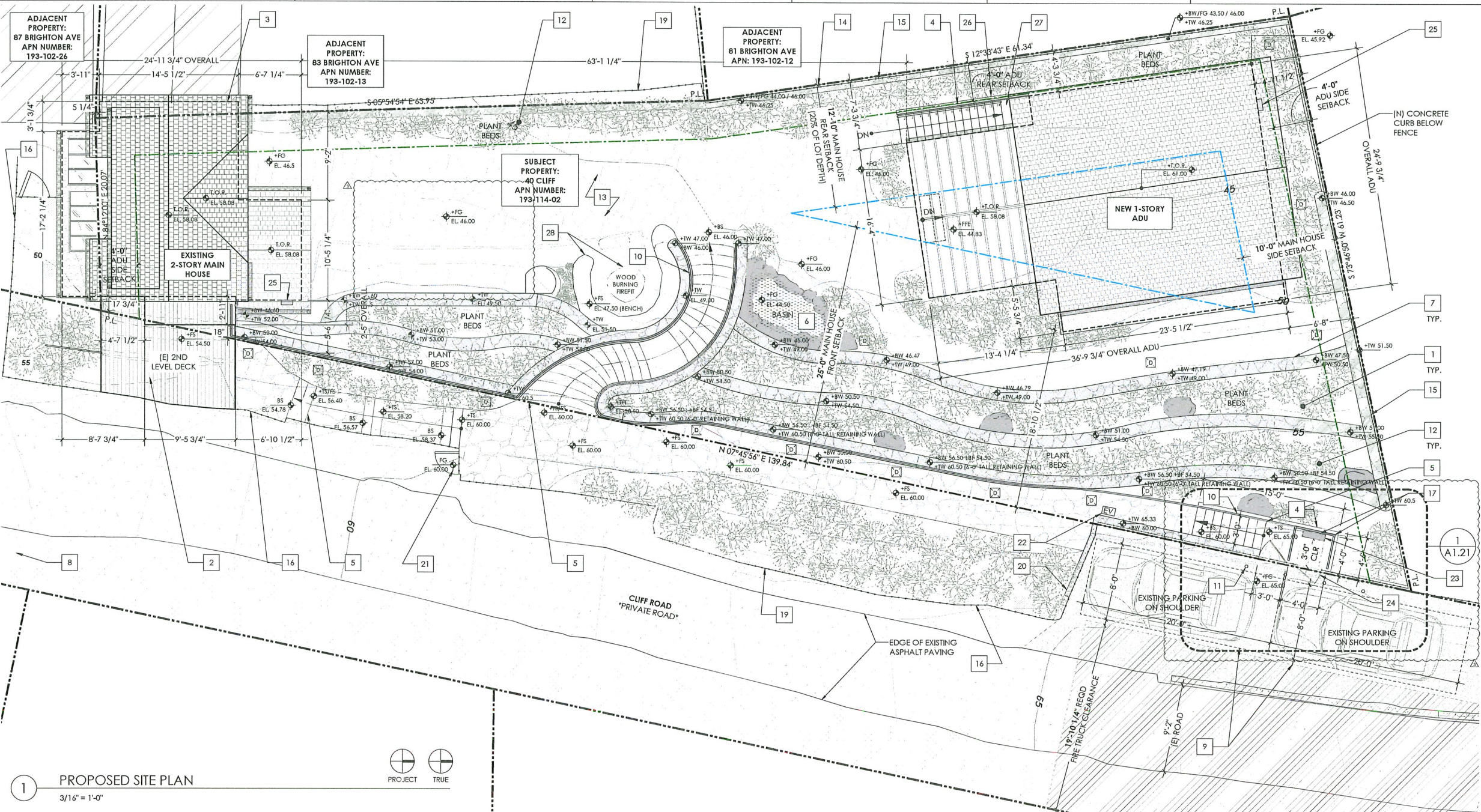
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- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.
- PLEASE REFER TO A0.00 GENERAL NOTES FOR ALL PROJECT INFORMATION AND DATA

- KEYNOTES:**
- (N) SITE GRADING AND DRAINAGE; S.C.D., TYP.
 - (E) WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND - ALL REPAIRS TO BE MINOR AND INCIDENTAL UP TO 50%
 - (E) MAIN HOUSE TO BE REPAIRED AND MAINTAINED IN KIND
 - (N) 42" GUARDRAIL
 - (N) STONE LANDING, TREADS AND RISERS; S.L.A.D.
 - (N) WATER FEATURE; NOT TO EXCEED 18" DEEP
 - (N) RETAINING WALLS NOT TO EXCEED 6'-0" FROM T.O.W TO B.O.F
 - SEE PG&E APPLICATION #124729161 FOR NEW POLE
 - (E) PARKING ON SHOULDER TO REMAIN
 - (N) 36" HANDRAIL

- KEYNOTES CONT.**
- NEW BOLLARDS PER PG&E
 - (N) PLANT BEDS; SEE S.L.A.D.
 - (N) STONE PAVERS; S.L.A.D.
 - (N) CONC LAGGING RETAINING WALL ALONG WEST PROPERTY LINE
 - (N) WOOD FENCE ALONG WEST / NORTH PROPERTY LINE (E) WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND; NOT TO EXCEED 6'-0" TALL
 - (N) PLATFORM & CONCRETE RETAINING WALLS & PG&E METER
 - NOT USED
 - REPAIR & MAINTAIN (E) SECTION OF NON CONFORMING FENCE; NOT TO EXCEED 6'-0" TALL
 - REPAIR AND MAINTAIN EXISTING RETAINING WALL

- KEYNOTES CONT.**
- REPLACE (E) ENTRY GATE IN KIND
 - EV CHARGING STATION PER CAL GREEN 4.106.4
 - (N) ELEC SWITCHBOARD/METER INSTALLED PER PG&E
 - (N) 36"W KEYED GATE FOR PG&E ACCESS
 - (N) WALL MTD ELEC CIRCUIT BREAKER PANEL
 - (N) CURB
 - SUMP PUMP @ B.O. STAIR; SEE CIVIL DRAWINGS
 - SITE FEATURE NOT TO EXCEED 18" ABV. GRADE.

- PROPOSED SITE PLAN LEGEND:**
- PROPERTY LINE
 - LINE OF SUBJECT BUILDING WALL
 - MAIN HOUSE SETBACK
 - ADU SETBACK
 - ADJACENT NEIGHBOR'S BLDG
 - STONE PAVERS
 - ROOF SHINGLES
 - PLANTING BED; SEE LANDSCAPE DWGS
 - FENCE
 - AREA DRAIN; SEE CIVIL DWGS
 - GRAVEL DRIVE
 - ASPHALT / CONCRETE



BOLINAS RESIDENCE

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com

1055 Post Street, San Francisco CA 94109

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045

193-114-02

02.18.2027

RENEWAL DATE

STATE OF CALIFORNIA

PLANNING - R2 03.27.2025

PLANNING - R1 02.02.2025

PLANNING 10.27.2025

PROPOSED SITE PLAN

3/16" = 1'-0"

A1.20

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GENERAL SITE PLAN NOTES:

1. VERIFY ALL EXISTING DIMENSIONS/CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR OR COMMENCING WORK. **DO NOT SCALE DRAWINGS** FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION. IN ACCORDANCE WITH BEST COMMON PRACTICES AND/OR MFR'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND AHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE

SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.

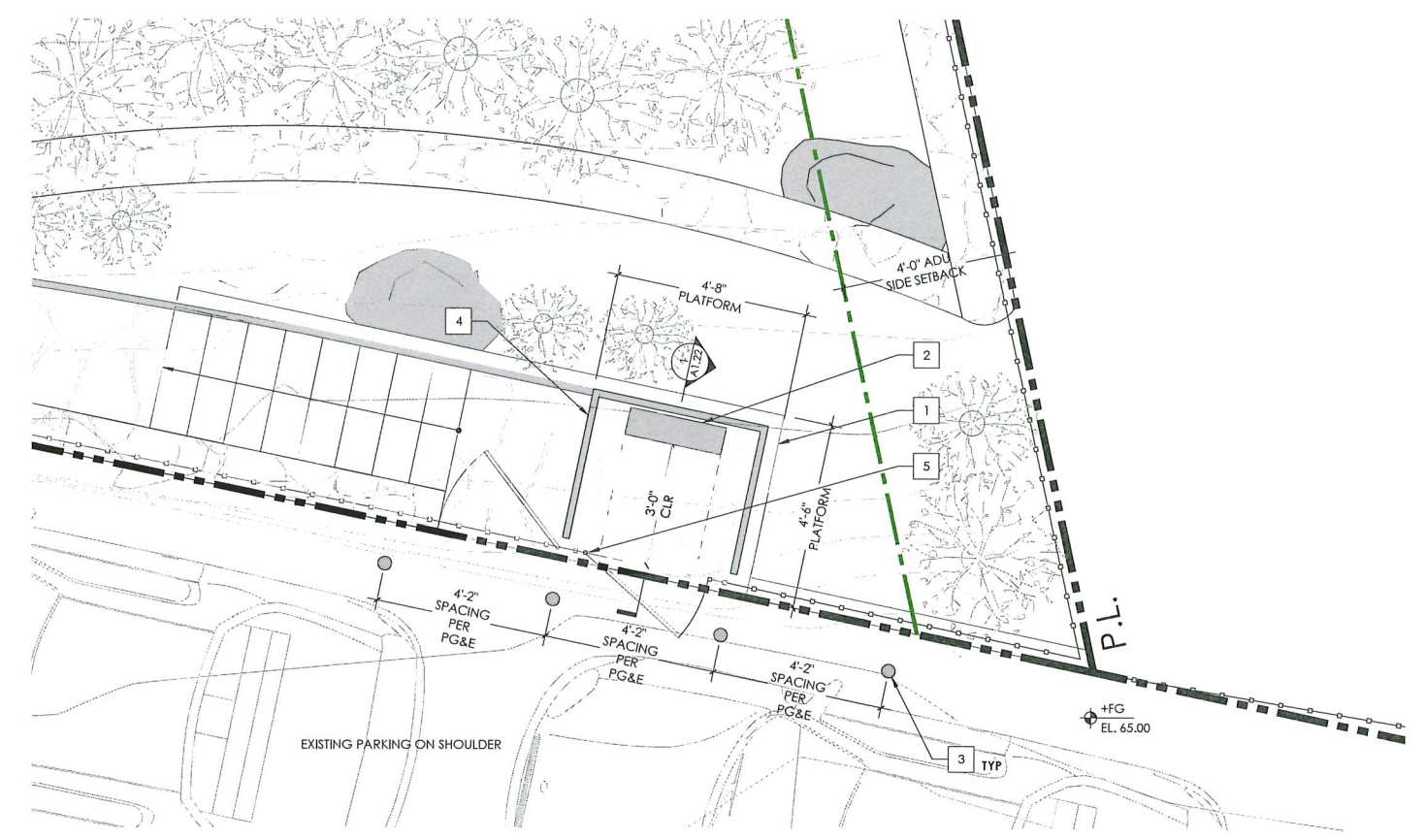
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS & AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SEE LANDSCAPE DRAWINGS.
8. ALL EXISTING UTILITIES TO REMAIN U.O.N. GC TO CONFIRM ALL UTILITY LOCATIONS & CAPACITIES.
9. DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINES. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
10. ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.
11. PLEASE REFER TO A0.00 GENERAL NOTES FOR ALL PROJECT INFORMATION AND DATA

KEYNOTES:

- 1 (N) PLATFORM & CONCRETE RETAINING WALLS
- 2 (N) PG&E METER
- 3 (N) BOLLARDS PER PG&E
- 4 (N) 42"H GUARDRAIL
- 5 (N) WOOD GATE TO MATCH (E) FENCE

PROPOSED SITE PLAN LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- ADJACENT NEIGHBOR'S BLDG
- STONE PAVERS
- ROOF SHINGLES
- PLANTING BED: SEE LANDSCAPE DWGS
- FENCE
- AREA DRAIN: SEE CIVIL DWGS
- GRAVEL DRIVE
- ASPHALT / CONCRETE



1 ENLARGED PLAN @ PG&E PLATFORM
1/2" = 1'-0"

PROJECT TRUE

BOLINAS RESIDENCE

SUTRO ARCHITECTS

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sutroarchitects.com
1055 Post Street, San Francisco CA
94109

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-11-4-02 | PROJECT NO. 2020.045

PLANNING - R2 03.27.2026 ▲

PLANNING - R1 02.02.2026 ▲

PLANNING 10.27.2025 ▲

ENLARGED PLAN:
PG&E PLATFORM

1/2" = 1'-0"

A1.21



BOLINAS RESIDENCE

40 CLIFF ROAD, BOLINAS, CA 94924

PLANNING SUBMITTAL

SUTRO ARCHITECTS

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1055 Post Street, San Francisco CA 94109
PARCEL 193-11402-1 PROJECT NO. 2020.045

PROJECT DIRECTORY:

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CIVIL ENGINEER:	TARNOFF ENGINEERING CORPORATION 1442A WALNUT ST, #429 BERKELEY, CA 94709	CONTACT:	MICHAEL TARNOFF 415.279.5996 michael@tarnoffengineering.com
LANDSCAPE:	GREEN 17 P.O. BOX 2696 SAUSALITO, CA 94966	CONTACT:	DJ JOHNS 415.332.9033 dj@green17design.com
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MECHANICAL ENGINEER:	CB ENGINEERS 449 10TH STREET SAN FRANCISCO, CA 94103	CONTACT:	PAUL O'NEILL 415.451.5030 paul.oneill@cbengineers.com
AV CONSULTANT:	METRO 18 3450 3RD ST, UNIT #4C SAN FRANCISCO, CA 94124	CONTACT:	JAY BAKALER 415.252.7720 jay.bakaler@metro18green.com
HISTORICAL CONSULTANT:	LEFT COAST ARCHITECTURAL HISTORY P.O. BOX 70415 RICHMOND, CA 94807	CONTACT:	CAITLIN HIBMA 415.745.1906 caitlin@leftcoastarchitecturalhistory.com
PERMIT EXPEDITER:	GBASF 3130 20TH ST #190 SAN FRANCISCO, CA 94110	CONTACT:	GARY BELL 415.902.5400 gary@gbasf.com

PROJECT DATA:

SITE DATA

PROJECT NAME: BOLINAS RESIDENCE

PROJECT TYPE: RESIDENTIAL REMODEL

PROJECT ADDRESS: 40 CLIFF ROAD, BOLINAS, CA, 94924

DESCRIPTION OF WORK: INTERIOR REMODEL WITHIN EXISTING BUILDING. INCLUDES LIMITED STRUCTURAL WORK. NEW DETACHED ACCESSORY DWELLING UNIT. SITE WORK WITH NEW RETAINING WALLS.

BUILDING DATA

BUILDING CODES: 2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ENERGY CODE
NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101)
CALIFORNIA ENERGY COMMISSION TITLE 24
MARIN COUNTY MUNICIPAL CODE

TYPE OF CONSTRUCTION: TYPE VB

SPRINKLER PROTECTION: EXISTING NON-SPRINKLERED, PROPOSED NON-SPRINKLERED

OCCUPANCY TYPE / USE: R-3 / SINGLE FAMILY RESIDENCE

ASSESSOR'S BLOCK/LOT: PARCEL 193-114-02

ZONING DISTRICT: C-RA-82; RESIDENTIAL AGRICULTURE

COUNTY-WIDE PLAN DESIGN: C-SF5; LOW DENSITY RESIDENTIAL COASTAL ZONE

MAIN RESIDENCE

NO. OCCUPIED FLOORS: 2 EXISTING, 2 PROPOSED

NO. OF STORIES: 2 EXISTING, 2 PROPOSED

NO. OF BASEMENTS: 0 EXISTING, 0 PROPOSED

NO. OF BEDROOMS/BATHS: 1/1 EXISTING, 1/1 PROPOSED

GROSS FLOOR AREA: 686 SF EXISTING, 686 SF PROPOSED

AREA COUNTED IN F.A.R.: 600 SF EXISTING, 600 SF PROPOSED

ACCESSORY DWELLING UNIT

NO. OCCUPIED FLOORS: 0 EXISTING, 1 PROPOSED

NO. OF STORIES: 0 EXISTING, 1 PROPOSED

NO. OF BASEMENTS: 0 EXISTING, 0 PROPOSED

NO. OF BEDROOMS/BATH: 0/0 EXISTING, 2/1.5 PROPOSED

GROSS FLOOR AREA: 0 SF EXISTING, 1443 SF PROPOSED

AREA COUNTED IN F.A.R.: 0 SF EXISTING, 800 SF PROPOSED

PROJECT INFORMATION:

1	LOT AREA (SF)		4,938
	EXISTING	PROPOSED	
2	BUILDING AREA (SF)		812
	EXISTING (HABITABLE + NON-HABITABLE)	PROPOSED (HABITABLE + NON-HABITABLE)	
3	FLOOR AREA (SF)		600
	EXISTING	PROPOSED	
4	FLOOR AREA RATIO		12%
	EXISTING	PROPOSED	
5	PROPOSED AREA OF ADDITIONAL DISTURBANCE		6,493 SF
	EXISTING	PROPOSED	
6A	EXISTING LOT COVERAGE		743 SF
	IMPERVIOUS COVERAGE	PERVIOUS COVERAGE	
6B	PROPOSED LOT COVERAGE		1,861 SF
	IMPERVIOUS COVERAGE	PERVIOUS COVERAGE	
7	GRADING CALCULATIONS		384 CY
	CUT	FILL	
	OFF-HAUL		
	369 CY		
8	PARKING		2
	EXISTING	PROPOSED	
9	MIN. SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA		
		MAIN HOUSE	ADU
	FRONT	25'-0"	N/A
	REAR	12'-10"	4'-0"
10	MAX. HEIGHT OF PROPOSED BUILDING AREA		25'
	MAIN HOUSE (17'-3" EXISTING, 17'-3" PROPOSED)	ADU (15'-0" PROPOSED)	

SHEET INDEX:

DATE	DESCRIPTION	NO. OF SHEETS
03.27.2024 - PLANNING R2	ARCHITECTURAL DRAWINGS	36 TOTAL
02.02.2024 - PLANNING R1		
10.27.2023 - PLANNING		
	A0.00 COVER SHEET / PROJECT INFO	
	A0.01 GENERAL NOTES / PLOT PLAN	
	A0.02 SITE PHOTOS	
	A0.03 ARBORIST REPORT	
	A0.04 MCSPF MINIMUM CONTROL MEASURES	
	A0.12 PROPOSED EXTERIOR RENDERINGS	
	A0.13 EXTERIOR MATERIAL PALETTE	
	A1.00 BOUNDARY & TOPOGRAPHIC SURVEY (1 OF 6)	
	A1.01 BOUNDARY & TOPOGRAPHIC SURVEY (2 OF 6)	
	A1.02 BOUNDARY & TOPOGRAPHIC SURVEY (3 OF 6)	
	A1.03 BOUNDARY & TOPOGRAPHIC SURVEY (4 OF 6)	
	A1.04 BOUNDARY & TOPOGRAPHIC SURVEY (5 OF 6)	
	A1.05 BOUNDARY & TOPOGRAPHIC SURVEY (6 OF 6)	
	A1.06 RECORD OF SURVEY	
	A1.07 EXISTING EASEMENT	
	A1.08 EXISTING EASEMENT	
	A1.10 EXISTING/DEMO & PROPOSED SITE PLAN	
	A1.20 PROPOSED SITE PLAN	
	A1.21 ENLARGED PLAN: PG&E PLATFORM	
	A1.22 PROPOSED SITE SECTIONS: PG&E PLATFORM	
	A1.30 CONSTRUCTION MANAGEMENT PLAN	
	A1.31 EXISTING AND PROPOSED IMPERVIOUS COVER PLAN	
	A2.01 EXISTING/DEMO PLAN & PROPOSED PLAN: FIRST LEVEL MAIN HOUSE	
	A2.02 EXISTING/DEMO PLAN & PROPOSED PLAN: SECOND LEVEL MAIN HOUSE	
	A2.03 EXISTING/DEMO PLAN & PROPOSED PLAN: ROOF PLAN MAIN HOUSE	
	A2.04 PROPOSED PLAN: CRAWLSPACE ADU	
	A2.05 PROPOSED PLAN: FIRST LEVEL ADU	
	A2.06 PROPOSED PLAN: ATTIC LEVEL ADU	
	A2.07 PROPOSED PLAN: ADU ROOF	
	A5.00 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: NORTH	
	A5.01 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: EAST	
	A5.02 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: SOUTH	
	A5.03 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: WEST	
	A5.04 PROPOSED ADU ELEVATIONS: NORTH & EAST	
	A5.05 PROPOSED ADU ELEVATIONS: SOUTH & WEST	
	A6.00 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	
	A6.01 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	
	A6.02 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: ADU	

AREA CALCULATIONS:

AREA CALCULATIONS (IN SQUARE FEET)	EXISTING	PROPOSED	NET CHANGE
1ST FLOOR (MAIN HOUSE)			
HABITABLE	457	457	+0
NON HABITABLE	0	0	+0
2ND FLOOR (MAIN HOUSE)			
HABITABLE	143	143	+0
NON HABITABLE	86	86	+0
CRAWLSPACE (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	104	+104
FIRST LEVEL (ADU)			
HABITABLE	0	800	+800
NON HABITABLE	0	0	+0
ATTIC (ADU)			
HABITABLE	0	0	+0
NON HABITABLE	0	226	+226
TOTAL HABITABLE	600	1400	+800
TOTAL NON HABITABLE	86	416	+330
TOTAL HABITABLE + NON HABITABLE	686	1816	+1130
F.A.R. SUMMARY			
TOTAL FLOOR AREA COUNTED IN F.A.R.	600	1400	+800
TOTAL LOT SIZE	4938	4938	+0
F.A.R. (MAX ALLOWED = 30%)	12%	28%	16%

NOTE: SEE ADDITIONAL FLOOR AREA CALCS & DIAGRAMS ON A2.01 AND A2.04.

SHEET INDEX (CONT):

DATE	DESCRIPTION	NO. OF SHEETS
03.27.2024 - PLANNING R2	CIVIL DRAWINGS	5 TOTAL
02.02.2024 - PLANNING R1		
10.27.2023 - PLANNING		
	C1 TITLE SHEET, NOTES & LEGEND	
	C2 GRADING & DRAINAGE PLAN	
	C2.1 SITE SECTION	
	C3 EROSION CONTROL & STORMWATER PLAN	
	C4 OFFSITE UTILITY PLAN	
	LANDSCAPE DRAWINGS (# SHEETS: 7 TOTAL)	
	L0.1 TREE PROTECTION & REMOVAL PLAN	
	L1.0 LAYOUT PLAN & NOTES	
	L3.0 PLANTING PLAN & SCHEDULE	
	L3.1 PLANTING DETAIL & NOTES	
	L4.0 IRRIGATION PLAN	
	L5.0 LIGHTING PLAN	
	L6.0 DETAILS	

SYMBOL LEGEND:

KEY NOTE	99	PLAN DETAIL	XX A.X.X
ROOM TAG	STUDIO 100 100 SF	ELEVATION	XX A.X.X
WALL TYPE	99	SECTION	XX A.X.X
DOOR TAG	999	INTERIOR ELEVATION	1 4 A.X.X 2 3
WINDOW TAG	99	REGION	XX A.X.X
CEILING HEIGHT	X-XX'	REVISION	
SPOT ELEVATION		FINISH TAG	XX 01
ELEVATION DATUM	FINISHED CEILING X-XX"	BREAKLINE	
COLUMN GRIDLINE	XX	NORTH ARROW	
DRAWING TITLE	1 TITLE 1/4" = 1'-0"	PROJECT TRUE	



PLANNING - R2
03.27.2024
PLANNING - R1
02.02.2024
PLANNING
10.27.2023

COVER SHEET

NO SCALE

A0.00

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BOLINAS RESIDENCE

40 CLIFF RD

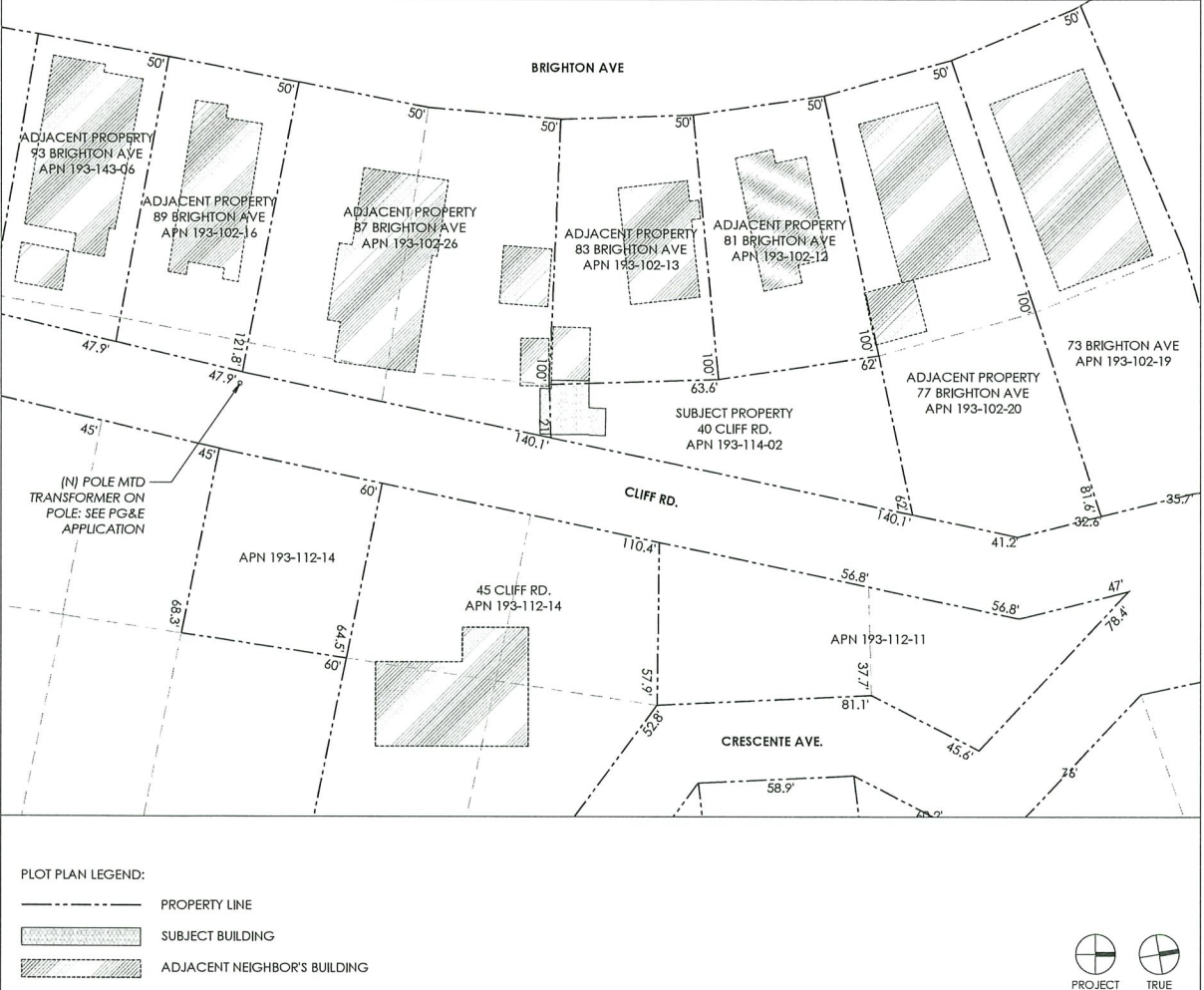
ABBREVIATIONS:

ADJ.	ADJUSTABLE	MTD.	MOUNTED
A.F.F.	ABOVE FINISH FLOOR	MUL.	MULLION
AGGR.	AGGREGATE	(N)	NEW
ALT.	ALTERNATE	N.	NORTH
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	NO. OR #	NUMBER
ARCH.	ARCHITECTURAL	NOM.	NOMINAL
BD.	BOARD	N.T.S.	NOT TO SCALE
BITUM.	BITUMINOUS	O.C.	OWNER
BLDG.	BUILDING	OPNG.	OPENING
BLK.	BLOCK	OPP.	OPPOSITE
BLKG.	BLOCKING	PG & E	PACIFIC GAS & ELECTRIC COMPANY
BM.	BEAM	FOURED IN PLACE	FOURED IN PLACE
B.O.	BOTTOM OF CENTERLINE	PL.	PLATE
CL.	CASE	PLAST.	PLASTER
CAB.	CABINET	PLUMB.	PLUMBING
CEM.	CEMENT	PLYWD.	PLYWOOD
CHIN.	CHIMNEY	PNT.	PAINT
CLG.	CEILING	PR.	PAIR
CLR.	CLEAR	P.S.I	PER SQUARE INCH
C.M.U.	CONCRETE MASONRY UNIT	PT.	POINT
COL.	COLUMN	P.T.	PRESSURE TREATED
CONC.	CONCRETE	PTD.	PAINTED
CONSTR.	CONSTRUCTION	Q.T.	QUARRY TILE
CONT.	CONTINUOUS	R.	RISER
CTR.	CENTER	R.A.	RETURN AIR
C.W.	COLD WATER	R.C.P.	REFLECTED CEILING PLANK
D.	DRYER	R.D.	ROOF DRAIN
DBL.	DOUBLE	REC.	RECESSED
DET.	DETAIL	REF.	REFERENCE
DIA.	DIAMETER	REFL.	REFLECTED
DM.	DIMENSION	REFR.	REFRIGERATOR
DN.	DOWN	REG.	REGISTER
DR.	DRY STANDPIPE	REIN.	REINFORCED
D.S.P.	DISHWASHER	REQ'D.	REQUIRED
D.W.	DRAWING	RET.	RETAINING
DWG.	DRAWER	REV.	REVISION, REVERSED, REVERSED
DWR.	DRAWER	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	R.W.L.	RAIN WATER LEADER
EA.	EACH	S.	SOUTH
ELEV.	ELEVATION	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEC.	ELECTRICAL	S.C.	SOLID CORE
ENCL.	ENCLOSURE	S.C.E.D.	SEE CIVIL ENGINEERING DRAWINGS
E.O.	EDGE OF	SCHED.	SCHEDULE
EQ.	EQUAL	SECT.	SECTION
EQUIP.	EQUIPMENT	SEP.	SEPARATION
EXIST.	EXISTING	SERV.	SERVICE
EXP.	EXPANSION	SH.	SHIELD
EXT.	EXTERIOR	S.H.	SPRINKLER HEAD
F.A.	FIRE ALARM	SHR.	SHOWER
F.A.U.	FORCED AIR UNIT	SHT.	SHEET
F.D.	FLOOR DRAIN	SHTG.	SHEATHING
FN.	FINISH	SM.	SIMILAR
FKT.	FIXTURE	SL.	SLIDING
FL.	FLOOR	S.L.D.	SEE LANDSCAPE DRAWINGS
FLASH.	FLASHING	S.M.D.	SEE MECHANICAL DRAWINGS
FLUOR.	FLUORESCENT	S.P.D.	SEE PLUMBING DRAWINGS
F.O.C.	FACE OF CONCRETE	SPEC.	SPECIFICATION
F.O.F.	FACE OF FINISH	SQ.	SQUARE
F.O.M.	FACE OF MASONRY	STA.	STATION
F.O.F.W.	FACE OF FLYWOOD	ST.L.	STAINLESS STEEL
F.O.S.	FACE OF STUDS	S.S.D.	SEE STRUCTURAL DRAWINGS
F.P.	FIREPROOF	STD.	STANDARD
FR.	FRAME	STL.	STEEL
FR.	FOOT OR FEET	STN.	STONE
FURR.	FURRING	STOR.	STORAGE
FUT.	FUTURE	STRUC.	STRUCTURAL
G.	GAS OUTLET	SUP.	SUSPENDED
GA.	GAUGE	S.V.	SHEET VINYL
GALV.	GALVANIZED	S.W.	SHEAR WALL
G.C.	GENERAL CONTRACTOR	SYM.	SYMMETRICAL
G.D.	GARBAGE DISPOSAL	SYS.	SYSTEM
GEN.	GENERAL	T.O.C.	TOP OF CURB
GL.	GRIDLINE	TEL.	TELEPHONE
GRD.	GROUND	TEMP.	TEMPERED
G.O.	GAS OUTLET	T&G	TONGUE & GROOVE
GR.	GRADE	THK.	THICK
G.S.M.	GALVANIZED SHEET METAL	THRU.	THROUGH
GYP.	GYPHUM	T.O.	TOP OF
H.B.	HOSE BIBB	T.O.C.	TOP OF CONCRETE
HD.	HEAD	T.O.P.	TOP OF PLATE
HDR.	HEADER	T.O.PLY	TOP OF PLYWOOD
HGR.	HANGER	T.O.W.	TOP OF WALL
HORIZ.	HORIZONTAL	TYP.	TYPICAL
H.R.	HANDRAIL	U.B.C.	UNIFORM BUILDING CODE
HT.	HEIGHT	UNF.	UNFINISHED
H.W.H.	HOT WATER HEATER	U.O.N.	UNLESS OTHERWISE NOTED
IN.	INSULATION	VEN.	VENER
INSUL.	INTERIOR	VERT.	VERTICAL
INT.	INTERIOR	VEST.	VESTIBULE
JT.	JOINT	V.F.	VERIFY IN FIELD
J.L.	JAM	VOL.	VOLUME
LAM.	LAMINATE	W.C.	WATER CLOSET OR WALL COVERING
LAV.	LAVATORY	WD.	WOOD
LT.FIXT.	LIGHT FIXTURE	W.D.	WASHER / DRYER
LN.	LINEAR	W.H.	WATER HEATER
LN.	LINE	W/O	WITHOUT
LI.	LIGHT	W.P.	WATERPROOFING
MACH.	MACHINE	W.P.M.	WATERPROOF MEMBRANE
MAINT.	MAINTENANCE	WT.	WEIGHT
MAT.	MATERIAL	W.R.	WATER RESISTANT
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MEMB.	MEMBRANE		
MIL.	MILL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		

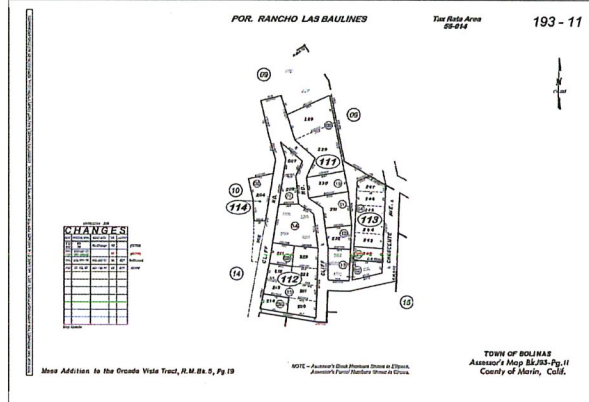
GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
3. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
4. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
5. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
6. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
7. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
8. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
9. ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.8 GALLONS PER MINUTE. ALL BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.2 GALLONS PER MINUTE, AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
10. SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 408).
11. GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 2406.4.5).
12. SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
13. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

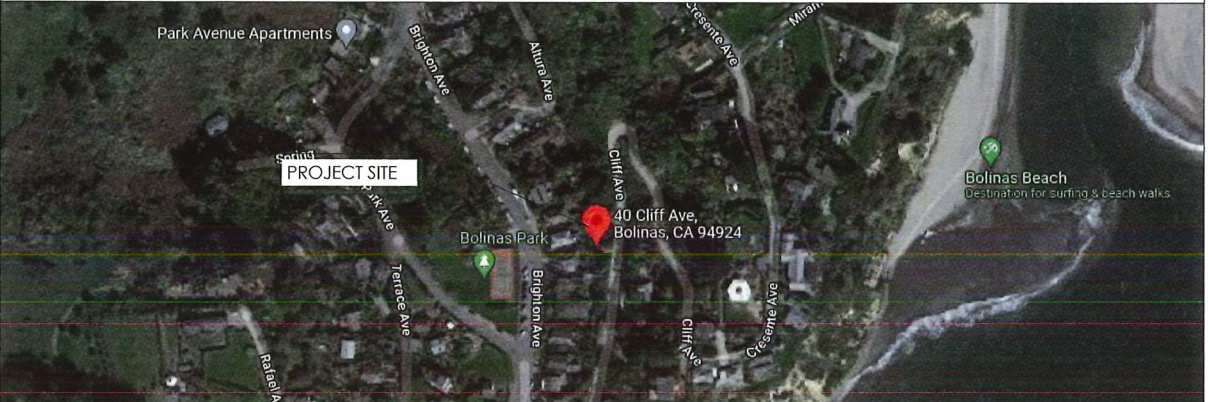
PLOT PLAN:



ASSESSORS PARCEL MAP:



VICINITY MAP:



SUTRO ARCHITECTS

BOLINAS RESIDENCE



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03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

GENERAL NOTES & PLOT PLAN

SCALE AS NOTED

A0.01

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1 MAIN HOUSE NORTH/FRONT ELEVATION



2 MAIN HOUSE EAST/SIDE ELEVATION



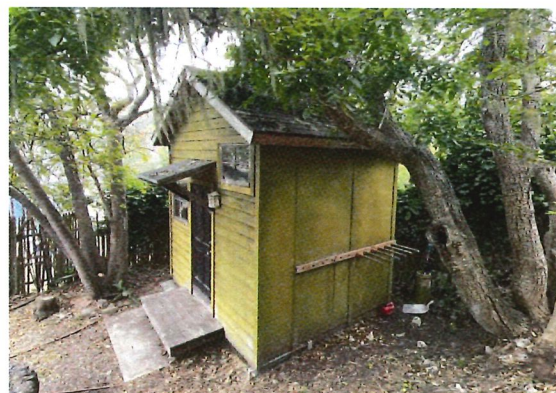
3 MAIN HOUSE SOUTH/REAR ELEVATION



4 MAIN HOUSE WEST/SIDE ELEVATION



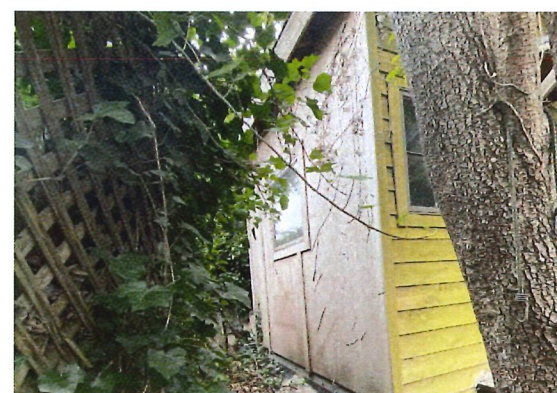
5 SHED NORTH/BACK ELEVATION



6 SHED EAST/SIDE ELEVATION



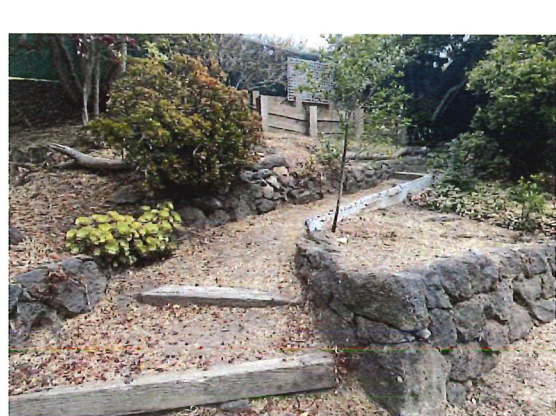
7 SHED SOUTH/FRONT ELEVATION



8 SHED WEST/SIDE ELEVATION



9 VIEW OF SITE LOOKING SOUTH



10 VIEW OF FENCE LOOKING EAST



11 VIEW OF FENCE LOOKING WEST



12 AERIAL VIEW / SITE PHOTO KEY

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SITE PHOTOS

SCALE AS NOTED

A0.02

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ARBORIST REPORT

**Tree Inventory
40 Cliff Road
Bolinas, California
(APN: 193-114-02)**

Prepared for:
**Sutro Architects
1055 Post Street
San Francisco CA 94109**

Prepared by:
**Dr. Kent Julin
ISA Certified Arborist
California Professional Forester
ARBORSCIENCE, LLC**

February 28, 2023

P.O. Box 111, Woodacre, CA 94973-0111
(415) 419-5197 • kent.julin@gmail.com • http://arborscientist.com

ASSIGNMENT

Sutro Architects hired ARBORSCIENCE, LLC to inventory trees growing at 40 Cliff Road in Bolinas. The client's interest in identifying trees on the property with special status prompted this inventory that I completed on June 3, 2022.

SCOPE OF WORK AND LIMITATIONS

This inventory is based on the circumstances and observations, as they existed at the time of the site inspection. Opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by ArborScience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the tree discussed in this assessment should be re-assessed periodically.

SITE DESCRIPTION AND CONTEXT

The home at 40 Cliff Road was built in 1924 on a narrow, 0.14-acre parcel (APN: 193-114-02). Improvements include perimeter fencing, and garden walkways leading to a single-family residence and garden shed. Landscaping is mature and overgrown. The 40 Cliff Road property is within the California Coastal Zone. The Marin County Native Tree Protection and Preservation ordinance does not apply to properties located in the coastal zone, and a Coastal Permit may instead be required for the removal of trees and vegetation as determined by the Marin County Community Development Agency. Given that trees on the subject property are not part of a "significant" stand of trees and are not within an environmentally sensitive habitat area such as a wetland, riparian corridor, dune or beach, it is unlikely that they would be afforded special status.

SUBJECT TREE DESCRIPTIONS

The 19 subject trees (Table 1 and Tree Map, attached) were planted or have volunteered since the home was built nearly 100 years ago. Fruit and nut trees on the property include apple (*Malus domestica*), pear (*Pyrus communis*), Fuyu Persimmon (*Diospyros kaki*), cherry plum (*Prunus cerasifera*) and English walnut (*Juglans regia*). Ornamental trees on the property include blackwood acacia (*Acacia melanoxylon*), scotch elm (*Ulmus glabra*), Victorian box (*Pittosporum undulatum*), saucer magnolia (*Magnolia x soulangeana*), glossy privet (*Ligustrum lucidum*), and Oregon ash (*Fraxinus latifolia*). Most of these trees are overmature, in fair to poor health, have considerable deferred pruning maintenance, and have poor structural form including severe defects like trunk decay (Trees 10 and 14) that present high failure risks.

CONCLUSIONS AND RECOMMENDATIONS

The subject trees are old and generally overmature, with considerable deferred pruning maintenance, poor structural form, and low vigor. Two of the trees have trunk decay and present high failure risks.

None of the trees are native and would be considered protected pursuant to the Marin County Code. A Coastal Permit may instead be required for the removal of trees and vegetation on the property, as determined by the Marin County Community Development Agency (which enforces coastal permit requirements) related to the proposed project. However, given that trees on the subject property are not part of a "significant stand" of trees and are not within an "environmentally sensitive habitat area" such as a wetland, or riparian corridor, or dune or beach, it is unlikely that they would be afforded special status within the Coastal Zone.

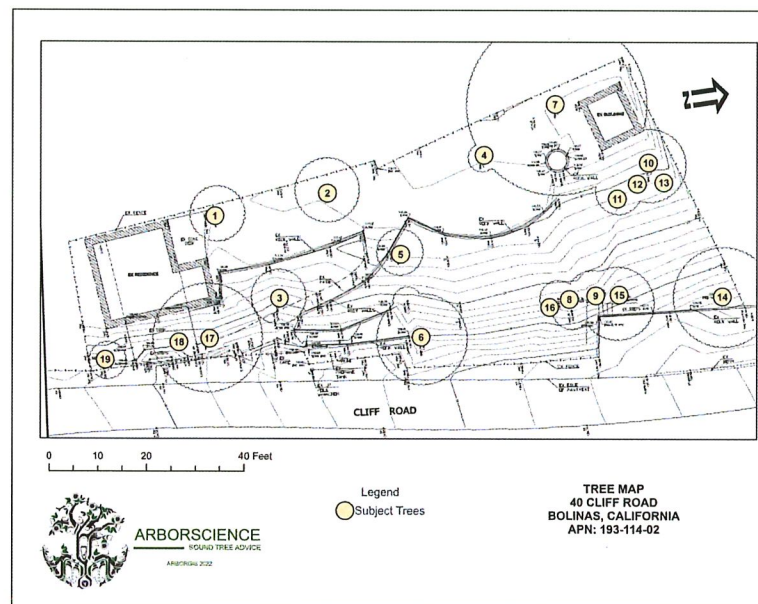
Sincerely,

ARBORSCIENCE, LLC

Kent Julin
Dr. Kent R. Julin
ISA Certified Arborist #WE-8733A
ISA Tree Risk Assessor Qualified
California Registered Professional Forester #2648

Table 1. Trees growing at 40 Cliff Road in Bolinas.

Tree Number	Common Name	Latin Name	DBH (in.)	Notes	Condition	Fireprone Species
1	Apple	<i>Malus domestica</i>	4,4,5	Bearing fruit	Good	No
2	Pear	<i>Pyrus communis</i>	1,3,4,5,5	Bearing fruit	Good	No
3	Glossy privet	<i>Ligustrum lucidum</i>	5,5,6,7	-	Poor	No
4	Fuyu persimmon	<i>Diospyros kaki</i>	3,4	Flowering	Good	No
5	Plum	<i>Prunus cerasifera</i>	2,4,5	-	Good	No
6	Victorian box	<i>Pittosporum undulatum</i>	5,7,8,9,10	-	Poor	No
7	Saucer magnolia	<i>Magnolia x soulangeana</i>	6,8,11,14	Crown dieback	Poor	No
8	Blackwood acacia	<i>Acacia melanoxylon</i>	19	Previously topped	Poor	Yes
9	Victorian box	<i>Pittosporum undulatum</i>	8	Recumbent trunk	Poor	No
10	Oregon ash	<i>Fraxinus latifolia</i>	10,12,14	Trunk decay, dieback	Poor	No
11	Scotch elm	<i>Ulmus glabra</i>	5	-	Fair	No
12	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
13	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
14	English walnut	<i>Juglans regia</i>	10,10	Trunk decay, dieback	Poor	No
15	Victorian box	<i>Pittosporum undulatum</i>	7	Recumbent trunk	Poor	No
16	Victorian box	<i>Pittosporum undulatum</i>	9	Recumbent trunk	Poor	No
17	Victorian box	<i>Pittosporum undulatum</i>	3,4,14	-	Poor	No
18	Victorian box	<i>Pittosporum undulatum</i>	4,10	-	Poor	No
19	Plum	<i>Prunus cerasifera</i>	4,6	-	Poor	No



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ARBORIST REPORT

SCALE AS NOTED

A0.03

GENERAL STORMWATER CONTROL NOTES:

- SEE CIVIL DRAWINGS FOR SITE SPECIFIC STORMWATER CONTROL MEASURES.

Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects

Erosion Controls	Sediment Controls	Good Housekeeping
1. Preserve Vegetation & Creek Set Backs	6. Tracking Controls	10. Concrete Washout
2. Soil Cover	7. Fiber Rolls	11. Stockpile Management
3. Soil Preparation/ Roughening	8. Silt Fence	12. Hazardous Material Management
4. Erosion Control Blankets	9. Drain Inlet Protection	13. Sanitary Waste Management
5. Revegetation	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
		15. Litter and Waste Management

NS=not shown on graphic

Note: Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/constuc/stormwater/manuals.htm>. Visit www.mcstoppp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
 415-473-4381 voice/TTY or dlsabill@casqa.com

Control Measure	General Description
Erosion Control Best Management Practices	
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of areas disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-4, EC-7, EC-8, EC-11, EC-16; or Caltrans: SS-3, SS-4, SS-5, SS-6, SS-7, SS-8.
3 Soil Preparation/ Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stail stepping, etc.). For more info see the following factsheets: CASQA: EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/wildlife-friendly-products.pdf . For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient radii for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-2; or Caltrans: TC-1; TC-2.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/wildlife-friendly-products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stakes. Do not use silt fence for concentrated water flow. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fences on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1-in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCSTOPPP BMPs for trench dewatering: http://www.marincounty.ca.gov/development/information/informationaldevelopment/imedia/Files/Departments/PW/mcstopppdevelopment/trenching/SWReqMCTOPPPFinal_03.pdf . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3; or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip with overflow pantries (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic taps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-8, NS-9, and NS-10; or Caltrans: NS-8, NS-9, and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.

Erosion Blanket
 Note: Actual layout determined in the field.

Silt Fence
 NOT TO SCALE

Site Entrance

Concrete Washout

Catch Basins with Gravel Bags
 (Do not use sand bags near inlets)

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MCSPP MINIMUM CONTROL MEASURES

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MAIN HOUSE



SUNROOM



HOUSE



SUNROOM

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PROPOSED EXTERIOR RENDERINGS

SCALE AS NOTED

A0.12

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METAL & GLASS WINDOW SYSTEM



SOLID WOOD VERTICAL PANELING



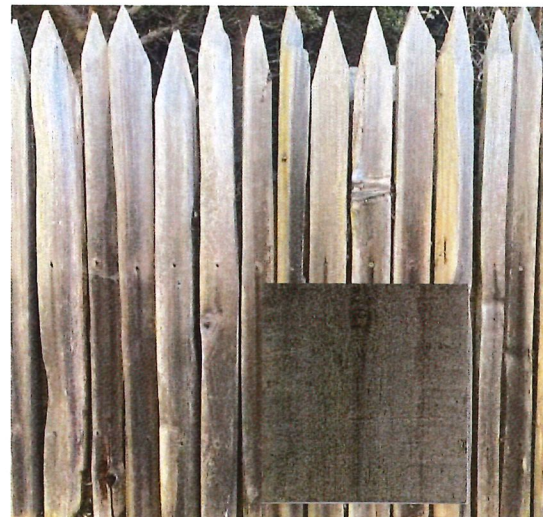
SOLID WOOD BATTENBOARD VERTICAL PANELING



ANTIQUED TERRACOTTA ROOF TILES



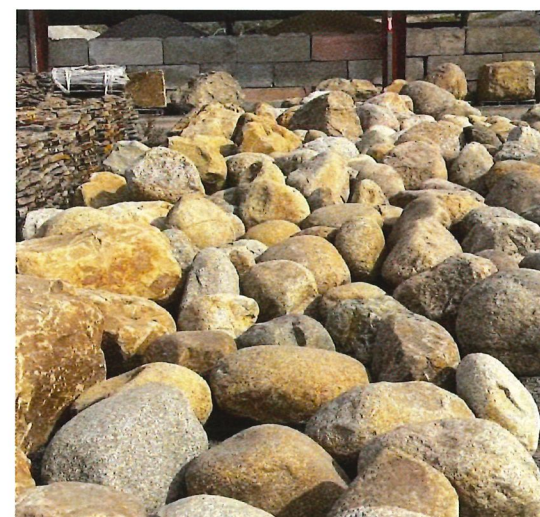
STACKED STONE WALL



FENCE IN AGED WHITE PINE



LANDSCAPE BOULDERS OPTION 1



LANDSCAPE BOULDERS OPTION 2



NATURAL FLAGSTONE PAVERS WITH GREENERY




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EXTERIOR MATERIAL PALETTE

SCALE AS NOTED

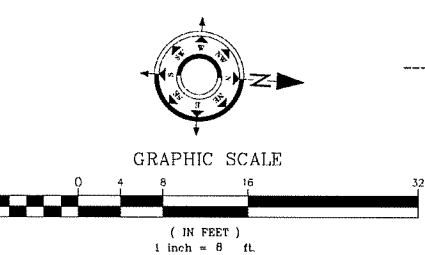
A0.13



BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER 6534-01	DRAWN BY WCC	DRAWING NAME 6534-01TOP.DWG
		CHECKED BY JMS	SHEET NO. 1 OF 6
		DATE 11/01/2022	

- LEGEND:**
- AC ASPHALTIC CONCRETE
 - BLOC BUILDING
 - CF CONCRETE FOOTING
 - CP CAST IRON PIPE
 - CONC CONCRETE
 - CRW CONCRETE RETAINING WALL
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FH FIRE HYDRANT
 - FL FLOODED GRADE BREAK
 - GS GROUNDSHOT
 - HB HOSE BIB
 - HP HINGE POINT
 - JP JOINT POLE
 - LANDG LANDING
 - PT PROPANE TANK
 - RP ROOF PEAK
 - SDMH STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TC TOP OF CURB
 - TCRW TOP OF CONCRETE RETAINING WALL
 - THRESH THRESHOLD
 - TOB TOP OF BUILDING
 - TRRT TOP OF RAILROAD TIE
 - TRRW TOP OF ROCK RETAINING WALL
 - TRW TOP OF WOOD RETAINING WALL
 - UNKN UNKNOWN
 - WLT WALK WATER GATE VALVE
 - WGV WATER HEATER
 - WH WOOD RETAINING WALL
 - X INDICATES FIRE HYDRANT
 - X51.4 INDICATES GROUNDSHOT
 - O 12TREC INDICATES TREE SIZE
 - INDICATES BOUNDARY LINE
 - INDICATES LOT LINE
 - INDICATES MAJOR CONTOUR LINE
 - INDICATES MINOR CONTOUR LINE
 - INDICATES WIRE FENCE
 - INDICATES WOOD FENCE
 - INDICATES ROCK RETAINING WALL
 - INDICATES UNDERGROUND SANITARY SEWER LINE
 - INDICATES OVERHEAD UTILITY LINES
 - INDICATES APPROXIMATE TREE DRIPLINE
 - INDICATES CONCRETE
 - INDICATES WOOD DECK/LANDING



- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS AUGUST 11, SEPTEMBER 8 AND 23, 2022.
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 - CONTOURS SET AT 1 FOOT INTERVALS.
 - THE RECORD LOCATION OF THE BUILDING EASEMENT AGREEMENT (DOC. NO. 2010-00649565) DOES NOT FIT THE RESOLVED BOUNDARY. THE LOCATION OF SAID EASEMENT HAS BEEN MOVED TO SHOW THE INTENT OF SAID EASEMENT. SEE DOCUMENT FOR RESTRICTIONS ON NEW CONSTRUCTION.

BENCHMARK:
ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:
THE BEARING, NORTH 3°55'57" WEST, AS CALCULATED BETWEEN A FOUND 1 1/4" IRON PIPE AT THE SOUTHEASTERLY CORNER OF LOT 235 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MCSA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF LOT 18 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF BOLINAS HIGHLANDS" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:
O.D. REPUBLIC TITLE COMPANY
245 FOURTH ST
SAN RAFAEL, CA 94901
(415) 454-8300

UTILITY NOTE:
PRELIMINARY REPORT
ORDER NO.: 045001702-1-0
DATED: MARCH 18, 2014, AT 7:30 AM

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

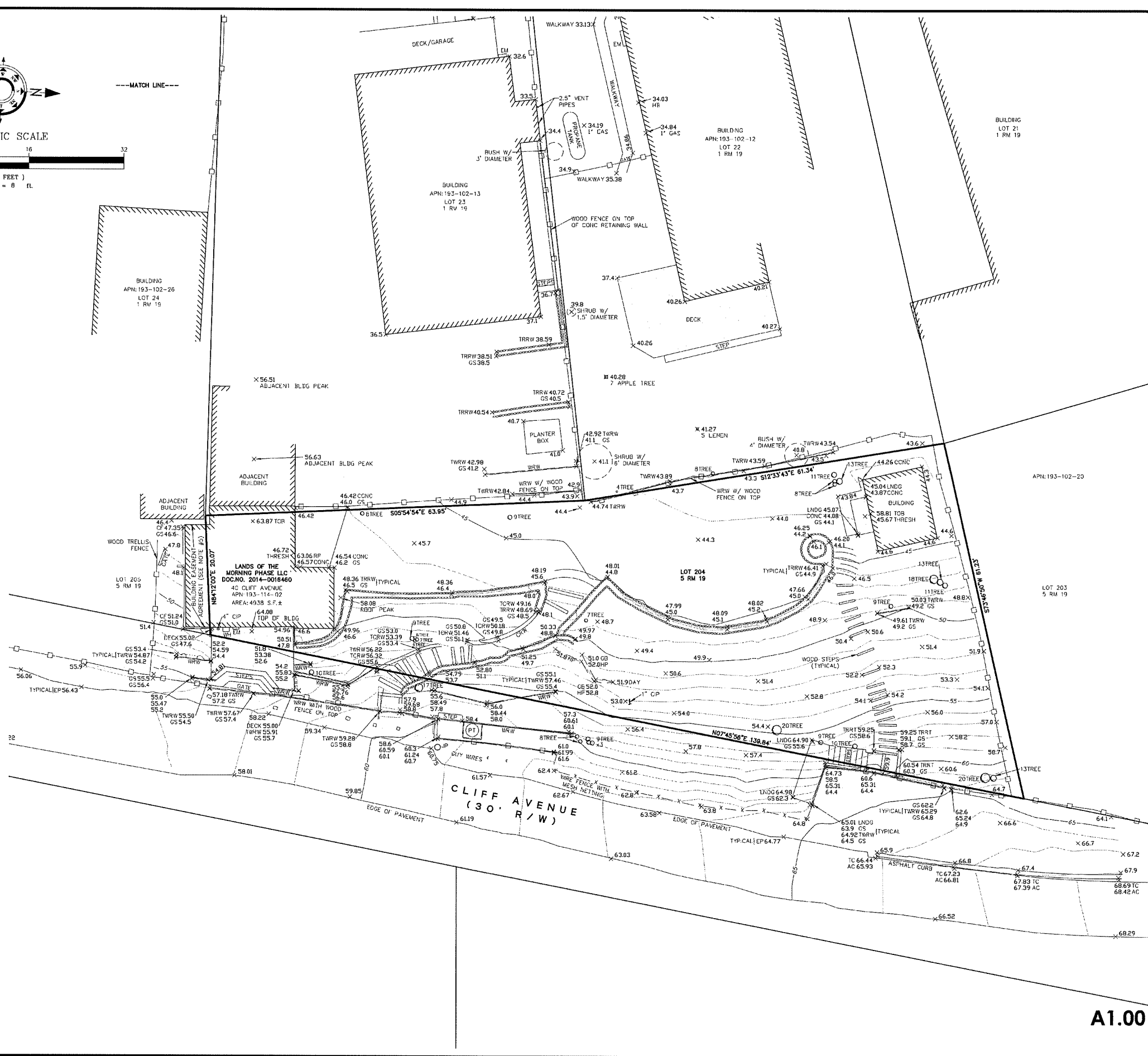
HD SCANNING NOTE:
TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS.
SCANNER: LEICA P40

TREE NOTE:
TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

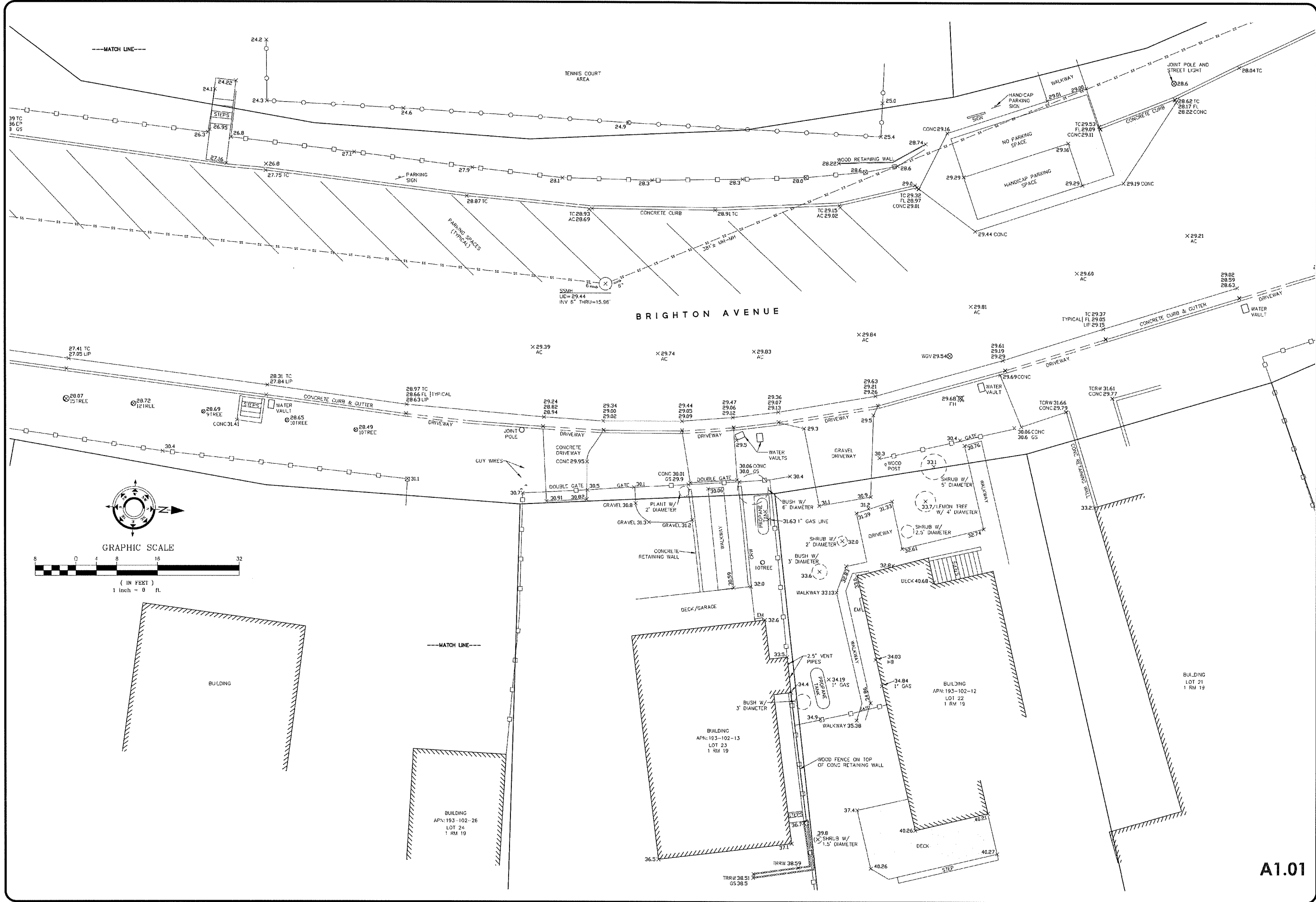
RECORD OF SURVEY NOTE:
BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT, PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

SURVEYOR'S STATEMENT
THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Michael J. Smith, License # 12552
DATE _____



A1.00

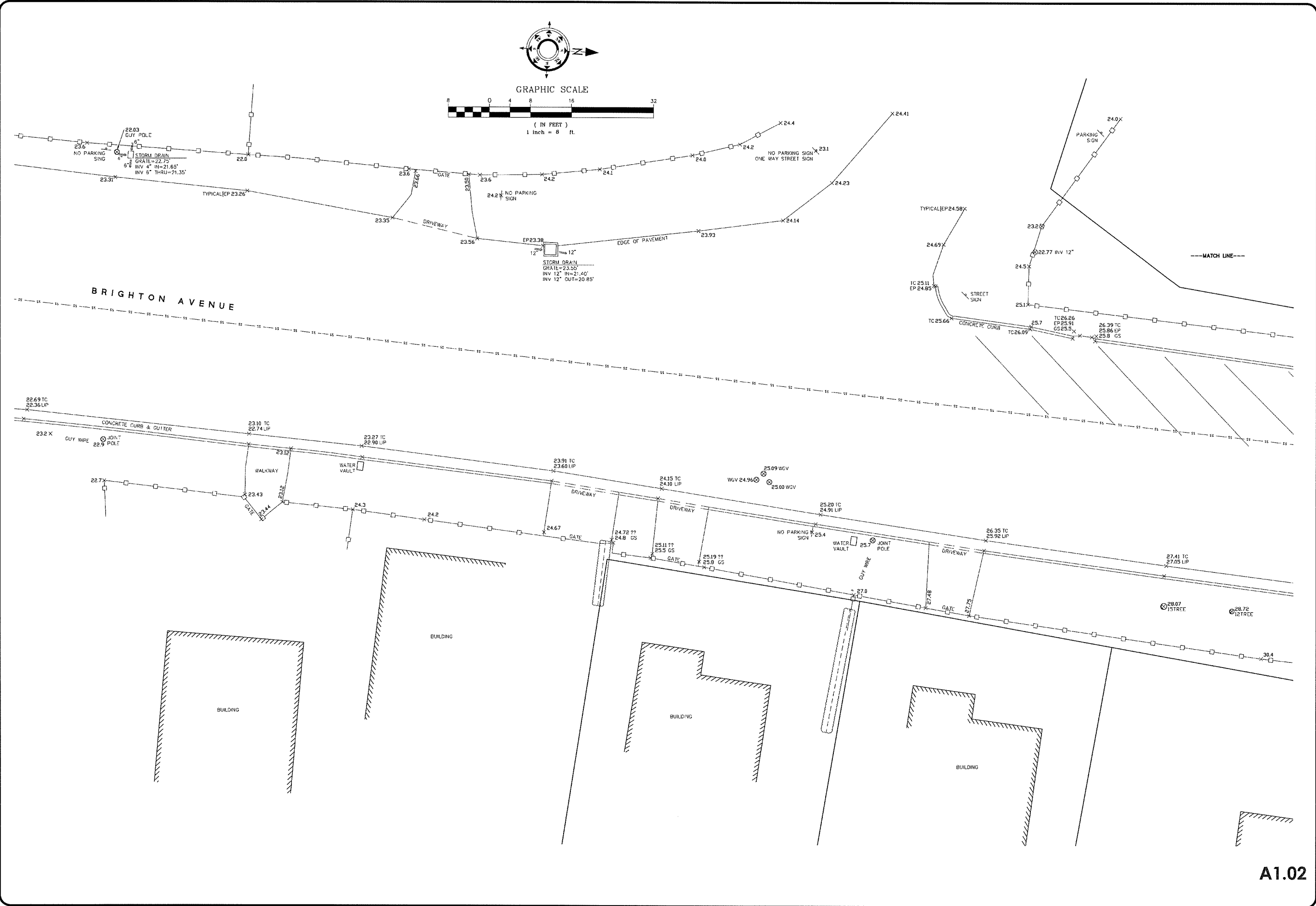


A1.01

MUIR CONSULTING
 139 CHURCH AVENUE
 CAKALE, CA 95361
 (925) 845-8630
 SURVEY • HDS • GPS • UAV
 www.muirconsulting.com

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

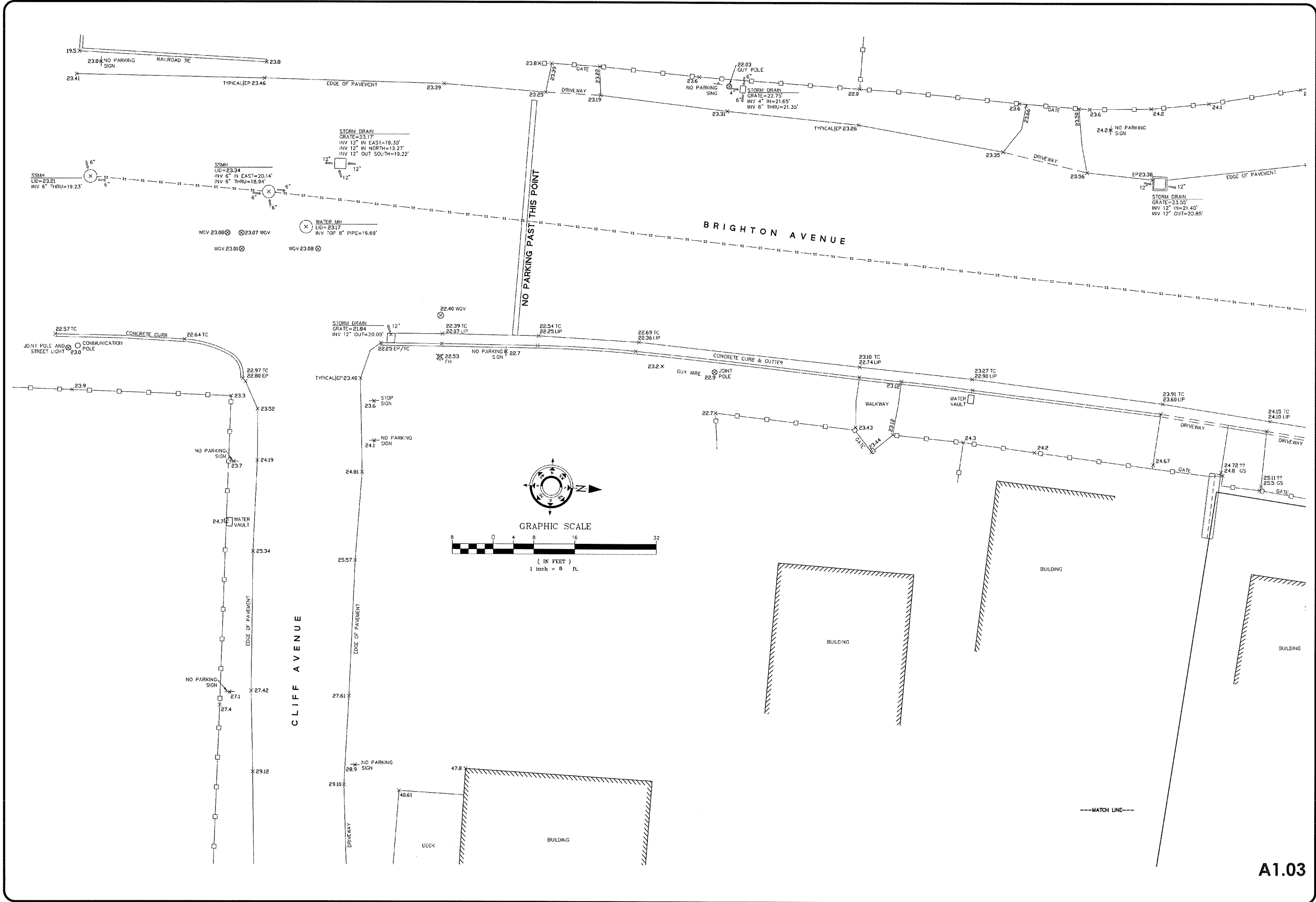
REVISIONS	JOB NUMBER	6534-01
	DRAWN BY	WCC
	CHECKED BY	JMS
	DATE	11/01/2022
	DRAWING NAME	B534-01TOPO.dwg
	SHEET NO.	2 OF 6



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 (209) 845-8630
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BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER	6534-01
	DRAWN BY	WCC
	CHECKED BY	JMS
	DATE	11/01/2022
	DRAWING NAME	6534-01.TOPG.DWG
	SHEET NO.	3
	OF	6



A1.03

Muir Consulting
 139 Church Avenue
 Oakland, CA 95361
 (510) 845-8630
 Survey, Plans, GPS, UAV
 www.muirconsulting.com

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY
 CALIFORNIA

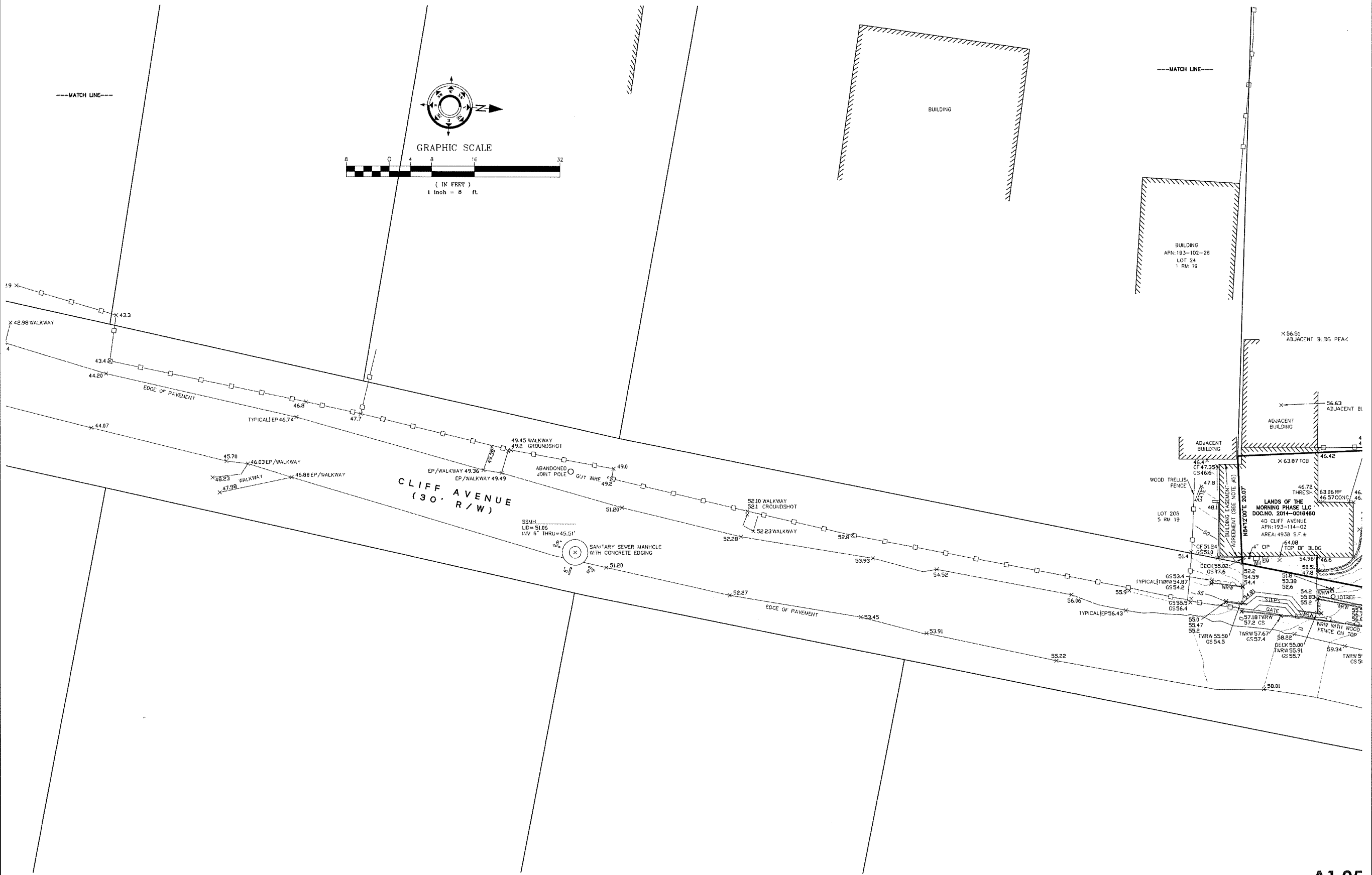
REVISIONS	JOB NUMBER	6534-01
	DRAWN BY	WCC
	CHECKED BY	JMS
	DATE	11/01/2022
	DRAWING NAME	6534-01TOP.DWG
	SHEET NO.	4 OF 6



A1.04

<p>REVISIONS</p>		<p>JOB NUMBER 6534-01</p>	<p>BOLINAS</p>
<p>DRAWN BY WCC</p>	<p>CHECKED BY JMS</p>	<p>DRAWING NAME 6534-01TOP0.dwg</p>	<p>CALIFORNIA</p>
<p>DATE 11/01/2022</p>	<p>SHEET NO. 5</p>	<p>OF 6</p>	<p>MARIN COUNTY</p>
<p>BOUNDARY & TOPOGRAPHIC SURVEY OF 40 CLIFF ROAD</p>			
<p>MUIR CONSULTING 139 CHURCH AVENUE OAKDALE, CA 95361 (925) 845-8630 www.muirconsulting.com</p>			





A1.05

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-01.TOPG.DWG
SHEET NO.	6
DATE	11/01/2022

BOUNDARY & TOPOGRAPHIC SURVEY
OF
40 CLIFF ROAD

MORNING PHASE LLC
DOC. NO. 2014-0016480
40 CLIFF AVENUE
APN: 193-114-02
AREA: 4938 S.F. ±

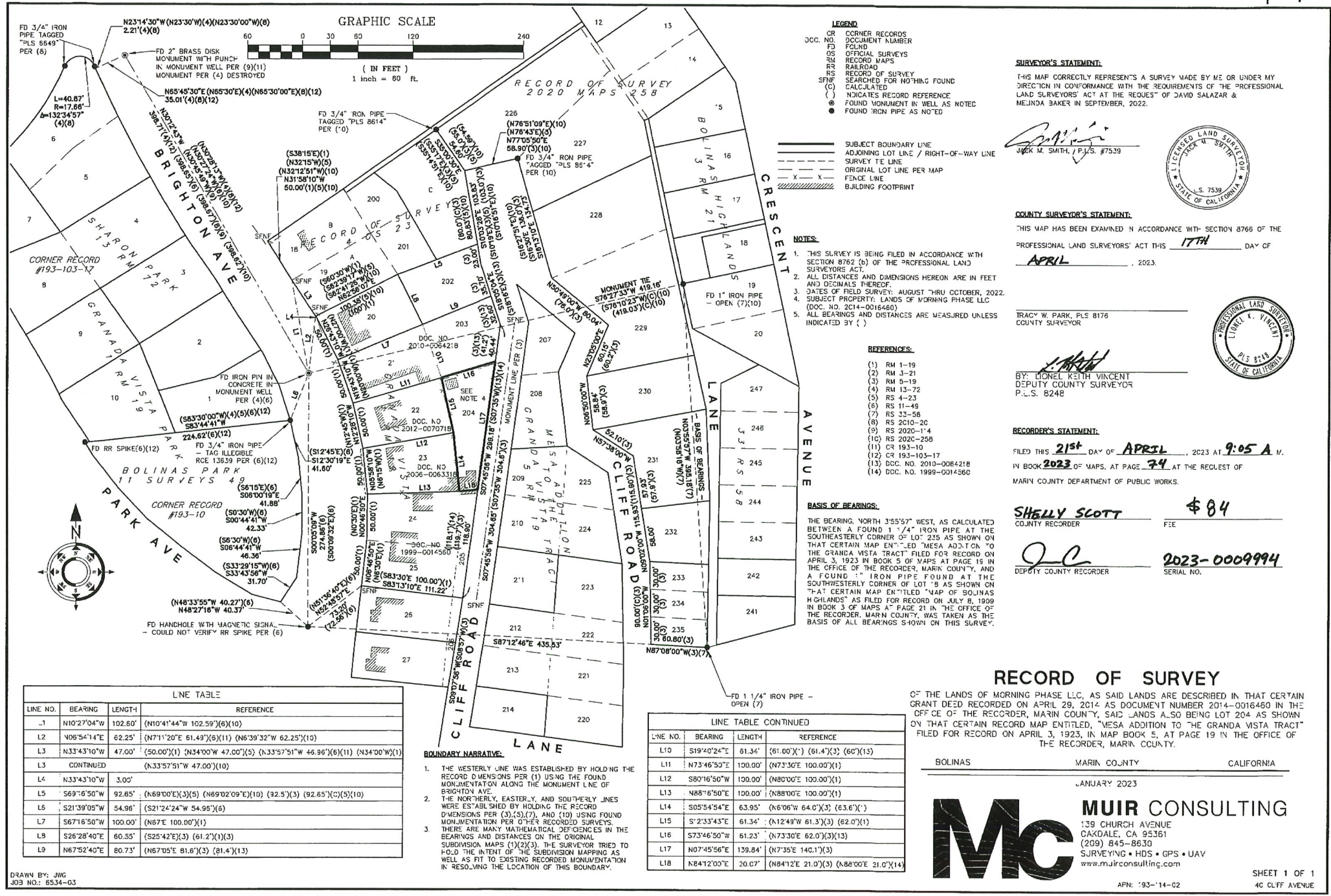
BOLINAS
MARIN COUNTY
CALIFORNIA

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MC

(Professional Engineer Seal)

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is prohibited. This is to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



LINE NO.	BEARING	LENGTH	REFERENCE
L1	N10°27'04"W	102.80'	(N10°41'44"W 102.59')(6)(10)
L2	N06°54'14"E	62.25'	(N71°1'20"E 61.49')(5)(11) (N6°39'32"W 62.25')(10)
L3	N33°43'10"W	47.00'	(S00°00'00"W 47.00')(1) (N34°00'00"W 47.00')(5) (N33°57'51"W 46.96')(6)(11) (N34°00'00"W)(1)
L3	CONTINUED (N33°57'51"W 47.00')(10)		
L4	N33°43'10"W	3.00'	
L5	S69°16'50"W	92.65'	(N69°02'09"E)(3)(5) (N69°02'09"E)(10) (92.5')(3) (92.65')(3)(5)(10)
L6	S21°39'05"W	54.96'	(S21°24'24"W 54.95')(6)
L7	S67°16'50"W	100.00'	(N87°E 100.00')(1)
L8	S26°28'40"E	60.55'	(S25°42'E)(3) (61.2')(1)(3)
L9	N67°52'40"E	80.73'	(N67°05'E 81.6')(3) (81.4')(13)

LINE NO.	BEARING	LENGTH	REFERENCE
L10	S19°40'24"E	61.34'	(61.00')(1) (61.4')(3) (60')(15)
L11	N73°46'50"E	100.00'	(N73°30'E 100.00')(1)
L12	S80°16'50"W	100.00'	(N80°00'E 100.00')(1)
L13	N48°16'50"E	100.00'	(N88°00'E 100.00')(1)
L14	S05°54'54"E	63.95'	(N6°06'W 64.0')(3) (63.6')(1)
L15	S°23'43"E	61.34'	(N12°49'W 61.3')(3) (62.0')(1)
L16	S73°46'50"W	61.23'	(N73°30'E 62.0')(3)(13)
L17	N07°45'56"E	139.84'	(N7°35'E 140.1')(3)
L18	N84°12'00"E	20.67'	(N84°12'E 21.0')(3) (N82°00'E 21.0')(14)

BOUNDARY NARRATIVE.

1. THE WESTERLY LINE WAS ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (1) USING THE FOUND MONUMENTATION ALONG THE MONUMENT LINE OF BRIGHTON AVE.

2. THE NORTHERLY, EASTERLY, AND SOUTHERLY LINES WERE ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (3), (5), (7), AND (10) USING FOUND MONUMENTATION PER OTHER RECORDED SURVEYS. THERE ARE MANY MATHEMATICAL DEFICIENCIES IN THE BEARINGS AND DISTANCES ON THE ORIGINAL SUBDIVISION MAPS (1)(2)(3). THE SURVEYOR TRIED TO HOLD THE INTENT OF THE SUBDIVISION MAPPING AS WELL AS FIT TO EXISTING RECORDED MONUMENTATION IN RESOLVING THE LOCATION OF THIS BOUNDARY.

- LEGEND**
- CR CORNER RECORDS
 - DOC. NO. DOCUMENT NUMBER
 - F3 FOLD
 - OS OFFICIAL NUMBER
 - RM RECORD MAPS
 - RR RAILROAD
 - RS RECORD OF SURVEY
 - SFNF SEARCHED FOR NOTHING FOUND
 - () CALCULATED
 - () INDICATES RECORD REFERENCE
 - FOUND MONUMENT IN WELL AS NOTED
 - FOUND IRON PIPE AS NOTED
- SUBJECT BOUNDARY LINE
 --- ADJOINING LOT LINE / RIGHT-OF-WAY LINE
 - - - SURVEY TE LINE
 - - - ORIGINAL LOT LINE PER MAP
 - - - FENCE LINE
 [] BUILDING FOOTPRINT

SURVEYOR'S STATEMENT.

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF DAVID SALAZAR & MEJUNDA BAKER IN SEPTEMBER, 2022.

Jack M. Smith
 JACK M. SMITH, P.L.S. #7539
 LICENSED LAND SURVEYOR
 STATE OF CALIFORNIA

COUNTY SURVEYOR'S STATEMENT.

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 17TH DAY OF APRIL, 2023.

TRACY W. PARK, PLS #176
 COUNTY SURVEYOR

Donel Keith Vincent
 BY: DONEL KEITH VINCENT
 DEPUTY COUNTY SURVEYOR
 P.L.S. 8248

RECORDER'S STATEMENT.

FILED THIS 21st DAY OF APRIL, 2023 AT 9:05 A.M.
 IN BOOK 2023 OF MAPS, AT PAGE 74 AT THE REQUEST OF
 MARIN COUNTY DEPARTMENT OF PUBLIC WORKS.

Shelly Scott
 SHELLEY SCOTT
 COUNTY RECORDER
 FEE \$ 84
J.C.
 DEPUTY COUNTY RECORDER
 SERIAL NO. 2023-0009994

RECORD OF SURVEY

OF THE LANDS OF MORNING PHASE LLC, AS SAID LANDS ARE DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON APRIL 29, 2014 AS DOCUMENT NUMBER 2014-0016460 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, SAID LANDS ALSO BEING LOT 204 AS SHOWN ON THAT CERTAIN RECORD MAP ENTITLED "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1" IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF LOT 'B' AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF BOLINAS HIGHLANDS" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS S-HOLD ON THIS SURVEY.

BOLINAS MARIN COUNTY CALIFORNIA
 JANUARY 2023

McMUIR CONSULTING
 139 CHURCH AVENUE
 CAKDALE, CA 95361
 (209) 845-8630
 SURVEYING • HDS • GPS • UAV
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SHEET 1 OF 1
 40 CLIFF AVENUE

SUTRO ARCHITECTS

BOLINAS RESIDENCE

415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco CA
 94109

40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-11-402 | PROJECT NO. 2020.045



PLANNING - R2
 03.27.2025
 PLANNING - R1
 02.02.2026
 PLANNING
 10.27.2025

RECORD OF SURVEY
 AS NOTED
A1.06

74

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

RECORDING REQUESTED BY:

JACK SIEDMAN
WHEN RECORDED MAIL TO:
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CAL 94924



Record
Official Records
County of
Marin
JOHN C. TRAVES
Assessor-Recorder
22:05PM 11-Dec-2010 Page 1 of 11
REC FEE 45.00

AP Nos. 193-102-26&193-114-02

THIS SPACE FOR RECORDERS USE ONLY

DOCUMENT TITLE

EASEMENT AGREEMENT

THIS PAGE IS ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION

ADDITIONAL RECORDING FEE APPLIES

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

John P. McGrath
Faleo McGrath
1940 Alice Valley Blvd
Walnut Creek, California 94595
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CALIF. 94924

EASEMENT AGREEMENT

This Easement Agreement ("Agreement") is made by and between Ashley Ratcliffe (hereinafter referred to as "Grantor") and Kevin and Annette Haw, (hereinafter collectively referred to as "Grantee") and is effective as of the last date of signature.

RECITALS

Grantor is the owner of certain real property ("the servient tenement") in the town of Bolinas, Marin County, California, known as 87 Brighton Ave., APN 193-102-26. Said servient tenement is depicted on Exhibit "A", attached hereto, which is a reproduction of the Town of Bolinas Assessor's Map Bk.193-pg.11, County of Marin, California, and incorporated herein by this reference.

Grantee is the owner of certain real property ("the dominant tenement") in the town of Bolinas, Marin County, California, known as 40 Cliff Road APN 193-114-02 as depicted on the above-described Exhibit "A", attached hereto, incorporated herein by this reference.

The purpose of this Agreement is to grant to Grantee certain easement rights over the property of Grantor, as set forth below.

AGREEMENT

1. Purpose of Agreement. A structure on Grantee's property encroaches upon a portion of Grantor's property, as depicted on the above-described Exhibit "A", attached hereto and incorporated herein by reference. The Encroachment occurred approximately thirty (30) years ago as an add-on to a structure that already existed on the dominant tenement. "The Encroachment" is approximately four (4) feet in the North to South direction and seventeen (17)

feet in the East to West direction and ranges in height from approximately five (5) foot, nine (9) inches at its lowest point to seven (7) foot at its tallest point, and is attached to the structure on the dominant tenement. The Encroachment is part of the kitchen and bathroom areas of the structure on the dominant tenement. The purpose of this Agreement is to grant an easement to Grantee allowing the continuation of The Encroachment and Grantee's continued use of The Encroachment.

2. Grant of Easement. In consideration of the mutual covenants, terms, conditions, and restrictions contained herein, and pursuant to the laws of the State of California, Grantor hereby voluntarily grants and conveys to Grantee, and their successors and assigns, subject to all existing encumbrances and exception to title, an easement appurtenant over the servient tenement of the nature and character and to the extent hereinafter set forth.

Grantor hereby grants to Grantee the following: an exclusive easement for The Encroachment which is entirely on the servient tenement and permanently attached and incorporated into the structure on the dominant tenement. The Encroachment is described above and identified on the above-described Exhibit "A", attached hereto and incorporated herein by reference.

Should either party want a legal description to more particularly describe the location of this easement, the party wanting the legal description shall be free to obtain one and the other party agrees to make an appropriate amendment to this agreement, in recordable form, to include said legal description. This easement shall be appurtenant to the dominant tenement.

3. Declaration of Restrictions. The Grantor hereby declares that the servient tenement shall be held, transferred, sold, conveyed, given, leased, occupied and used subject to all of the restrictions, covenants, easements, equitable servitudes, and affirmative obligations set forth in this Agreement.

4. Limitations of Grantees' Use. The use of the Easement by Grantee, and their successors in interest and assigns, is limited to the uses of the dominant tenement identified above. No other structures shall be constructed in the easement area, nor shall The Encroachment be extended or expanded in any direction, beyond its current envelope, including in height. In addition, if The Encroachment is ever demolished or if the structure on the dominant tenement to which it is affixed is ever replaced with a new structure, such new structure will not encroach into the easement area.

5. Maintenance and Repair. The obligation for maintenance and repair of the existing structure within the Easement shall be solely that of the Grantee.

6. Indemnity.

(a) Grantee shall indemnify and hold Grantor harmless against any and all claims, expenses, and liability due to any of Grantee's actions or actions of Grantee's subcontractors, guests, invitees, and/or agents related to the Easement.

(b) Grantor shall indemnify and hold Grantee harmless against any and all claims, expenses and liability due to any of Grantors' actions and actions of Grantors' subcontractors, guests, invitees, and/or agents related to the Easement.

7. Mediation. If a dispute arises out of or is related to this Easement Agreement, or its breach, the parties agree to try in good faith to settle the dispute by non-binding mediation before resorting to court action. The parties shall each pay one-half the cost of such mediation.

8. Discretion of Parties. Enforcement of the terms of this Easement shall be at the discretion of Grantee and Grantor, and any forbearance by Grantee or Grantor to exercise their rights under this Easement in the event of any breach of any term of this Easement by the other shall not be deemed or construed to be a waiver of such term or of any subsequent breach of the same or any other term of this Easement or of any rights under this Easement. No delay or omission in the exercise of any rights or remedy upon any breach shall impair such right or remedy or be construed as a waiver.

9. Amendment. If circumstances arise under which an amendment to or modification of this Easement would be appropriate, Grantor and Grantee may jointly amend this Easement. Any such amendment shall be recorded in the official records of Marin County, California.

10. Notices. Any notice, demand, request, consent, approval, or communication that either party desires or is required to give to the other shall be in writing and either served personally or sent by first class mail, postage prepaid, addressed as follows:

To Grantor:
Ashley Ratcliffe
P.O. Box 635
Bolinas, CA 94924

To Grantee:
Kevin and Annette Haw

435 South Ray Rd.
Portland, TN 37148

or to such other address as either party or its assignee from time to time shall designate by written notice to the other.

If either Grantor or Grantee shall sell their respective properties, thereafter the notices shall be sent to the name and address listed in the Marin County Assessor's most current listings as owner of the sold property.

11. Easement to Run With the Land.

(a) All of the restrictions, covenants, easements, equitable servitudes and affirmative obligations set forth in this Agreement that touch and concern the Property shall run with the land. All other terms, covenants, conditions and provisions of this Agreement shall inure to the benefit and be binding upon the respective heirs, successors and assigns of the parties.

(b) The terms and conditions of this agreement shall not give rise to any personal obligation of: (1) the Grantor for actions or events occurring after the Grantor no longer owns the servient tenement; or (2) the Grantee for actions or events occurring after the Grantee no longer owns the dominant tenement.

12. General Provisions.

(a) Controlling Law. The interpretation and performance of this Easement shall be governed by the laws of the State of California.

(b) Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Easement shall be liberally construed in favor of the grant to effect the purpose of this Easement. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of this Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

(c) Severability. If any provisions of this Easement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Easement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, as the case may be, shall not be affected thereby.

(d) Entire Agreement. This instrument sets forth the entire Agreement of the parties with respect to the Easement and supersedes all prior

BOLINAS RESIDENCE SUTRO ARCHITECTS



PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.07

415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco CA 94109
40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with the "Amendment" paragraph herein.

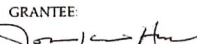
(e) No Forfeiture. Nothing contained herein will result in a forfeiture or reversion of Grantor's title in any respect.


(f) Attorney Fees. The prevailing party in any lawsuit or arbitration arising out of this agreement shall be entitled to recover reasonable attorney's fees.

(g) Captions. The captions in this instrument have been inserted solely for convenience of reference and are not a part of this instrument and shall have no effect upon construction or interpretation.

DATED: Feb 16, 2010 GRANTOR:

 Ashley Ratcliffe

DATED: 3-8-10, 2010 GRANTEE:

 Kevin Haw

DATED: 3-5-10, 2010 GRANTEE:

 Annette Haw

Tax Rate Area 193-11
56-014

POR. RANCHO LAS BAULINES

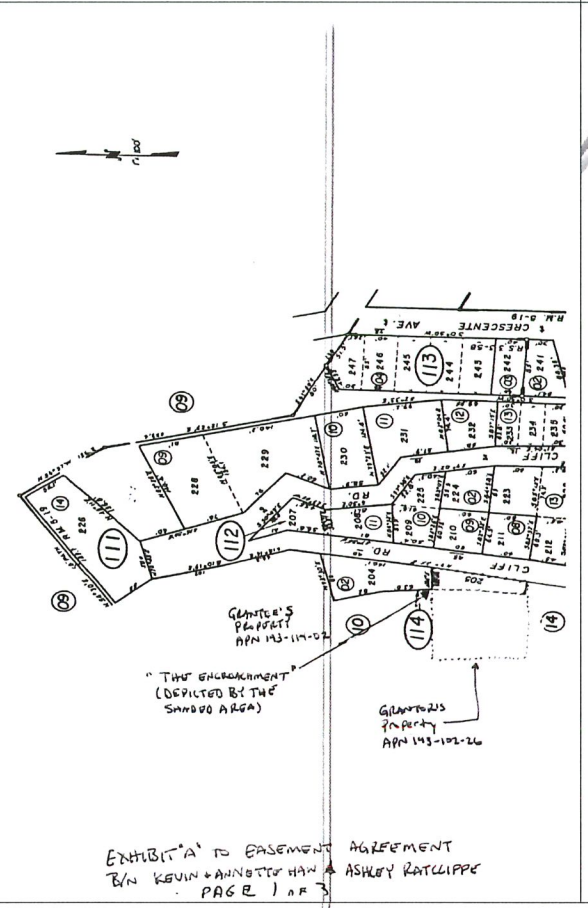
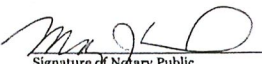



EXHIBIT "A" TO EASEMENT AGREEMENT
 B/W KEVIN + ANNETTE HAW + ASHLEY RATCLIFFE
 PAGE 1 OF 3

State of California)
 County of Marin) ss.

On February 16, 2010 before me, MARY J. SIEDMAN, Notary Public in and for said State, personally appeared ASHLEY RATCLIFFE who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal. (NOTARY SEAL)

 Signature of Notary Public


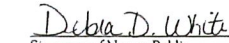

Commencing at the Northeastly corner of Lot 24 as shown upon that map entitled, "Plat of Granda Vista", filed for record in Book 1 of Maps, at Page 19, Marin County Records, also being the Northwestly corner of Lot 205 as shown upon that map entitled, "Mesa Addition to the Granda Vista Tract", filed for record in Book 5 of Maps, at Page 19, Marin County Records; thence Easterly along the Northerly line of said Lot 205, N 84deg 12' E, a distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence leaving said Northerly line of Lot 205, S 03deg 50' E, a distance of 2.91 feet; thence N 66deg 09' E, a distance of 17.38 feet; thence N 03deg 50' W, a distance of 3.50 feet to a point on said Northerly line of Lot 205; thence Westerly along said Northerly line of Lot 205, S 84deg 12' W, a distance of 17.38 feet to the TRUE POINT OF BEGINNING.

EX "A" - PAGE 2 OF 3

State of Jessie)
 County of Robertson) ss.

On March 8, 2010 before me, DEBRA WHITE, Notary Public in and for said State, personally appeared KEVIN HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

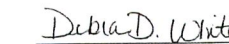

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

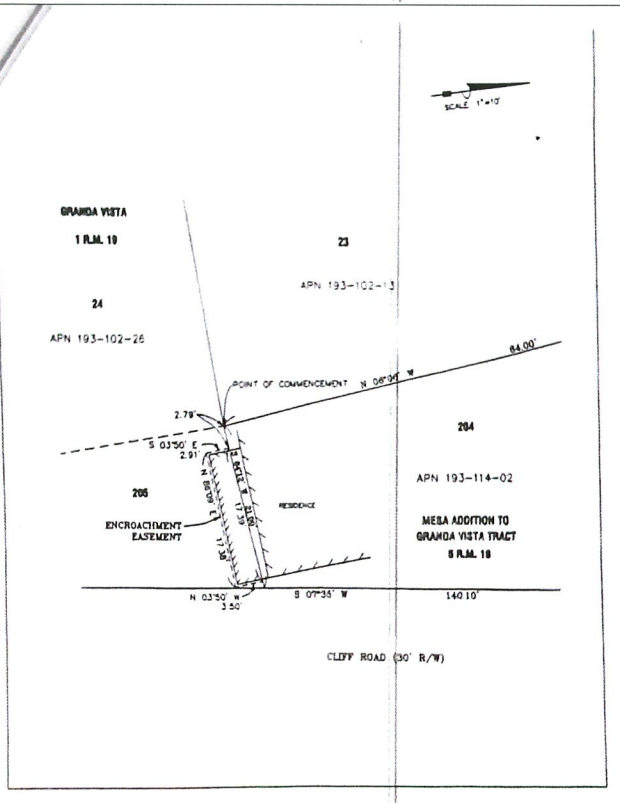
WITNESS my hand and official seal.

 Signature of Notary Public


State of Jessie)
 County of Robertson) ss.

On March 8, 2010 before me, Debra White, Notary Public in and for said State, personally appeared ANNETTE HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

 Signature of Notary Public




EX "A" - PAGE 3 OF 3

SUTRO ARCHITECTS
 415.966.3445
 sutroarchitects.com
 1055 Post Street, San Francisco CA 94109

BOLINAS RESIDENCE
 40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.08

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- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
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- ALL EXISTING UTILITIES TO REMAIN U.O.N. GC TO CONFIRM ALL UTILITY LOCATIONS & CAPACITIES.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINES. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

DEMO KEYNOTES:

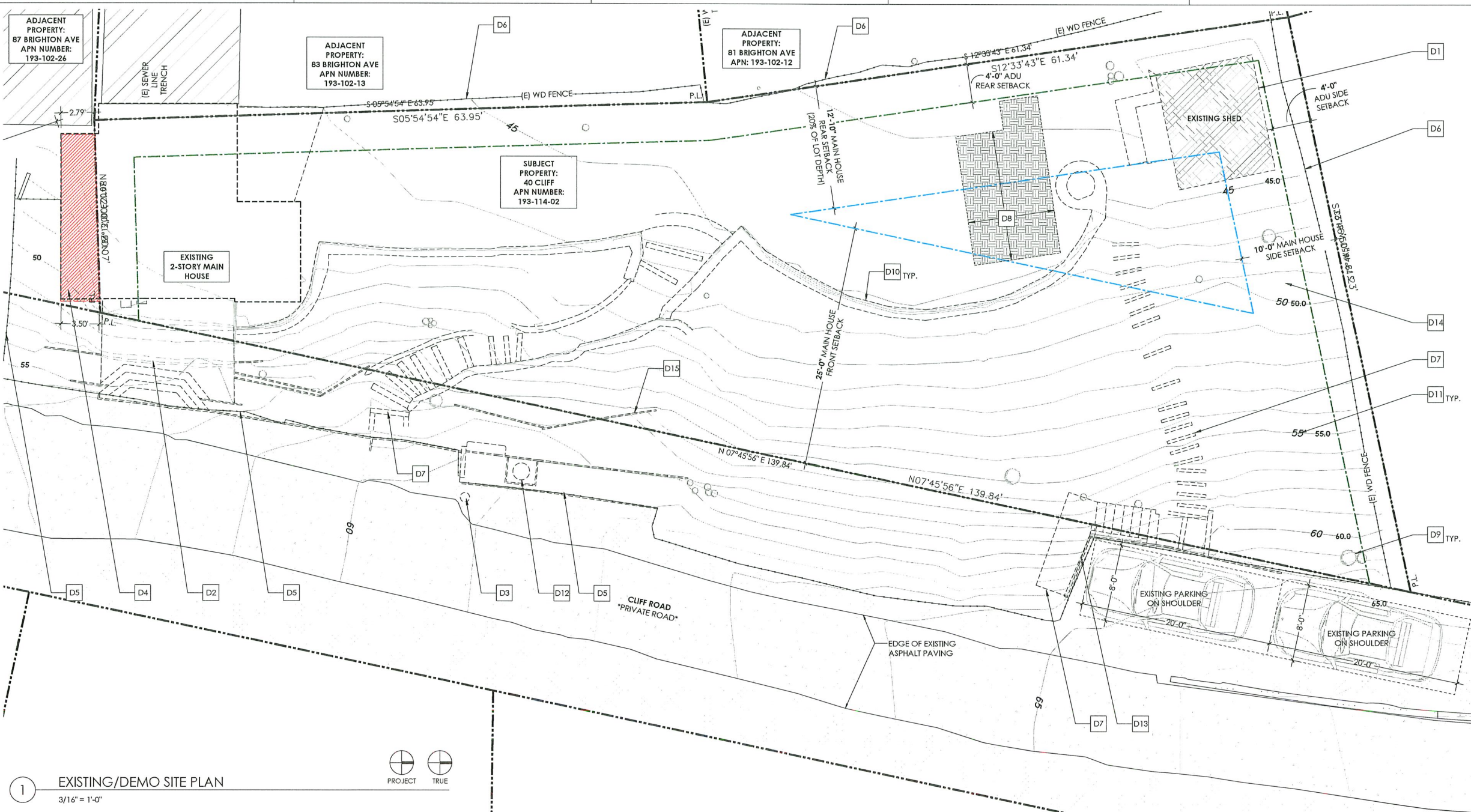
- D1 (E) SHED STRUCTURE TO BE DEMOLISHED
- D2 (E) NON-CONFORMING DECK TO BE REPAIRED AND MAINTAINED IN KIND
- D3 (E) END POLE TO BE REMOVED AND RELOCATED; SEE PG&E APPLICATION #124729161
- D4 (E) ENCROACHMENT EASEMENT WITH 87 BRIGHTON AVE
- D5 (E) NON-CONFORMING WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND
- D6 (E) WOOD FENCE TO BE REMOVED
- D7 (E) WOOD STAIRS TO BE REMOVED
- D8 EXTENTS OF (N) ADU CRAWLSPACE TBD
- D9 (E) TREES TO BE REMOVED U.O.N; SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL PLAN

DEMO KEYNOTES CONT.

- D10 (E) SITE RETAINING WALLS TO BE REMOVED. (E) SOIL TO BE HELD BACK TEMPORARILY FOR (N) SITE RETAINING WALLS. SEE PROPOSED SITE PLAN FOR (N) RETAINING WALL LOCATIONS.
- D11 SEE CIVIL DRAWINGS FOR PROPOSED SITE GRADING AND DRAINAGE PLANS
- D12 (E) PROPANE TANK TO BE REMOVED
- D13 (E) NON-CONFORMING WOOD RETAINING WALL TO BE REPAIRED AND MAINTAINED IN KIND.
- D14 (E) SOIL TO BE EXCAVATED FOR (N) BASEMENT
- D15 (E) WD RETAINING WALL TO BE REMOVED

EXISTING & DEMO SITE PLAN LEGEND:

- PROPERTY LINE
- SUBJECT PROPERTY
- MAIN HOUSE SETBACK
- ADU SETBACK
- ADJACENT NEIGHBOR'S BLDG
- AREA OF DEMOLITION
- EXISTING ELEMENTS TO BE REMOVED
- (E) ENCROACHMENT EASEMENT
- (E) FENCE TO BE REPAIRED & MAINTAINED
- (E) SOIL TO BE REMOVED FOR (N) ADU CRAWLSPACE



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PLANNING - R1 02.02.2025 ▲

PLANNING 10.27.2025 ▲

EXISTING / DEMO SITE PLAN

3/16" = 1'-0"

A1.10

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- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE

- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
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- PLEASE REFER TO A0.00 GENERAL NOTES FOR ALL PROJECT INFORMATION AND DATA

KEYNOTES:

- (N) SITE GRADING AND DRAINAGE; S.C.D., TYP.
- (E) WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND - ALL REPAIRS TO BE MINOR AND INCIDENTAL UP TO 50%.
- (E) MAIN HOUSE TO BE REPAIRED AND MAINTAINED IN KIND
- (N) 42" GUARDRAIL
- (N) STONE LANDING, TREADS AND RISERS; S.L.A.D.
- (N) WATER FEATURE; NOT TO EXCEED 18" DEEP
- (N) RETAINING WALLS NOT TO EXCEED 6'-0" FROM T.O.W TO B.O.F
- SEE PG&E APPLICATION #124729161 FOR NEW POLE
- (E) PARKING ON SHOULDER TO REMAIN
- (N) 36" HANDRAIL

KEYNOTES CONT.

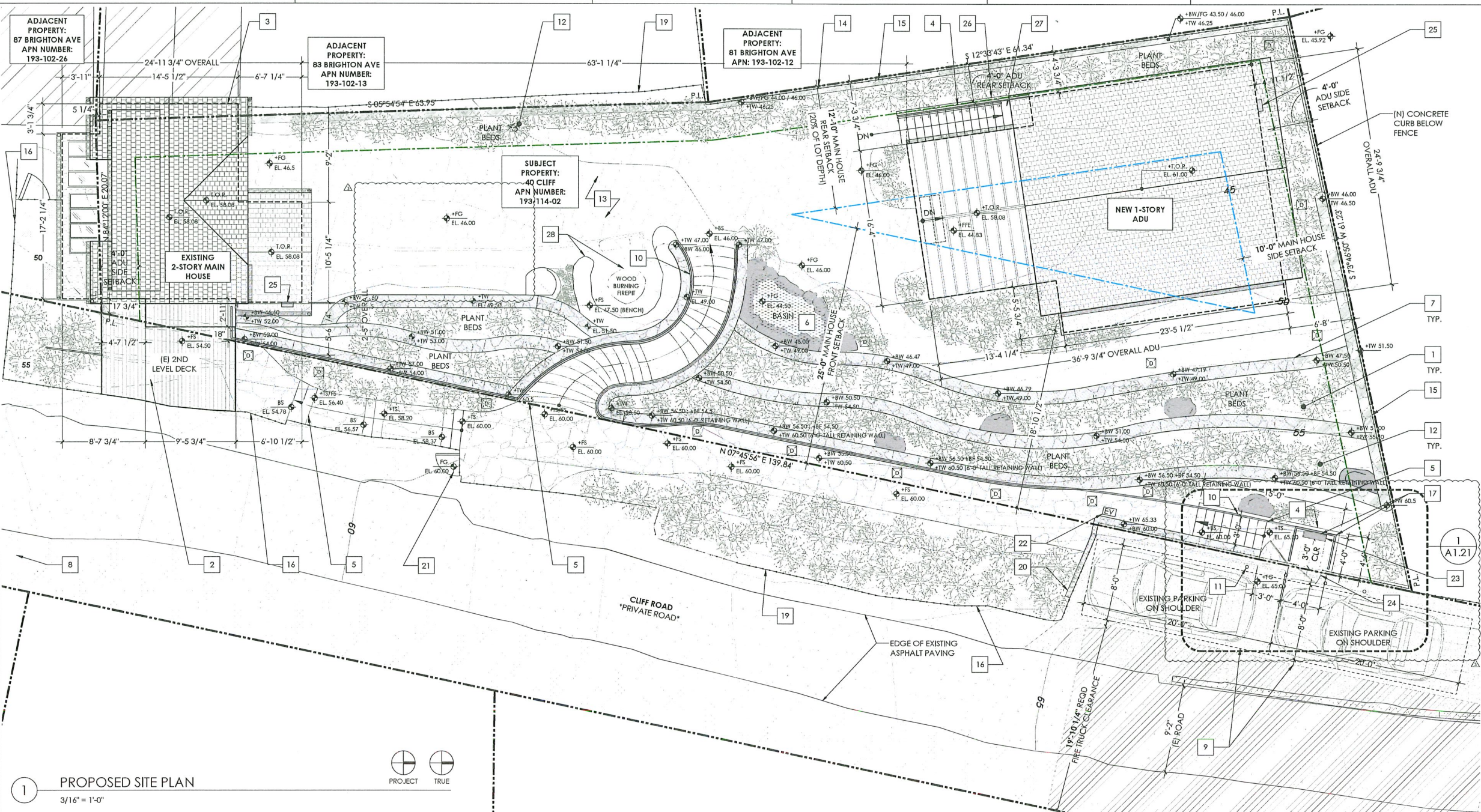
- NEW BOLLARDS PER PG&E
- (N) PLANT BEDS; SEE S.L.A.D.
- (N) STONE PAVERS; S.L.A.D.
- (N) CONC LAGGING RETAINING WALL ALONG WEST PROPERTY LINE
- (N) WOOD FENCE ALONG WEST / NORTH PROPERTY LINE
- (E) WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND; NOT TO EXCEED 6'-0" TALL
- (N) PLATFORM & CONCRETE RETAINING WALLS & PG&E METER
- NOT USED
- REPAIR & MAINTAIN (E) SECTION OF NON CONFORMING FENCE; NOT TO EXCEED 6'-0" TALL
- REPAIR AND MAINTAIN EXISTING RETAINING WALL

KEYNOTES CONT.

- REPLACE (E) ENTRY GATE IN KIND
- EV CHARGING STATION PER CAL GREEN 4.106.4
- (N) ELEC SWITCHBOARD/METER INSTALLED PER PG&E
- (N) 36"W KEYED GATE FOR PG&E ACCESS
- (N) WALL MTD ELEC CIRCUIT BREAKER PANEL
- (N) CURB
- SUMP PUMP @ B.O. STAIR; SEE CIVIL DRAWINGS
- SITE FEATURE NOT TO EXCEED 18" ABV. GRADE.

PROPOSED SITE PLAN LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- ADJACENT NEIGHBOR'S BLDG
- STONE PAVERS
- ROOF SHINGLES
- PLANTING BED: SEE LANDSCAPE DWGS
- FENCE
- AREA DRAIN: SEE CIVIL DWGS
- GRAVEL DRIVE
- ASPHALT / CONCRETE



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PROPOSED SITE PLAN

3/16" = 1'-0"

A1.20

PLANNING - R2 03.27.2025
PLANNING - R1 02.02.2025
PLANNING 10.27.2025

LEGASED ARCHITECT
STEPHEN HUIJRO
02.28.2027
RENEWAL DATE
STATE OF CALIFORNIA

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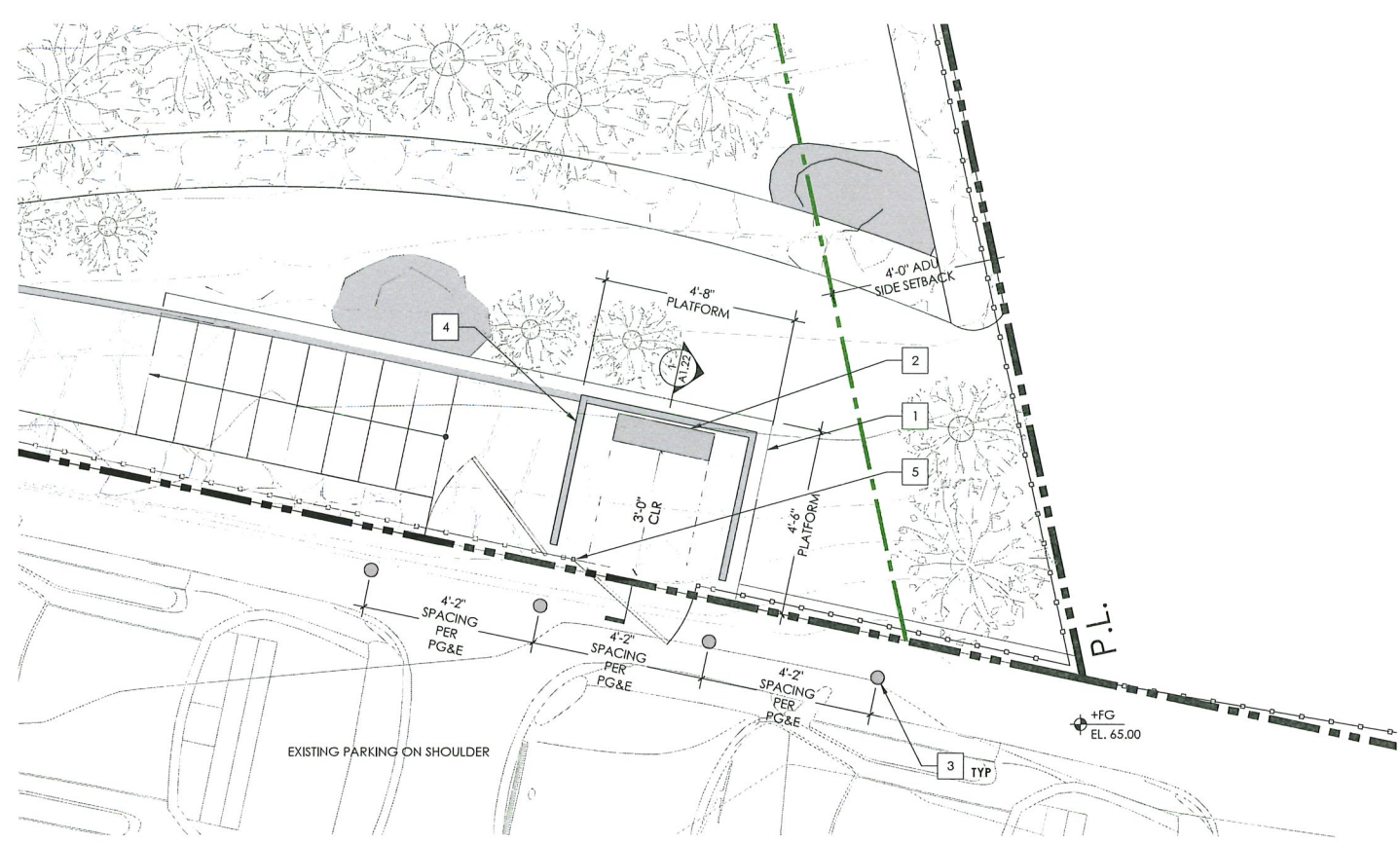
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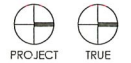
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- (N) PG&E METER
- (N) BOLLARDS PER PG&E
- (N) 42"H GUARDRAIL
- (N) WOOD GATE TO MATCH (E) FENCE

PROPOSED SITE PLAN LEGEND:

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- GRAVEL DRIVE
- ASPHALT / CONCRETE



1 ENLARGED PLAN @ PG&E PLATFORM
1/2" = 1'-0"



BOLINAS RESIDENCE

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03.27.2026

PLANNING - R1
02.02.2026

PLANNING
10.27.2025

ENLARGED PLAN:
PG&E PLATFORM

1/2" = 1'-0"

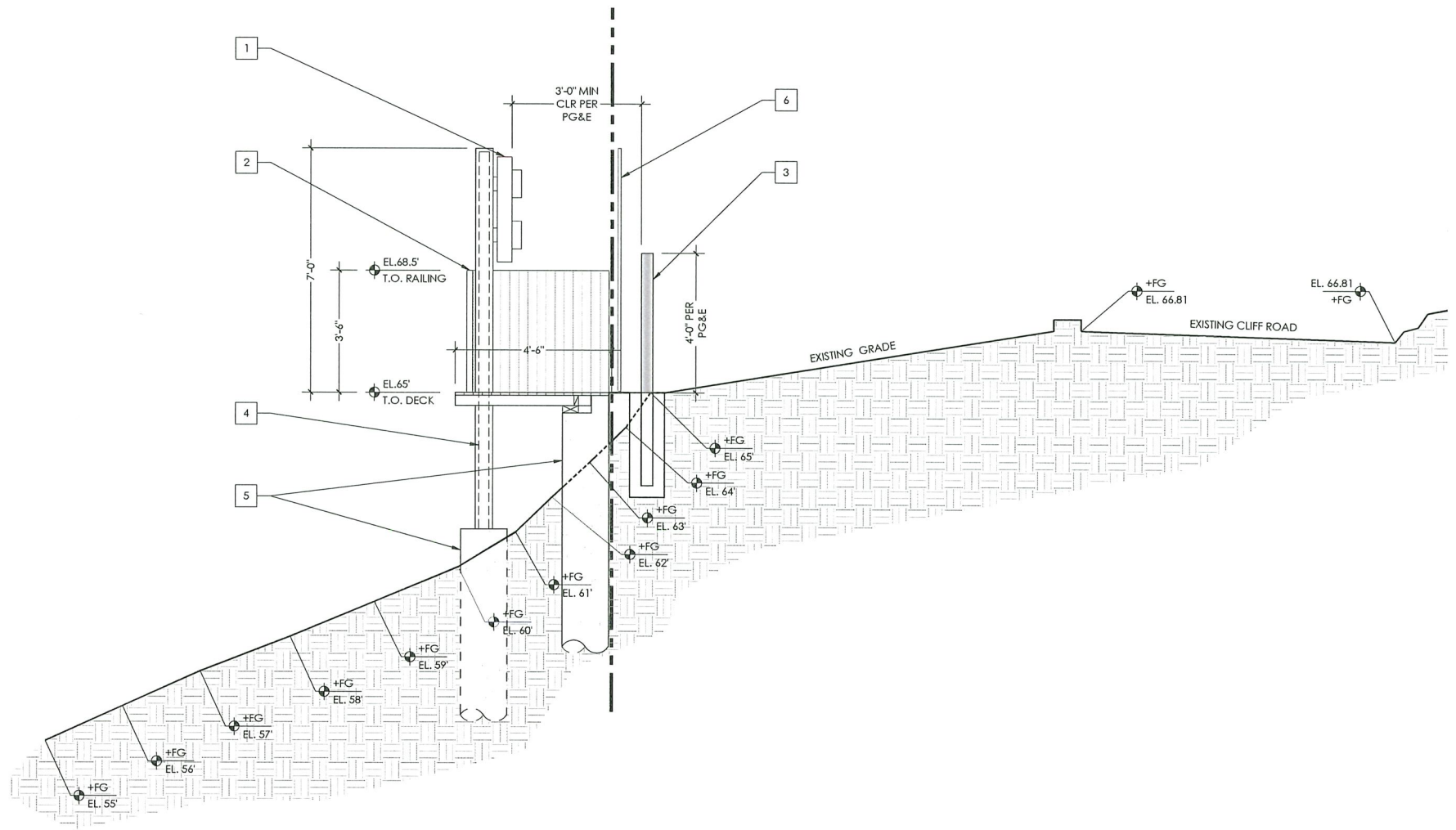
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- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

- KEYNOTES:**
- PG&E BACKBOARD
 - 42" TALL WOOD RAILING
 - FIXED BOLLARDS PER PG&E
 - STRUCTURAL POST
 - CONC. DRILLED PIERS
 - WOOD GATE TO MATCH (E) FENCE



1 PROPOSED SECTION @ PG&E PLATFORM
1/2" = 1'-0"

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PLANNING - R1	▲
02.02.2026	
PLANNING	▲
10.27.2025	

PROPOSED
SITE SECTIONS:
PG&E PLATFORM

1/2" = 1'-0"

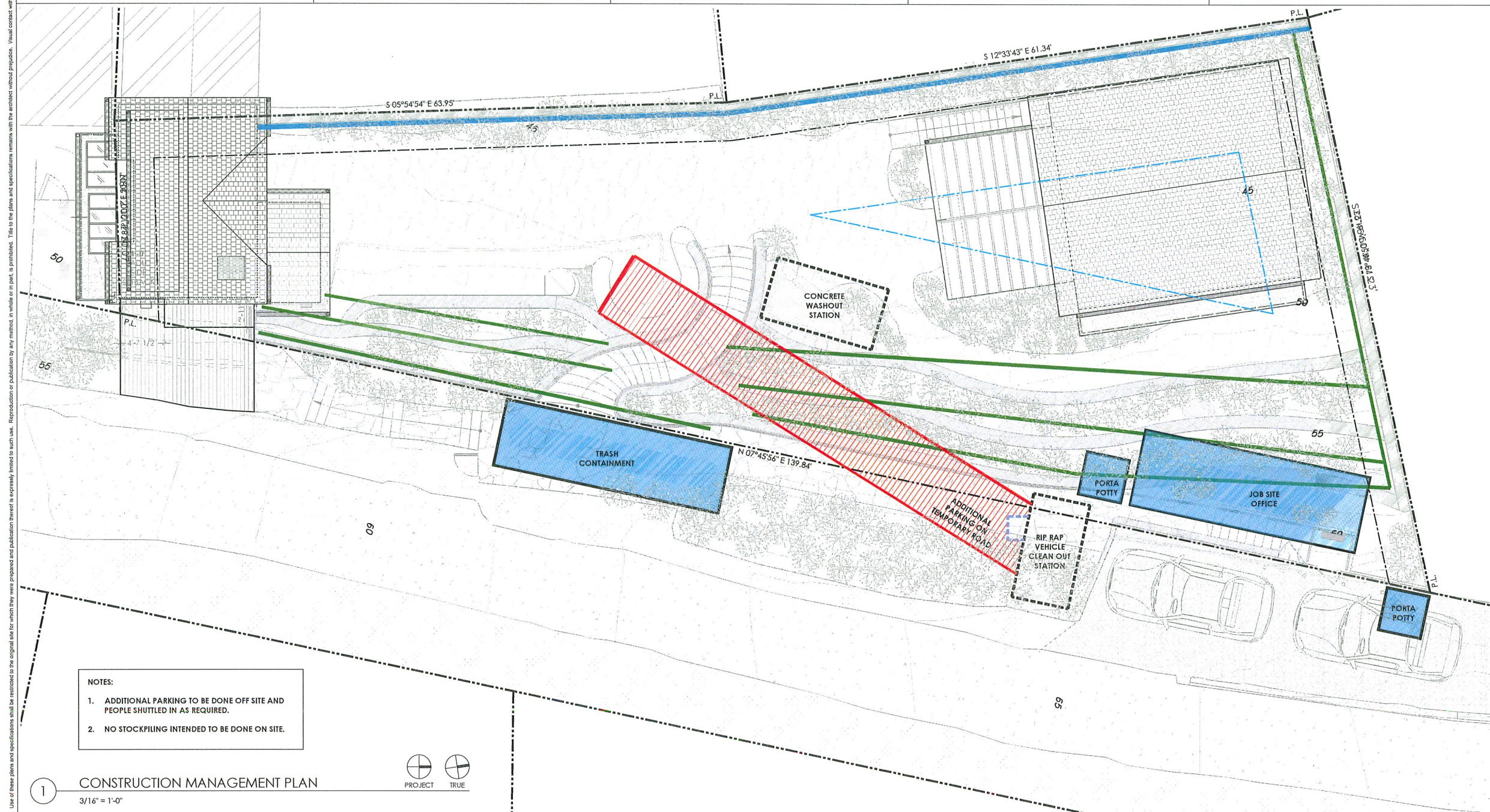
A1.22

GENERAL NOTES:

- DUST REDUCTION.** DUST REDUCTION SHALL BE CONSISTENT WITH THE BAY AIR QUALITY MANAGEMENT DISTRICT'S BASIC CONTROL MEASURES.

KEYNOTES:

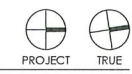
- LEGEND:**
- PROPERTY LINE
 - - - REQ'D SETBACK
 - ▨ CONSTRUCTION STAGING AREA
 - ▬ DRAIN ROCK SWALE AT NEW RETAINING WALL (WATER MANAGEMENT)
 - ▨ TEMPORARY BASEROCK ROAD
 - ▬ FIBER ROLLS AND SILT FENCE, EROSION CONTROL BLANKETS TO BE INSTALLED AS REQ'D PER CIVIL
 - ▭ DRAIN INLET PROTECTION



NOTES:

- ADDITIONAL PARKING TO BE DONE OFF SITE AND PEOPLE SHUTTLED IN AS REQUIRED.
- NO STOCKPILING INTENDED TO BE DONE ON SITE.

1 CONSTRUCTION MANAGEMENT PLAN
3/16" = 1'-0"



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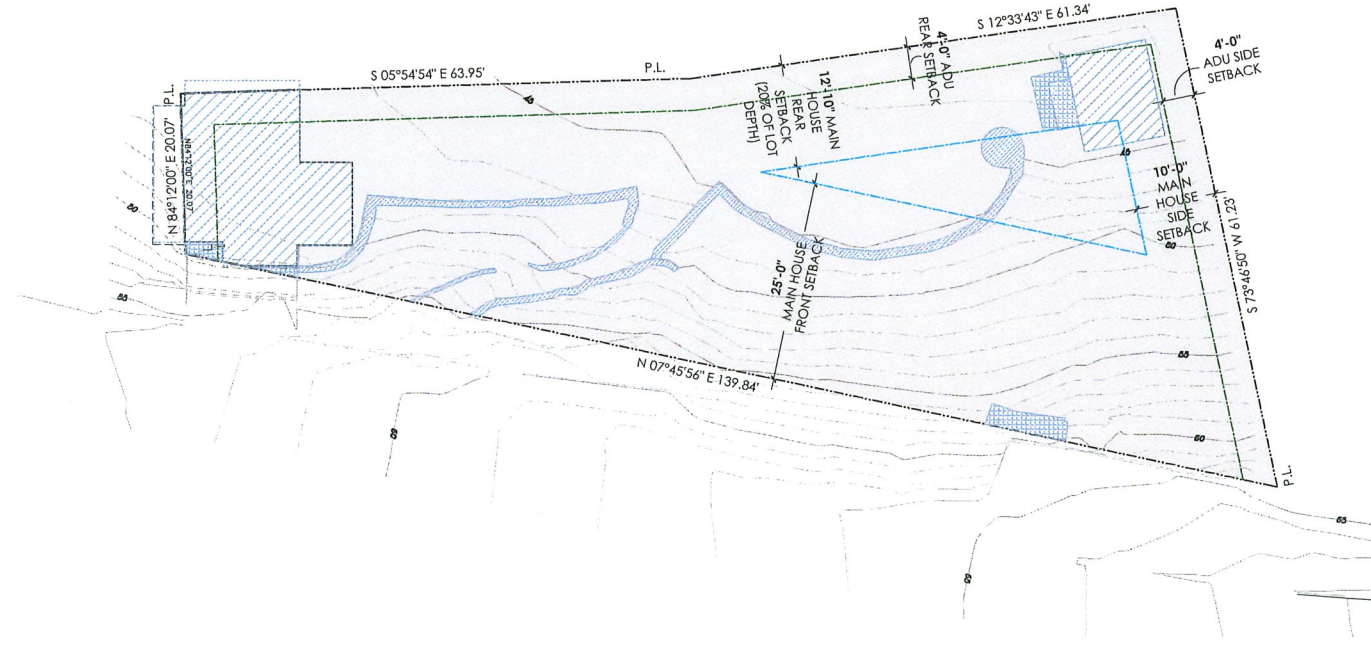


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10.27.2025

CONSTRUCTION MANAGEMENT PLAN

3/16" = 1'-0"
A1.30

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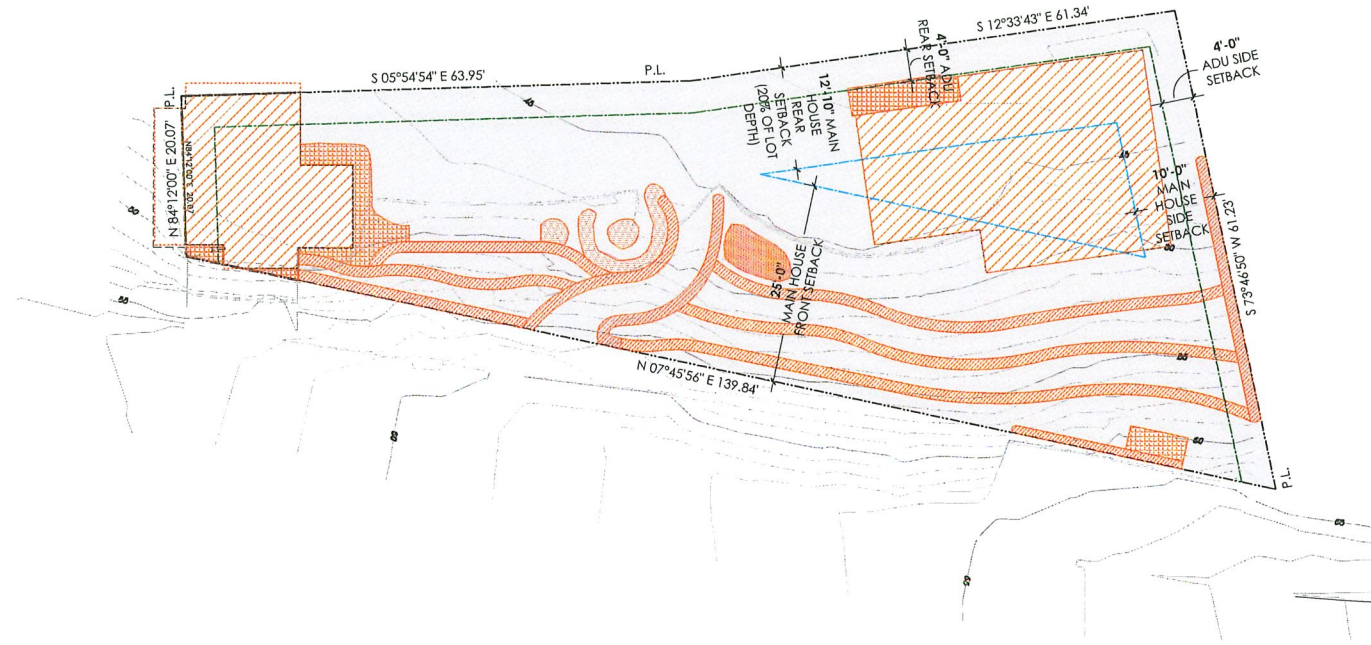
LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- [Blue Hatched Box] IMPERVIOUS COVER: STRUCTURE
- [Blue Dotted Box] IMPERVIOUS COVER: WALKING SURFACE
- [Blue Stippled Box] IMPERVIOUS COVER: RETAINING WALLS
- [White Box] PERVIOUS COVER

IMPERVIOUS / PERVIOUS CALCULATIONS

EXISTING IMPERVIOUS: 743 SF
 EXISTING PERVIOUS: 4,195 SF
 TOTAL LOT AREA: 4,938 SF

2 EXISTING IMPERVIOUS COVER
 3/32" = 1'-0"



LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- [Orange Hatched Box] IMPERVIOUS COVER: STRUCTURE
- [Orange Dotted Box] IMPERVIOUS COVER: WALKING SURFACE
- [Orange Stippled Box] IMPERVIOUS COVER: RETAINING WALLS
- [Orange Solid Box] IMPERVIOUS COVER: WATER FEATURE
- [Orange Diagonal Box] IMPERVIOUS COVER: MISC. SITE FEATURE
- [White Box] PERVIOUS COVER

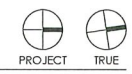
IMPERVIOUS / PERVIOUS CALCULATIONS

PROPOSED IMPERVIOUS: 1,894 SF
 PROPOSED PERVIOUS: 3,110 SF
 TOTAL LOT AREA: 4,938 SF

NEW/REPLACED IMPERVIOUS CALCULATIONS

PROPOSED NEW/REPLACED IMPERVIOUS:
 1,861 SF - 371 SF = 1,490 SF

1 PROPOSED IMPERVIOUS COVER
 3/32" = 1'-0"



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 1055 Post Street, San Francisco CA
 94109

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 BOLINAS, CA 94924
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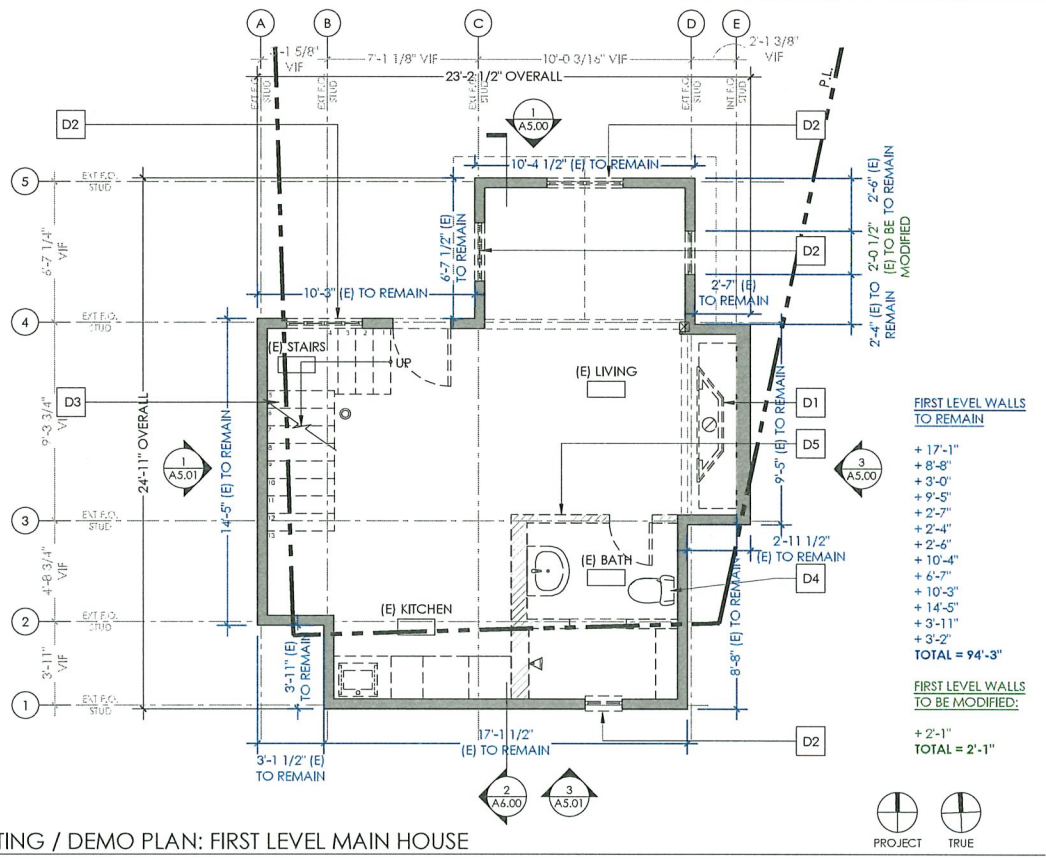
PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

EXISTING AND PROPOSED IMPERVIOUS COVER PLAN

3/32" = 1'-0"

A1.31

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1 EXISTING / DEMO PLAN: FIRST LEVEL MAIN HOUSE
1/4" = 1'-0"

GENERAL FLOOR AREA PLANNING NOTES:

FLOOR AREA. PER MCC 22.130.030, FLOOR AREA IS THE SUM OF THE GROSS AREA OF ALL FLOORS IN ALL BUILDINGS ON A SITE, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, INCLUDING ENCLOSED UNDERSTORY, BASEMENT AND ATTIC SPACE THAT CAN BE EASILY COVERED TO LIVING AREA BUT EXCLUDING:

- ALL UNENCLOSED HORIZONTAL SURFACES, INCLUDING BALCONIES, COURTS, DECKS, PORCHES, TERRACES;
- FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST TWO HUNDRED FIFTY SQUARE FEET OF FLOOR AREA OF ALL DETACHED ACCESSORY STRUCTURES NOT DESIGNED FOR AND/OR USED FOR HABITABLE SPACE;
- FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST FIVE HUNDRED AND FORTY (540) SQUARE FEET OF GARAGE AREAS PERMANENTLY ALLOCATED FOR VEHICLE PARKING;
- FOR TWO-FAMILY, MULTI-FAMILY, AND NON-RESIDENTIAL STRUCTURES, ALL FLOOR AREA THAT IS REQUIRED TO MEET MINIMUM PARKING STANDARDS UNDER TITLE 24; EXTERIOR WALL THICKNESS OF GREATER THAN SIX INCHES, WHERE THE ADDITIONAL WALL THICKNESS RESULTS IN GREATER ENERGY EFFICIENCY (E.G., STRAW BALE CONSTRUCTION OR EARTHEN WALL CONSTRUCTION), AS DEMONSTRATED BY THE APPLICANT AND SUBJECT TO THE APPROVAL OF THE DIRECTOR; AND
- BAY WINDOWS.

THE FLOOR AREA OF STAIRWAYS, ELEVATORS, AND OTHER VERTICAL ACCESSES, IS INCLUDED IN THE TOTAL FLOOR AREA ONLY AS TO THE "FOOTPRINT" (AREA AT THE BASE) OF THE VERTICAL ACCESS, AND IS NOT COUNTED AT EACH FLOOR OF A BUILDING. IN ORDER TO QUALIFY AS AN UNENCLOSED HORIZONTAL SURFACE, AT LEAST ONE OF THE LONGEST WALL PLANES OF THE SPACE SHALL BE KEPT OPEN WITH THE EXCEPTION THAT RAILINGS WITH A SURFACE AREA THAT IS AT LEAST 50 PERCENT OPEN AND UNOBSTRUCTED BY STRUCTURAL ELEMENTS AND THAT ARE NECESSARY FOR SAFETY OR CONVENIENCE PURPOSES MAY BE ALLOWED WITHIN THE OPEN WALL PLANE, AS DEFINED HEREIN. UNDERSTORY, BASEMENT, AND ATTIC SPACE THAT CAN BE CONVERTED TO HABITABLE AREA WITH AN INTERIOR REMODEL INCLUDES: (1) ENCLOSED UNCONDITIONED AND UNIMPROVED AREAS THAT YIELD A MINIMUM CLEAR ROOM AREA OF 7 FEET BY 7 FEET AND A MINIMUM CEILING HEIGHT OF 7 FEET OR HIGHER; AND (2) ALL ATTIC AREAS WITH A MINIMUM CEILING HEIGHT OF 5 FEET OR HIGHER.

GENERAL DEMO NOTES:

- CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
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- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
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- IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW & APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
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GENERAL FLOOR PLAN NOTES:

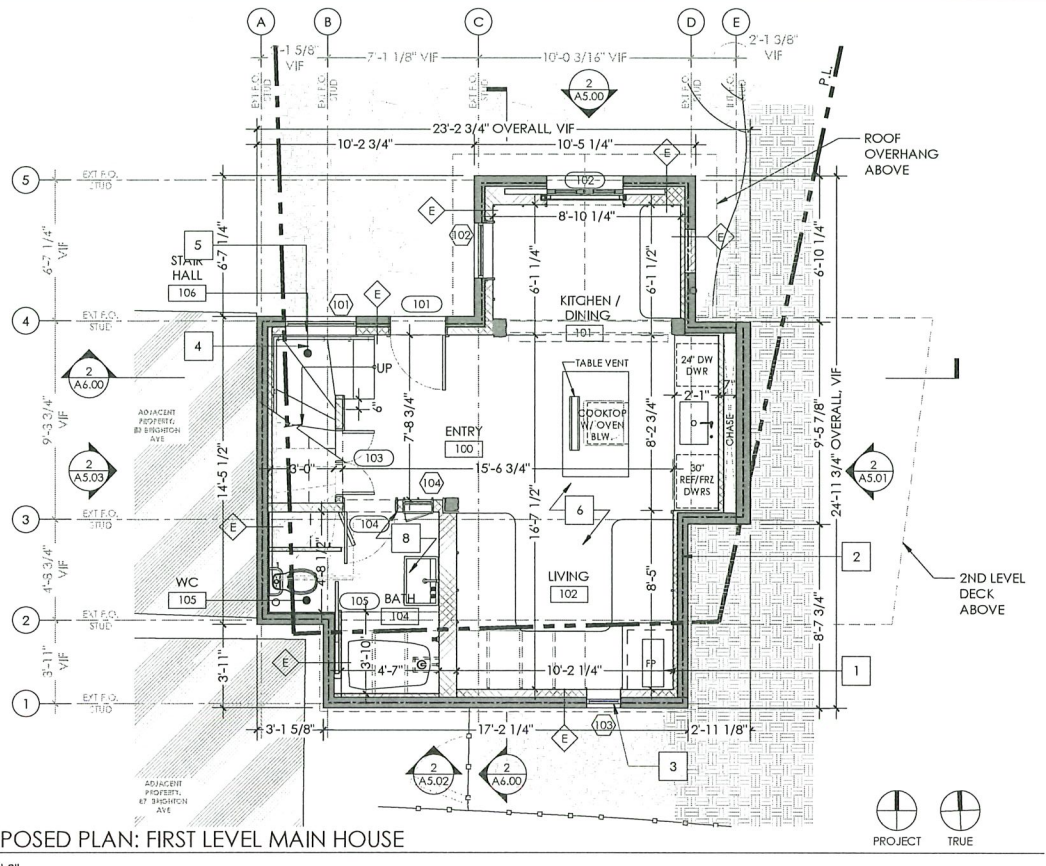
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SUTRO ARCHITECTS

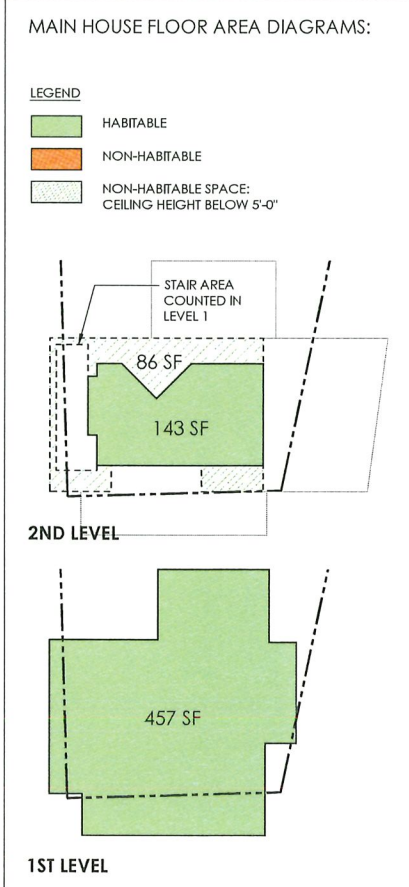
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2 PROPOSED PLAN: FIRST LEVEL MAIN HOUSE
1/4" = 1'-0"



MAIN HOUSE DEMO CALC (IN LINEAR FT)

	(E) WALLS TO REMAIN	(E) WALLS TO BE REMOVED	(E) WALLS TO BE MODIFIED	TO ADD	TOTAL EXISTING	% REMOVED
1ST LEVEL	94.29	-	2.04	-	94.29	0%
2ND LEVEL	57.5	9.47	1.83	-	67.17	14.40%
TOTAL	151.79	9.47	3.87	-	161.46	5.99%

MAIN HOUSE AREA CALC (IN SQUARE FT)

	HABITABLE	NON-HABITABLE (NOT INCLUDED IN FAR)	TOTAL
1ST LEVEL	457	0	457
2ND LEVEL	143	86	229
TOTAL	600	86	686

DEMO KEY NOTES:

- D1 (E) FIREPLACE TO BE REMOVED
- D2 (E) WINDOW TO BE REMOVED & REPLACED
- D3 (E) WOOD STAIRS TO BE REMOVED & REPLACED
- D4 (E) PLUMBING FIXTURES TO BE REMOVED, TYP.
- D5 (E) WALLS TO BE REMOVED, TYP.

KEY NOTES:

- (N) DIRECT VENT OR SEALED COMBUSTION FIREPLACE
- 5/8" TYPE X GWB BEHIND ALL EXTERIOR WALLS, TYP.
- (N) NON-OPERABLE 1-HR FIRE RATED WINDOW IN (E) OPENING
- (N) WINDER STAIR TREADS & RISERS PER CBC SECTION 1011.4 & 1011.5.3. RISER HEIGHT AND TREAD DEPTH PER CBC SECTION 1011.5.
- (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2-1014.9
- (N) KITCHEN APPLIANCES, FIXTURES & FINISHES
- NOT USED
- (N) BATH FIXTURES & FINISHES

DEMO PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (N) WALLS & PARTITIONS
- 1-HOUR RATED WALL
- WINDOW TAG
- DOOR TAG
- WALL TYPE



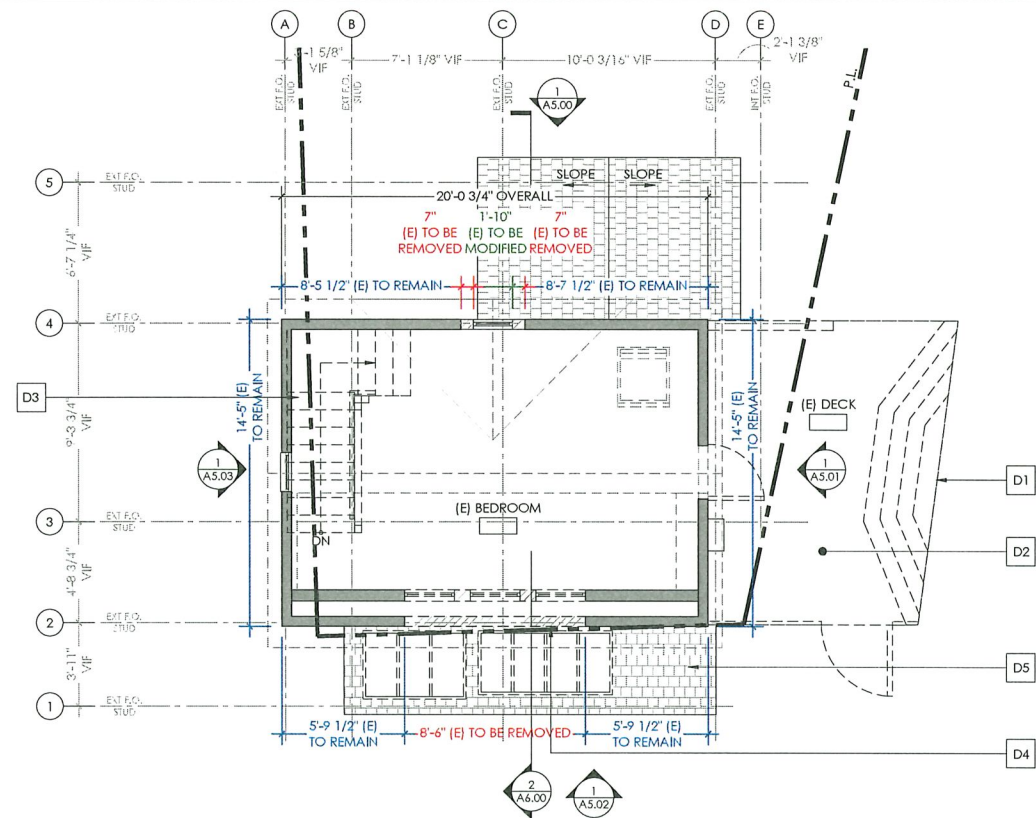
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03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
FIRST LEVEL

1/4" = 1'-0"

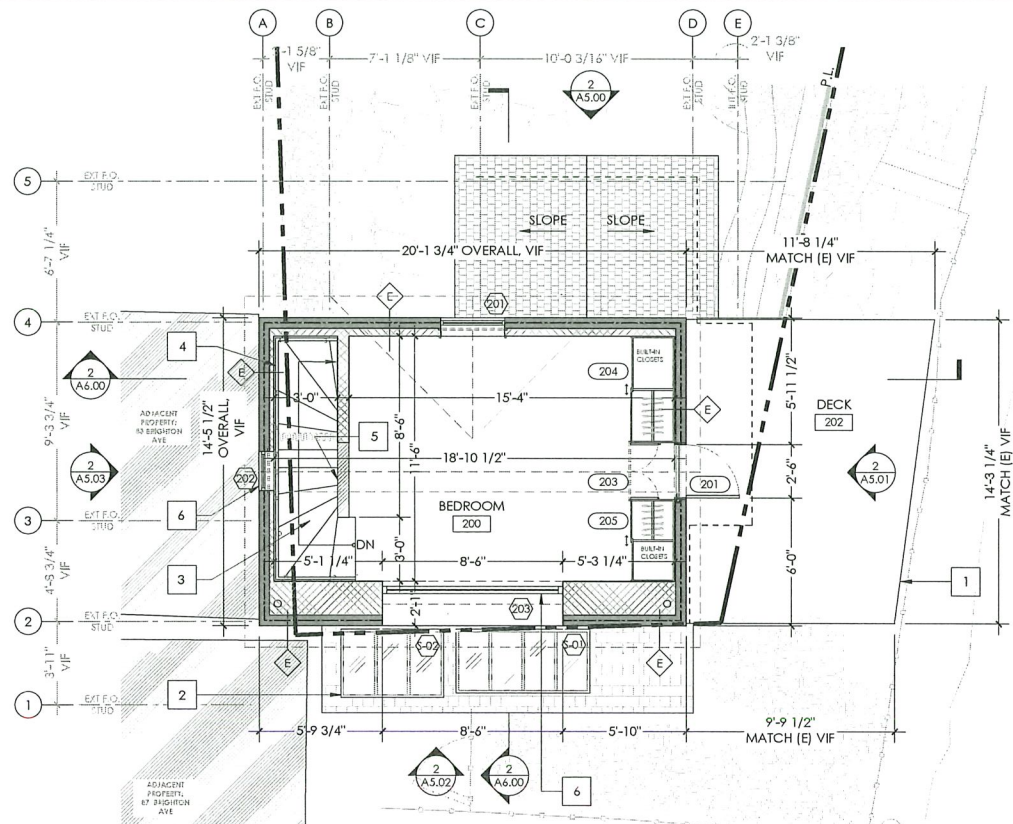
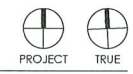
A2.01

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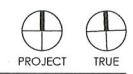


1 EXISTING / DEMO PLAN: SECOND LEVEL MAIN HOUSE
1/4" = 1'-0"

- SECOND LEVEL WALLS TO REMAIN:**
- + 5'-9 1/2"
 - + 5'-9 1/2"
 - + 14'-5"
 - + 8'-7 1/2"
 - + 8'-7 1/2"
 - + 14'-5"
 - TOTAL = 57'-6"**
- SECOND LEVEL WALLS TO BE REMOVED:**
- + 7"
 - + 7"
 - + 8'-6"
 - TOTAL = 9'-8"**
- SECOND LEVEL WALLS TO BE MODIFIED:**
- + 1'-10"
 - TOTAL = 1'-10"**



2 PROPOSED PLAN: SECOND LEVEL MAIN HOUSE
1/4" = 1'-0"



GENERAL DEMO NOTES:

1. CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
2. CONTRACTOR TO IDENTIFY AREAS OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
3. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
4. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, & OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
5. DASHED LINES ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES & HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
6. IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW & APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
7. ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS IF APPLICABLE SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS & PARTITIONS.
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GENERAL FLOOR PLAN NOTES:

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DEMO KEY NOTES:

- D1 (E) EXTERIOR STEPS TO BE REMOVED
- D2 (E) WOOD DECK TO BE REMOVED & REPLACED
- D3 (E) WOOD STAIRS TO BE REMOVED & REPLACED
- D4 REMOVE (E) WALL & WINDOWS FOR (N) REVERSE DORMER
- D5 (E) SKYLIGHTS TO BE REMOVED AND REPLACED IN KIND

KEY NOTES:

- 1 (N) WD DECK TO BE REPAIRED AND MAINTAINED IN KIND - ALL REPAIRS TO BE MINOR AND INCIDENTAL UP TO 50%
- 2 (N) SKYLIGHTS TO REPLACE (E) IN KIND
- 3 (N) WINDER STAIR TREADS & RISERS PER CBC SECTION 1011.4 & 1011.5.3. RISER HEIGHT AND TREAD DEPTH PER CBC SECTION 1011.5.
- 4 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2-1014.9
- 5 (N) GUARDRAIL @ 42" AFF PER CBC SECTION 1015.3
- 6 (N) NON-OPERABLE 1-HR FIRE RATED WINDOW N (E) OPENING

DEMO PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- (E) WALLS TO REMAIN
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- (E) WALLS TO REMAIN
- (N) WALLS & PARTITIONS
- 1-HOUR RATED WALL
- ⊗ WINDOW TAG
- ⊗ DOOR TAG
- ⊗ WALL TYPE

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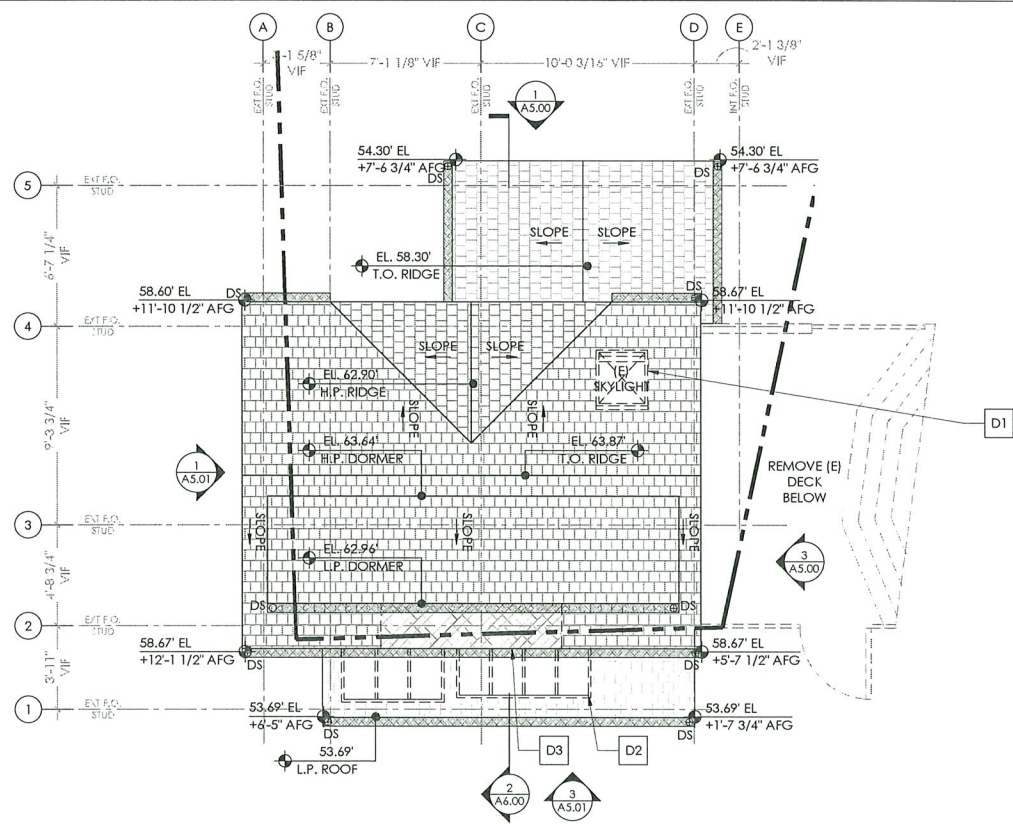
PLANNING - R2
03.27.2026
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02.02.2026
PLANNING
10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
SECOND LEVEL

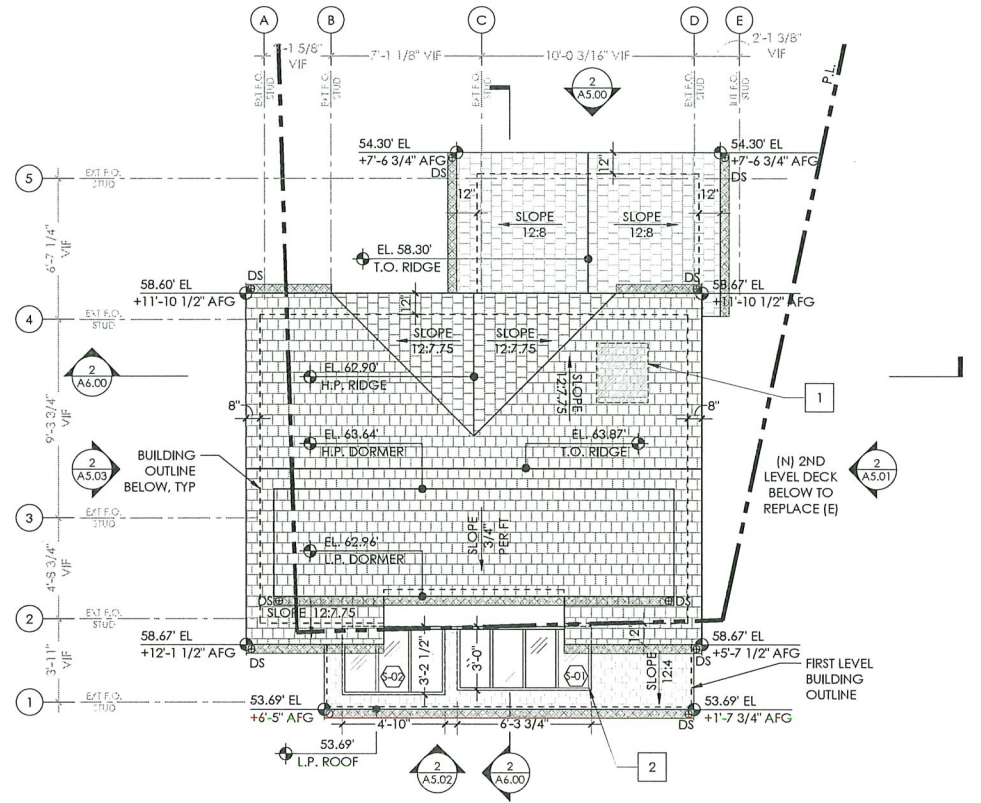
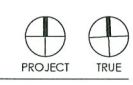
1/4" = 1'-0"

A2.02

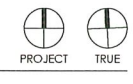
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1 EXISTING / DEMO ROOF PLAN: MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED ROOF PLAN: MAIN HOUSE
1/4" = 1'-0"



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DEMO KEY NOTES:

- D1 (E) SKYLIGHT TO BE REMOVED
- D2 (E) SKYLIGHTS TO BE REMOVED AND REPLACED IN KIND
- D3 REMOVE PORTION OF (E) ROOF & FRAMING

KEY NOTES:

- 1 PATCH & INFILL ROOF TO MATCH (E)
- 2 (N) SKYLIGHTS TO REPLACE (E) IN KIND

EXISTING / DEMO ROOF PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Hatched Box] (E) ROOFING TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Hatched Box] NON-COMBUSTIBLE CLASS A RATED TERRACOTTA ROOF SHINGLES
- [Flat Box] FLAT ROOF
- [Star Symbol] ROOF DRAIN
- [DS Symbol] GUTTER / DOWNSPOUT

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PLANNING 10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
ROOF

1/4" = 1'-0"

A2.03

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1. ALL UNENCLOSED HORIZONTAL SURFACES, INCLUDING BALCONIES, COURTS, DECKS, PORCHES, TERRACES;
2. FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST TWO HUNDRED FIFTY SQUARE FEET OF FLOOR AREA OF ALL DETACHED ACCESSORY STRUCTURES NOT DESIGNED FOR AND/OR USED FOR HABITABLE SPACE;
3. FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST FIVE HUNDRED AND FORTY (540) SQUARE FEET OF GARAGE AREAS PERMANENTLY ALLOCATED FOR VEHICLE PARKING;
4. FOR TWO-FAMILY, MULTI-FAMILY, AND NON-RESIDENTIAL STRUCTURES, ALL FLOOR AREA THAT IS REQUIRED TO MEET MINIMUM PARKING STANDARDS UNDER TITLE 24;
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6. BAY WINDOWS.

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ADU FLOOR AREA CALC:

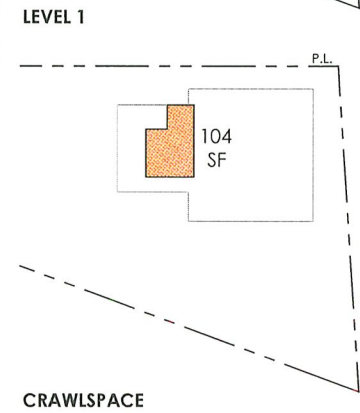
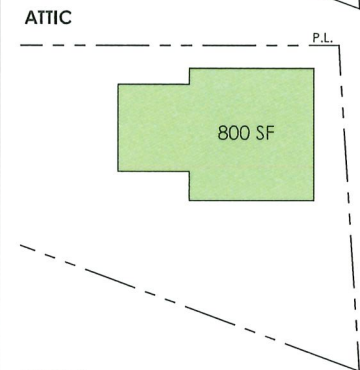
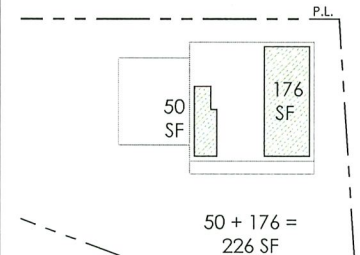
(IN SQUARE FEET)			
	HABITABLE	NON-HABITABLE (NOT COUNTED IN F.A.R.)	TOTAL
CRAWLSPACE	0	104	104
FIRST LEVEL	800	0	800
ATTIC	0	226	266
TOTAL	800	330	1,170

TOTAL FLOOR AREA PROPOSED	800
TOTAL FLOOR AREA ALLOWED	800

ADU FLOOR AREA DIAGRAMS:

LEGEND

- HABITABLE
- NON-HABITABLE
- NON-HABITABLE SPACE: CEILING HEIGHT BELOW 5'-0"



GENERAL FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

KEY NOTES:

- 1 (N) STAIR RISERS & TREADS PER CBC SECTION 1011.5.1 THROUGH 1011.5.3
- 2 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2 TO 1014.9

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (N) WALLS & PARTITIONS
- 1-HOUR RATED WALL
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- MAIN HOUSE SETBACK
- ADU SETBACK
- LUTRON/SHADE PANEL TBD
- EGRESS PATH & LENGTH OF PATH SEGMENT

BOLINAS RESIDENCE SUTRO ARCHITECTS

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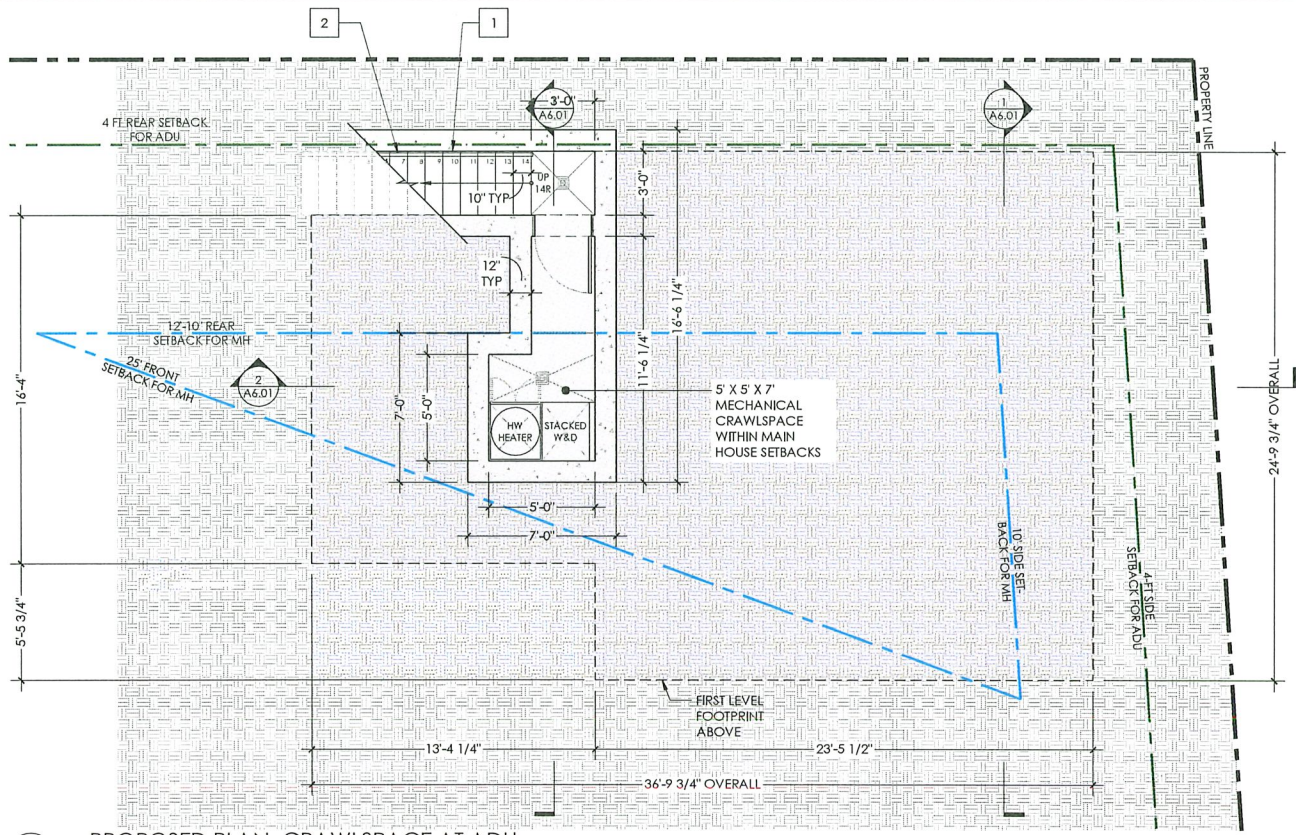


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PLANNING - R1
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PLANNING
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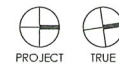
PROPOSED PLAN:
ADU
CRAWLSPACE

1/4" = 1'-0"

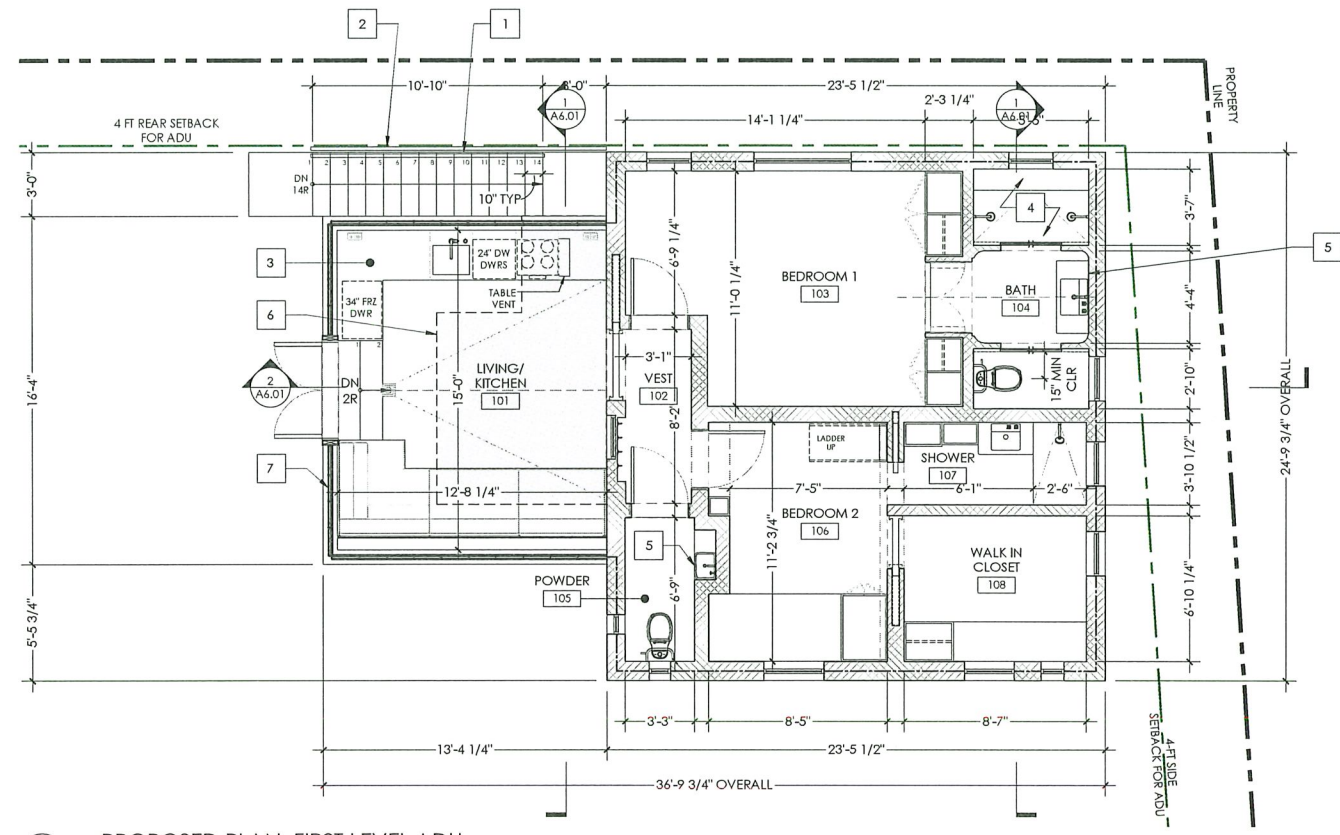
A2.04



1 PROPOSED PLAN: CRAWLSPACE AT ADU
1/4" = 1'-0"



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1 PROPOSED PLAN: FIRST LEVEL ADU
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

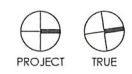
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
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5. ALL INTERIOR DOORS AT FIRST LEVEL ADU TO HAVE DROP THRESHOLDS FOR FULL BLACKOUT IN BEDROOMS.

KEY NOTES:

- 1 (N) STAIR RISERS & TREADS PER CBC SECTION 1011.5.1 THROUGH 1011.5.3
- 2 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2 TO 1014.9
- 3 (N) ELEC. APPLIANCES, FIXTURES & FINISHES IN KITCHEN
- 4 (N) FIXTURES & FINISHES, TYP
- 5 (N) SOLID STONE CARVED SINK
- 6 LINE OF CRAWLSPACE BELOW
- 7 (N) ALUMINUM & GLASS WALL/ROOF SYSTEM: SEE EXT ELEVS

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▬ (E) WALLS TO REMAIN
- ▬ (N) WALLS & PARTITIONS
- ▬ 1-HOUR RATED WALL
- ⊗ WINDOW TAG
- ⊗ DOOR TAG
- ⊗ WALL TYPE
- ▬ MAIN HOUSE SETBACK
- ▬ ADU SETBACK
- ▬ LUTRON/SHADE PANEL TBD
- ▬ EGRESS PATH & LENGTH OF PATH SEGMENT



SUTRO ARCHITECTS

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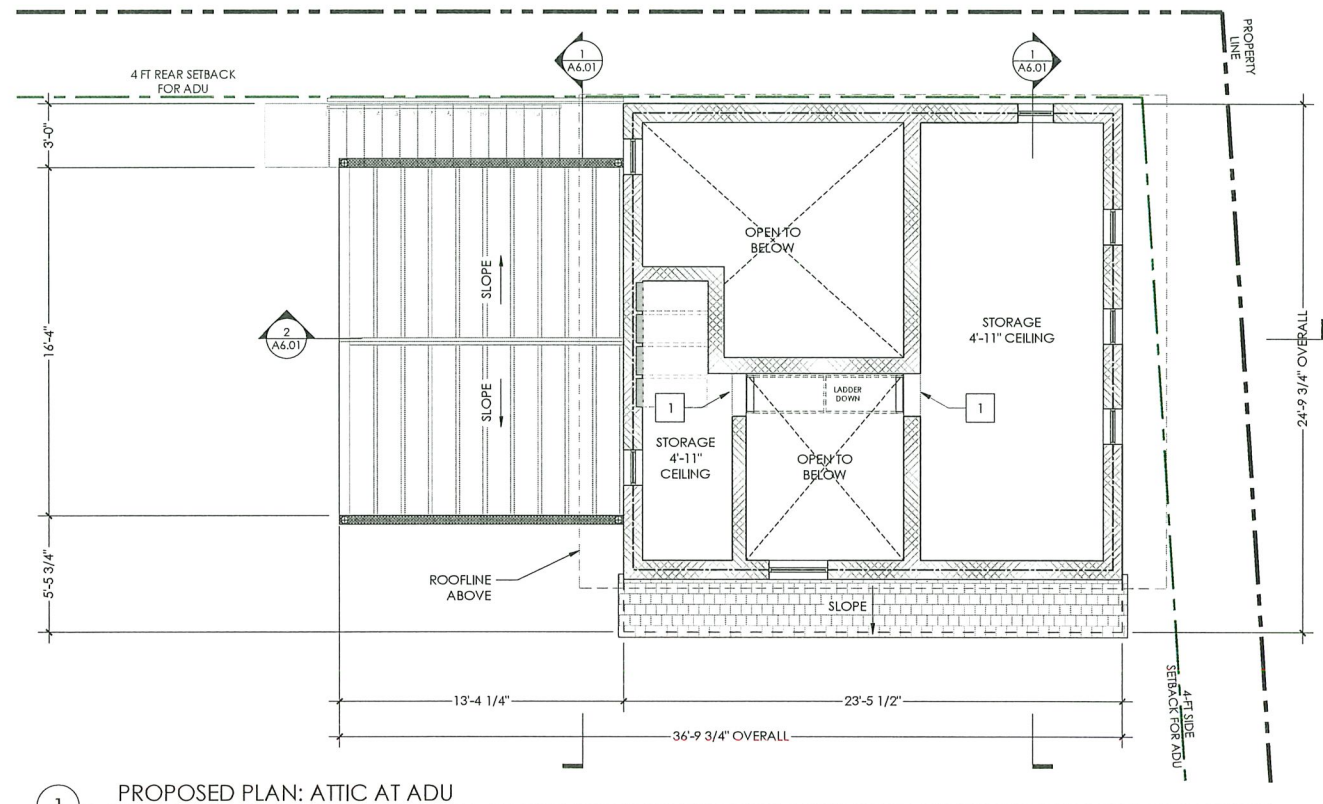
PLANNING - R2
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PLANNING
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ADU
PROPOSED PLAN:
ADU

FIRST LEVEL

A2.05

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1 PROPOSED PLAN: ATTIC AT ADU
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

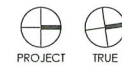
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
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KEY NOTES:

- 1 ATTIC ACCESS IN WALL OPENINGS SHALL BE MIN 22"W X 30"H PER CRC R807.1

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▬ (E) WALLS TO REMAIN
- ▬ (N) WALLS & PARTITIONS
- ▬ 1-HOUR RATED WALL
- ⊗ WINDOW TAG
- ⊗ DOOR TAG
- ⊗ WALL TYPE
- ▬ MAIN HOUSE SETBACK
- ▬ ADU SETBACK
- ▬ LUTRON/SHADE PANEL TBD
- ▬ EGRESS PATH & LENGTH OF PATH SEGMENT



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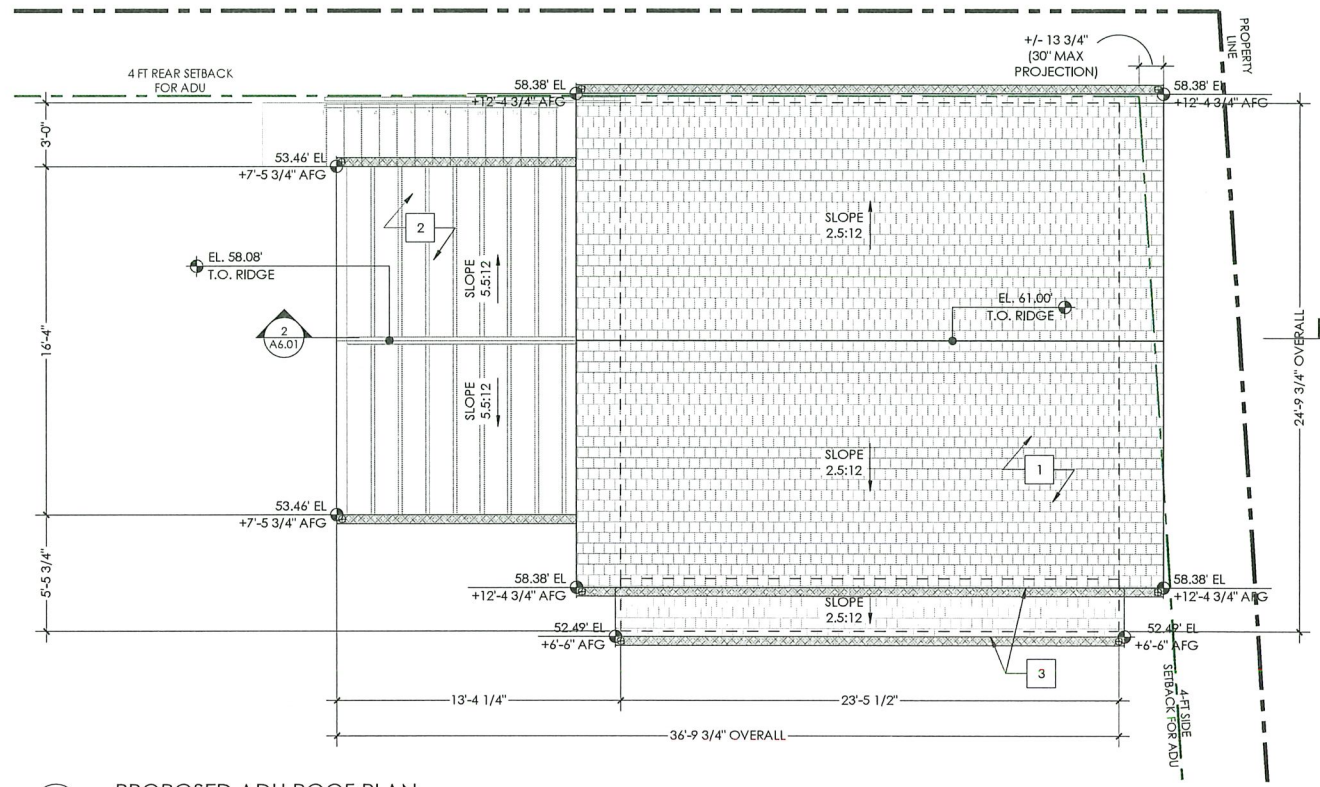
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03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

PROPOSED PLAN:
ADU
ATTIC

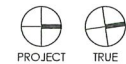
1/4" = 1'-0"

A2.06

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1 PROPOSED ADU ROOF PLAN
1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES:

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2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

KEY NOTES:

- 1 CLASS B ROOFING SYSTEM PER CBC SECTION 704A.1.1
- 2 ALUMINUM & GLASS ROOFING ASSEMBLY
- 3 ROOF EAVES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR HAVE (1) ONE LAYER OF 5/8" TYPE X GWB BEHIND RAFTERS / SOFFIT
- 4 EAVES AND ROOF OVERHANGS MAY PROJECT INTO SETBACKS BY 30" PER MCC CH. 22, TABLE 3-1

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- [Pattern] NON-COMBUSTIBLE CLASS A RATED TERRACOTTA ROOF SHINGLES
- [Pattern] FLAT ROOF
- [Symbol] ROOF DRAIN
- [Symbol] GUTTER / DOWNSPOUT

BOLINAS RESIDENCE SUTRO ARCHITECTS

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PROPOSED PLAN:
ADU
ROOF

1/4" = 1'-0"

A2.07

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DEMO KEY NOTES:

- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

SECTION/ELEVATION GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
- ALL WINDOWS & DOORS TO BE CUSTOM STAINED WOOD, U.O.N.
- ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

DEMO KEY NOTES:

- D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.
- D2 (E) DOOR TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS
- D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)
- D4 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND
- D5 (E) SKYLIGHT TO BE DEMOLISHED
- D6 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS

KEY NOTES:

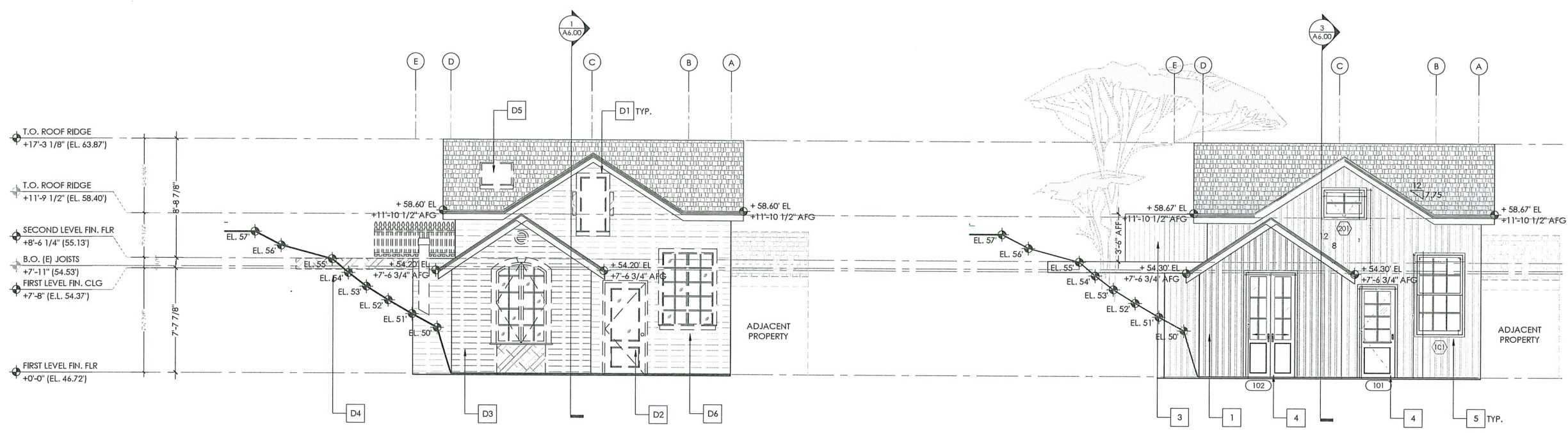
- 1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
- 2 NOT USED
- 3 (N) 42" AFF GUARDRAIL PER 2022 CBC SECTION 1013
- 4 (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE
- 5 (N) SOLID WOOD CUSTOM WINDOW, SEE WINDOW SCHEDULE

DEMO LEGEND:

- PROPERTY LINE
- - - - - REQ'D SETBACK
- [Hatched Box] (E) WALLS TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED
- [Horizontal Lines Box] (E) WOOD SIDING TO BE REMOVED

SECTION / ELEVATION LEGEND:

- PROPERTY LINE
- - - - - REQ'D SETBACK
- [Terra Cotta Pattern Box] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
- [Vertical Lines Box] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
- [Horizontal Lines Box] RECLAIMED PINE WOOD SIDING
- (10) DOOR TAG
- (101) WINDOW TAG



1 EXISTING/DEMO MAIN HOUSE ELEVATION: NORTH
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: NORTH
1/4" = 1'-0"

BOLINAS RESIDENCE

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EXISTING / DEMO & PROPOSED ELEVATION: NORTH

1/4" = 1'-0"

A5.00

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DEMO GENERAL NOTES:

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- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED, NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE, IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

SECTION/ELEVATION GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
- ALL WINDOWS & DOORS TO BE CUSTOM STAINED WOOD, U.O.N.
- ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

DEMO KEY NOTES:

- D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.
- D2 (E) DOOR TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS
- D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)
- D4 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND
- D5 (E) SKYLIGHT TO BE DEMOLISHED
- D6 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS

KEY NOTES:

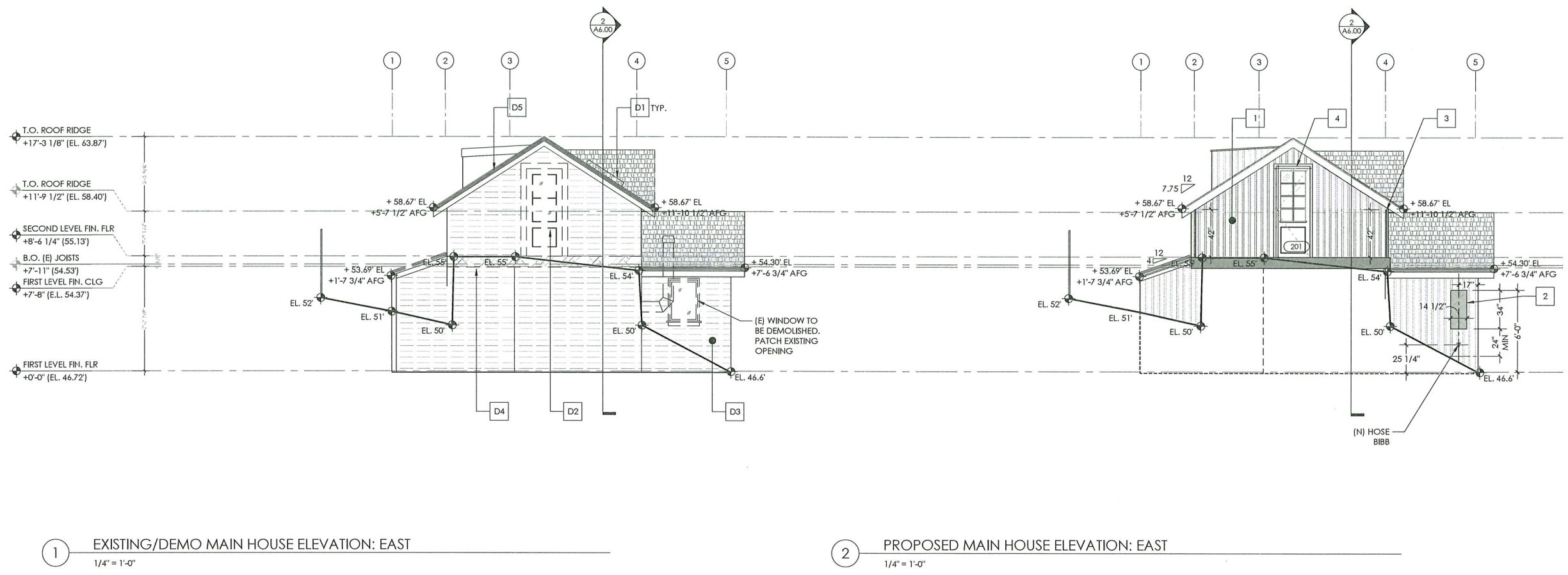
- 1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
- 2 (N) ELEC BREAKER PANEL
- 3 (N) 42" AFF GUARDRAIL PER 2022 CBC SECTION 1013
- 4 (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE

DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Hatched Box] (E) WALLS TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED
- [Horizontal Lines Box] (E) WOOD SIDING TO BE REMOVED

SECTION / ELEVATION LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Terra Cotta Pattern Box] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
- [Vertical Lines Box] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
- [Horizontal Lines Box] RECLAIMED PINE WOOD SIDING
- (101) DOOR TAG
- (101) WINDOW TAG



1 EXISTING/DEMO MAIN HOUSE ELEVATION: EAST
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: EAST
1/4" = 1'-0"

SUTRO ARCHITECTS

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EXISTING / DEMO & PROPOSED
ELEVATION: EAST

1/4" = 1'-0"

A5.01



BOLINAS RESIDENCE

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PLANNING SUBMITTAL

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ELECTRICAL ENGINEER:	SUMMIT ENGINEERING, INC. 463 AVIATION BLVD, STE 200 SANTA ROSA, CA 95403 www.summit-ir.com	CONTACT: TELEPHONE: EMAIL:	PAUL BUNBURY 707.308.8569 paul@summit-ir.com
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PROJECT DATA:																																																																					
SITE DATA	PROJECT NAME: BOLINAS RESIDENCE																																																																				
PROJECT TYPE:	RESIDENTIAL REMODEL																																																																				
PROJECT ADDRESS:	40 CLIFF ROAD, BOLINAS, CA, 94924																																																																				
DESCRIPTION OF WORK:	INTERIOR REMODEL WITHIN EXISTING BUILDING, INCLUDES LIMITED STRUCTURAL WORK, NEW DETACHED ACCESSORY DWELLING UNIT. SITE WORK WITH NEW RETAINING WALLS.																																																																				
BUILDING DATA	BUILDING CODES:																																																																				
BUILDING CODES:	2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ENERGY CODE NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101) CALIFORNIA ENERGY COMMISSION TITLE 24 MARIN COUNTY MUNICIPAL CODE																																																																				
TYPE OF CONSTRUCTION:	TYPE VB																																																																				
SPRINKLER PROTECTION:	EXISTING NON-SPRINKLERED, PROPOSED NON-SPRINKLERED																																																																				
OCCUPANCY TYPE / USE:	R-3 / SINGLE FAMILY RESIDENCE																																																																				
ASSESSOR'S BLOCK/LOT:	PARCEL 193-114-02																																																																				
ZONING DISTRICT:	C-RA-82; RESIDENTIAL AGRICULTURE																																																																				
COUNTY-WIDE PLAN DESIGN:	C-SF5; LOW DENSITY RESIDENTIAL COASTAL ZONE																																																																				
MAIN RESIDENCE	NO. OCCUPIED FLOORS: 2 EXISTING, 2 PROPOSED																																																																				
NO. OF STORIES:	2 EXISTING, 2 PROPOSED																																																																				
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED																																																																				
NO. OF BEDROOMS/BATHS:	1/1 EXISTING, 1/1 PROPOSED																																																																				
GROSS FLOOR AREA:	686 SF EXISTING, 686 SF PROPOSED																																																																				
AREA COUNTED IN F.A.R.:	600 SF EXISTING, 600 SF PROPOSED																																																																				
ACCESSORY DWELLING UNIT	NO. OCCUPIED FLOORS: 0 EXISTING, 1 PROPOSED																																																																				
NO. OF STORIES:	0 EXISTING, 1 PROPOSED																																																																				
NO. OF BASEMENTS:	0 EXISTING, 0 PROPOSED																																																																				
NO. OF BEDROOMS/BATH:	0/0 EXISTING, 2/1.5 PROPOSED																																																																				
GROSS FLOOR AREA:	0 SF EXISTING, 1443 SF PROPOSED																																																																				
AREA COUNTED IN F.A.R.:	0 SF EXISTING, 800 SF PROPOSED																																																																				
PROJECT INFORMATION:	<table border="1"> <thead> <tr> <th>LOT AREA (SF)</th> <th>EXISTING</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>4,938</td> <td>4,938</td> </tr> <tr> <td>BUILDING AREA (SF)</td> <td>EXISTING (HABITABLE + NON-HABITABLE)</td> <td>PROPOSED (HABITABLE + NON-HABITABLE)</td> </tr> <tr> <td>2</td> <td>812</td> <td>1,730</td> </tr> <tr> <td>FLOOR AREA (SF)</td> <td>EXISTING</td> <td>PROPOSED</td> </tr> <tr> <td>3</td> <td>600</td> <td>1,400</td> </tr> <tr> <td>FLOOR AREA RATIO</td> <td>EXISTING</td> <td>PROPOSED</td> </tr> <tr> <td>4</td> <td>12%</td> <td>28%</td> </tr> <tr> <td>PROPOSED AREA OF ADDITIONAL DISTURBANCE</td> <td colspan="2">6,493 SF</td> </tr> <tr> <td>EXISTING LOT COVERAGE</td> <td colspan="2">IMPERVIOUS COVERAGE: 743 SF PERVIOUS COVERAGE: 4,195 SF</td> </tr> <tr> <td>6A</td> <td colspan="2">IMPERVIOUS COVERAGE: 1,861 SF PERVIOUS COVERAGE: 3,077 SF</td> </tr> <tr> <td>6B</td> <td colspan="2">IMPERVIOUS COVERAGE: 1,861 SF PERVIOUS COVERAGE: 3,077 SF</td> </tr> <tr> <td>GRADING CALCULATIONS</td> <td colspan="2">CUT: 384 CY FILL: 15 CY OFF-HAUL: 369 CY</td> </tr> <tr> <td>7</td> <td colspan="2">CUT: 384 CY FILL: 15 CY OFF-HAUL: 369 CY</td> </tr> <tr> <td>PARKING</td> <td colspan="2">EXISTING: 2 PROPOSED: 2</td> </tr> <tr> <td>8</td> <td colspan="2">EXISTING: 2 PROPOSED: 2</td> </tr> <tr> <td>MIN. SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA</td> <td>MAIN HOUSE</td> <td>ADU</td> </tr> <tr> <td>9</td> <td>FRONT: 25'-0"</td> <td>N/A</td> </tr> <tr> <td></td> <td>REAR: 12'-10"</td> <td>4'-0"</td> </tr> <tr> <td></td> <td>SIDE: 10'</td> <td>4'-0"</td> </tr> <tr> <td>MAX. HEIGHT OF PROPOSED BUILDING AREA</td> <td colspan="2">MAIN HOUSE (17'-3" EXISTING, 17'-3" PROPOSED): 25'</td> </tr> <tr> <td>10</td> <td colspan="2">ADU (15'-0" PROPOSED): 15'</td> </tr> </tbody> </table>			LOT AREA (SF)	EXISTING	PROPOSED	1	4,938	4,938	BUILDING AREA (SF)	EXISTING (HABITABLE + NON-HABITABLE)	PROPOSED (HABITABLE + NON-HABITABLE)	2	812	1,730	FLOOR AREA (SF)	EXISTING	PROPOSED	3	600	1,400	FLOOR AREA RATIO	EXISTING	PROPOSED	4	12%	28%	PROPOSED AREA OF ADDITIONAL DISTURBANCE	6,493 SF		EXISTING LOT COVERAGE	IMPERVIOUS COVERAGE: 743 SF PERVIOUS COVERAGE: 4,195 SF		6A	IMPERVIOUS COVERAGE: 1,861 SF PERVIOUS COVERAGE: 3,077 SF		6B	IMPERVIOUS COVERAGE: 1,861 SF PERVIOUS COVERAGE: 3,077 SF		GRADING CALCULATIONS	CUT: 384 CY FILL: 15 CY OFF-HAUL: 369 CY		7	CUT: 384 CY FILL: 15 CY OFF-HAUL: 369 CY		PARKING	EXISTING: 2 PROPOSED: 2		8	EXISTING: 2 PROPOSED: 2		MIN. SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA	MAIN HOUSE	ADU	9	FRONT: 25'-0"	N/A		REAR: 12'-10"	4'-0"		SIDE: 10'	4'-0"	MAX. HEIGHT OF PROPOSED BUILDING AREA	MAIN HOUSE (17'-3" EXISTING, 17'-3" PROPOSED): 25'		10	ADU (15'-0" PROPOSED): 15'	
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SHEET INDEX:			
		ARCHITECTURAL DRAWINGS	(# SHEETS: 36 TOTAL)
		A0.00 COVER SHEET / PROJECT INFO	
		A0.01 GENERAL NOTES / PLOT PLAN	
		A0.02 SITE PHOTOS	
		A0.03 ARBORIST REPORT	
		A0.04 MCSFP MINIMUM CONTROL MEASURES	
		A0.12 PROPOSED EXTERIOR RENDERINGS	
		A0.13 EXTERIOR MATERIAL PALETTE	
		A1.00 BOUNDARY & TOPOGRAPHIC SURVEY (1 OF 6)	
		A1.01 BOUNDARY & TOPOGRAPHIC SURVEY (2 OF 6)	
		A1.02 BOUNDARY & TOPOGRAPHIC SURVEY (3 OF 6)	
		A1.03 BOUNDARY & TOPOGRAPHIC SURVEY (4 OF 6)	
		A1.04 BOUNDARY & TOPOGRAPHIC SURVEY (5 OF 6)	
		A1.05 BOUNDARY & TOPOGRAPHIC SURVEY (6 OF 6)	
		A1.06 RECORD OF SURVEY	
		A1.07 EXISTING EASEMENT	
		A1.08 EXISTING EASEMENT	
		A1.10 EXISTING/DEMO & PROPOSED SITE PLAN	
		A1.20 PROPOSED SITE PLAN	
		A1.21 ENLARGED PLAN: PG&E PLATFORM	
		A1.22 PROPOSED SITE SECTIONS: PG&E PLATFORM	
		A1.30 CONSTRUCTION MANAGEMENT PLAN	
		A1.31 EXISTING AND PROPOSED IMPERVIOUS COVER PLAN	
		A2.01 EXISTING/DEMO PLAN & PROPOSED PLAN: FIRST LEVEL MAIN HOUSE	
		A2.02 EXISTING/DEMO PLAN & PROPOSED PLAN: SECOND LEVEL MAIN HOUSE	
		A2.03 EXISTING/DEMO PLAN & PROPOSED PLAN: ROOF PLAN MAIN HOUSE	
		A2.04 PROPOSED PLAN: CRAWLSPACE ADU	
		A2.05 PROPOSED PLAN: FIRST LEVEL ADU	
		A2.06 PROPOSED PLAN: ATTIC LEVEL ADU	
		A2.07 PROPOSED PLAN: ADU ROOF	
		A5.00 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: NORTH	
		A5.01 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: EAST	
		A5.02 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: SOUTH	
		A5.03 EXISTING / DEMO & PROPOSED MAIN HOUSE ELEVATION: WEST	
		A5.04 PROPOSED ADU ELEVATIONS: NORTH & EAST	
		A5.05 PROPOSED ADU ELEVATIONS: SOUTH & WEST	
		A6.00 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	
		A6.01 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE	
		A6.02 EXISTING / DEMO & PROPOSED BUILDING SECTIONS: ADU	
		AREA CALCULATIONS:	
		AREA CALCULATIONS	
		(IN SQUARE FEET)	
		EXISTING	PROPOSED
		NET CHANGE	
		1ST FLOOR (MAIN HOUSE)	
		HABITABLE	457
		NON HABITABLE	0
		2ND FLOOR (MAIN HOUSE)	
		HABITABLE	143
		NON HABITABLE	86
		CRAWLSPACE (ADU)	
		HABITABLE	0
		NON HABITABLE	104
		FIRST LEVEL (ADU)	
		HABITABLE	0
		NON HABITABLE	0
		ATTIC (ADU)	
		HABITABLE	0
		NON HABITABLE	226
		TOTAL HABITABLE	600
		TOTAL NON HABITABLE	416
		TOTAL HABITABLE + NON HABITABLE	1016
		F.A.R. SUMMARY	
		TOTAL FLOOR AREA COUNTED IN F.A.R.	600
		TOTAL LOT SIZE	4938
		F.A.R. (MAX ALLOWED = 30%)	12%
		NOTE: SEE ADDITIONAL FLOOR AREA CALCS & DIAGRAMS ON A2.01 AND A2.04.	

SHEET INDEX (CONT):			
		CIVIL DRAWINGS	(# SHEETS: 6 TOTAL)
		C1 TITLE SHEET, NOTES & LEGEND	
		C2 GRADING & DRAINAGE PLAN	
		C2.1 SITE SECTION	
		C3 EROSION CONTROL & STORMWATER PLAN	
		C4 OFFSITE UTILITY PLAN	
		LANDSCAPE DRAWINGS	(# SHEETS: 7 TOTAL)
		L0.1 TREE PROTECTION & REMOVAL PLAN	
		L1.0 LAYOUT PLAN & NOTES	
		L3.0 PLANTING PLAN & SCHEDULE	
		L3.1 PLANTING DETAIL & NOTES	
		L4.0 IRRIGATION PLAN	
		L5.0 LIGHTING PLAN	
		L6.0 DETAILS	
		SYMBOL LEGEND:	
		KEY NOTE	99
		ROOM TAG	STUDIO 100 100 SF
		WALL TYPE	99
		DOOR TAG	999
		WINDOW TAG	99
		CEILING HEIGHT	X-XX
		SPOT ELEVATION	
		ELEVATION DATUM	FINISHED CEILING X-XX"
		COLUMN GRIDLINE	XX
		DRAWING TITLE	1 TITLE 1/8" = 1'-0"
		PLAN DETAIL	XX A.X.X
		ELEVATION	XX A.X.X
		SECTION	XX A.X.X
		INTERIOR ELEVATION	1 A.X.X 2 3
		REGION	XX A.X.X
		REVISION	
		FINISH TAG	XX 01
		BREAKLINE	
		NORTH ARROW	
		PROJECT	
		TRUE	
		COVER SHEET	
		NO SCALE	
		A0.00	

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PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

NO SCALE

A0.00



BOLINAS RESIDENCE

40 CLIFF RD

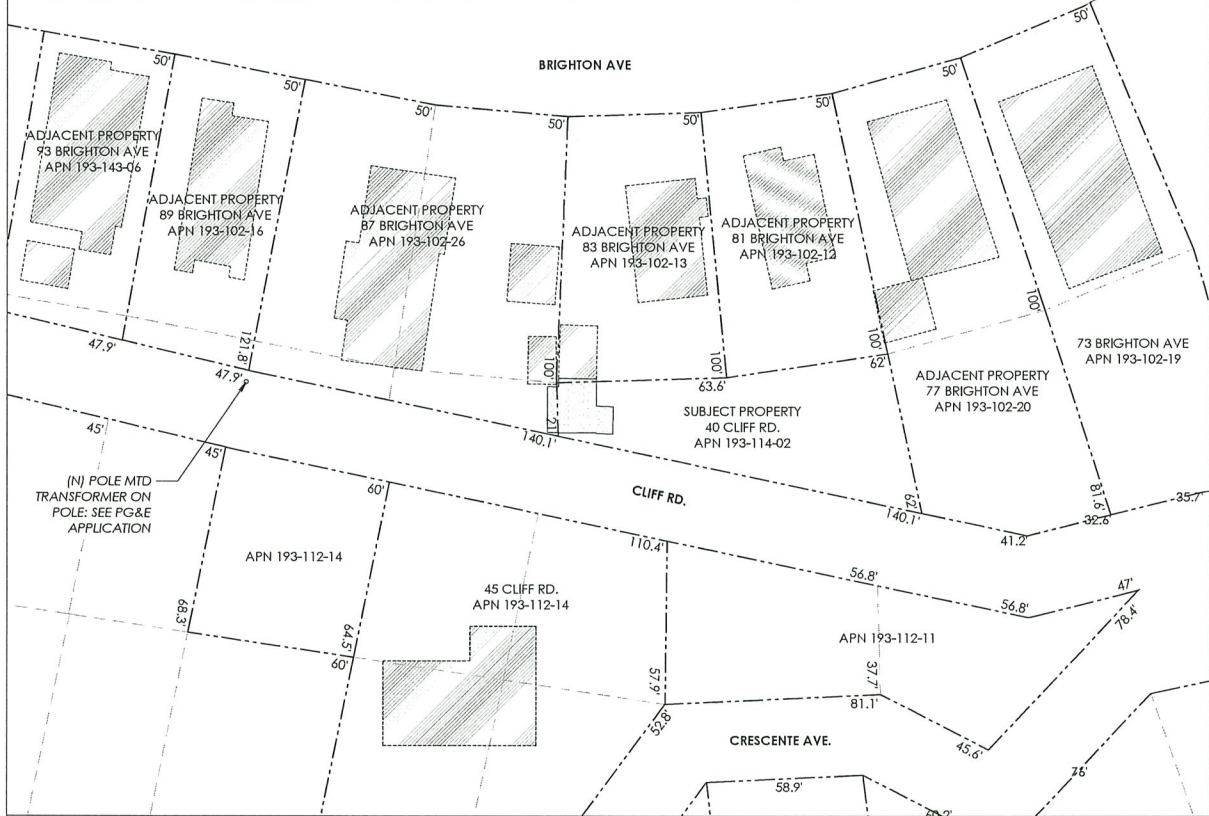
ABBREVIATIONS:

ADJ.	ADJUSTABLE	MTD.	MOUNTED
A.F.F.	ABOVE FINISH FLOOR	MUL.	MULLION
AGGR.	AGGREGATE	(N)	NEW
ALT.	ALTERNATE	N.	NORTH
ALUM.	ALUMINUM	N.I.C.	NOT IN CONTRACT
APPROX.	APPROXIMATE	N.O.	NUMBER
ARCH.	ARCHITECTURAL	N.O.M.	NOMINAL
BD.	BOARD	N.O.T.	NOT TO SCALE
BTUM.	BITUMINOUS	O.	OWNER
BLDG.	BUILDING	O.C.	ON CENTER
BLK.	BLOCK	O.P.M.G.	OPENING
BULK.	BLOCKING	OP.	OPPOSITE
BM.	BEAM	PG & E	PACIFIC GAS & ELECTRIC COMPANY
B.O.	BOTTOM OF	P.P.	POURED IN PLACE
CL.	CENTERLINE	PL.	PLATE
CAB.	CABINET	PLAST.	PLASTER
CEM.	CEMENT	PLUMBING	PLUMBING
CHM.	CHIMNEY	PLYWD.	PLYWOOD
CLG.	CLEAR	PNT.	PAINT
CLR.	CONCRETE MASONRY UNIT	PR.	PAIR
C.M.U.	CONCRETE MASONRY UNIT	P.S.I.	PER SQUARE INCH
COL.	COLUMN	PT.	POINT
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONSTR.	CONSTRUCTION	PTD.	PAINTED
CONT.	CONTINUOUS	Q.T.	QUARRY TILE
CTR.	CENTER	R.	RISER
C.W.	COLD WATER	R.A.	RETURN AIR
D.	DRYER	R.C.P.	REFLECTED CEILING PLAN
DBL.	DOUBLE	R.D.	ROOF DRAIN
DET.	DETACH	REC.	RECESSED
DIA.	DIAMETER	REF.	REFERENCE
DIM.	DIMENSION	REFL.	REFLECTED
DN.	DOWN	REFR.	REFRIGERATOR
DR.	DR	REG.	REGISTER
D.S.P.	DRY STANDPIPE	REINF.	REINFORCED
D.W.	DISHWASHER	REQ'D.	REQUIRED
DWG.	DRAWING	RET.	RETAINING
DWR.	DRAWER	REV.	REVISION, REVISED, REVERSED
		RM.	ROOM
		R.O.	ROUGH OPENING
		R.W.L.	RAIN WATER LEADER
(E)	EXISTING	S.	SOUTH
E.A.	EACH	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELEV.	ELEVATION	S.C.	SOLID CORE
ELEC.	ELECTRICAL	S.E.E.	SEE CIVIL ENGINEERING DRAWINGS
ENCL.	ENCLOSURE	S.C.E.D.	SCHEDULE
E.O.	EDGE OF	SCHED.	SCHEDULE
EQUIP.	EQUIPMENT	SECT.	SECTION
EXIST.	EXISTING	SER.	SEPARATION
EXP.	EXPANSION	SERV.	SERVICE
EXT.	EXTERIOR	SH.	SHELF
F.A.	FIRE ALARM	S.H.	SPRINKLER HEAD
F.A.U.	FORCED AIR UNIT	SHR.	SHOWER
F.D.	FLOOR DRAIN	SHT.	SHEET
FIN.	FINISH	SHG.	SHEATHING
FRT.	FRTURE	SM.	SMILAR
FL.	FLOOR	SL.	SLIDING
FLASH.	FLASHING	S.L.D.	SEE LANDSCAPE DRAWINGS
FLUOR.	FLUORESCENT	S.M.D.	SEE MECHANICAL DRAWINGS
F.O.C.	FACE OF CONCRETE	S.P.D.	SEE PLUMBING DRAWINGS
F.O.F.	FACE OF FINISH	SPEC.	SPECIFICATION
F.O.M.	FACE OF MASONRY	SQ.	SQUARE
F.O.PLY	FACE OF PLYWOOD	STA.	STATION
F.O.S.	FACE OF STUDS	ST.STL.	STAINLESS STEEL
F.P.	FIREPROOF	S.T.D.	SEE STRUCTURAL DRAWINGS
FR.	FRAME	STD.	STANDARD
FT.	FOOT OR FEET	STL.	STEEL
FURR.	FURRING	STN.	STONE
FUT.	FUTURE	STOR.	STORAGE
G.	GAS OUTLET	STRUCT.	STRUCTURAL
G.A.	GAUGE	SUSP.	SUSPENDED
GALV.	GALVANIZED	S.V.	SHEET VINYL
G.C.	GENERAL CONTRACTOR	S.W.	SHEAR WALL
G.D.	GARBAGE DISPOSAL	SYM.	SYMMETRICAL
GEN.	GENERAL	SYS.	SYSTEM
GL.	GRIDLINE	T.O.C.	TOP OF CURB
GND.	GROUND	TEL.	TELEPHONE
G.O.	GAS OUTLET	TEMP.	TEMPERED
GR.	GRADE	T & G	TONGUE & GROOVE
G.S.M.	GALVANIZED SHEET METAL	THC.	THICK
GYP.	GYPNUM	THRU.	THROUGH
H.B.	HOSE BIBB	T.O.P.	TOP OF
HD.	HEAD	T.O.C.	TOP OF CONCRETE
HDR.	HEADER	T.O.P.	TOP OF PLATE
HDR.	HANGER	T.O.PLY	TOP OF PLYWOOD
HORIZ.	HORIZONTAL	T.O.W.	TOP OF WALL
H.R.	HANDRAIL	TYP.	TYPICAL
HT.	HEIGHT	U.B.C.	UNIFORM BUILDING CODE
H.W.H.	HOT WATER HEATER	UNF.	UNFINISHED
IN.	INCH	UNF.	UNLESS OTHERWISE NOTED
INSUL.	INSULATION	VEN.	VENER
INT.	INTERIOR	VERT.	VERTICAL
JST.	JOIST	VEST.	VESTIBULE
J.	JOINT	V.F.	VERIFY IN FIELD
LAM.	LAMINATE	VOL.	VOLUME
LAV.	LAVATORY	W.C.	WATER CLOSET OR WALL COVERING
LFXT	LIGHT FIXTURE	WD.	WOOD
LN.	LINE	WD.	WASHER / DRYER
LN.	LINE	W.H.	WATER HEATER
LT.	LIGHT	W/O	WITHOUT
MACH.	MACHINE	W.P.	WATERPROOFING
MAINT.	MAINTENANCE	W.P.M.	WATERPROOF MEMBRANE
MAT.	MATERIAL	W/SCHT.	WATERPROOF MEMBRANE
MAX.	MAXIMUM	WT.	WEIGHT
MECH.	MECHANICAL	WR.	WATER RESISTANT
MEMB.	MEMBRANE		
MTL.	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MIR.	MIRROR		
MISC.	MISCELLANEOUS		
MSRY.	MASONRY		

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), THE CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTANT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- ALL TOILETS SHALL BE ULTRA-LOW FLUSH TOILETS WITH A MAXIMUM TANK SIZE OR FLUSH CAPACITY OF 1.28 GALLONS. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.8 GALLONS PER MINUTE. ALL BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW CAPACITY OF 1.2 GALLONS PER MINUTE. AND ALL HOT WATER FAUCETS THAT HAVE MORE THAN TEN FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
- SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 408).
- GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. (CBC 2406.4.5).
- SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
- INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R. INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

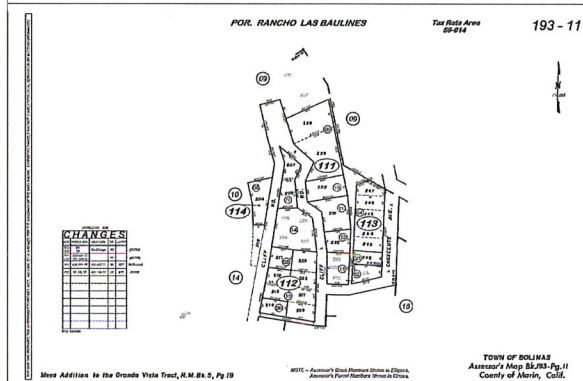
PLOT PLAN:



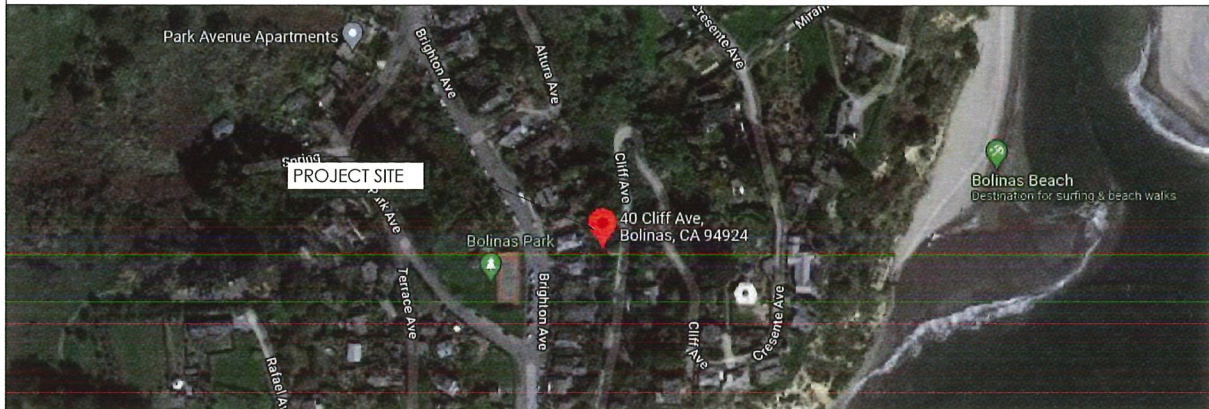
PLOT PLAN LEGEND:

- PROPERTY LINE
- SUBJECT BUILDING
- ADJACENT NEIGHBOR'S BUILDING

ASSESSORS PARCEL MAP:



VICINITY MAP:



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SUTRO ARCHITECTS

BOLINAS RESIDENCE

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

GENERAL NOTES
& PLOT PLAN

SCALE AS NOTED

A0.01

415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco CA
94109

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1 MAIN HOUSE NORTH/FRONT ELEVATION



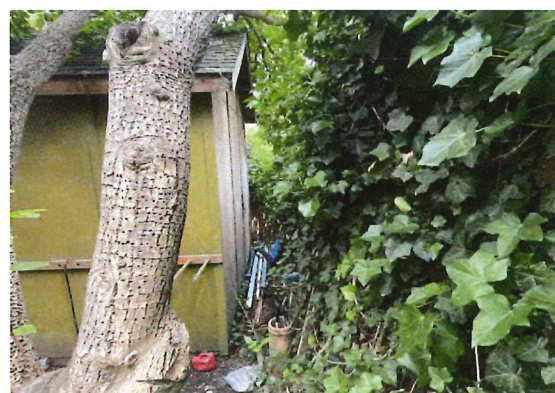
2 MAIN HOUSE EAST/SIDE ELEVATION



3 MAIN HOUSE SOUTH/REAR ELEVATION



4 MAIN HOUSE WEST/SIDE ELEVATION



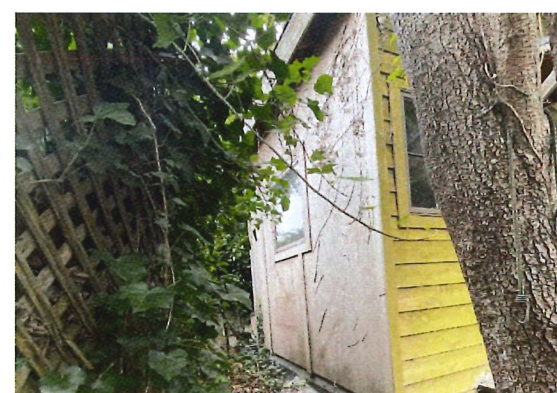
5 SHED NORTH/BACK ELEVATION



6 SHED EAST/SIDE ELEVATION



7 SHED SOUTH/FRONT ELEVATION



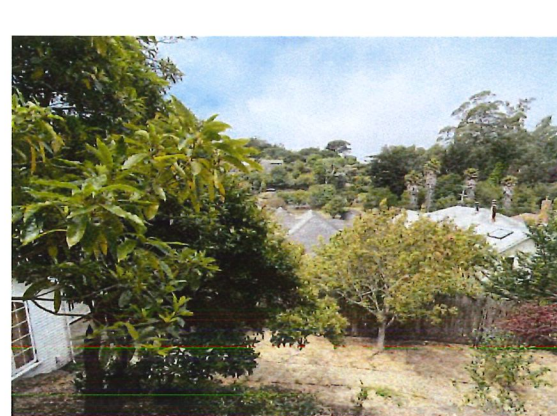
8 SHED WEST/SIDE ELEVATION



9 VIEW OF SITE LOOKING SOUTH



10 VIEW OF FENCE LOOKING EAST



11 VIEW OF FENCE LOOKING WEST



12 AERIAL VIEW / SITE PHOTO KEY

BOLINAS RESIDENCE SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco CA
94109

40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

SITE PHOTOS

SCALE AS NOTED

A0.02

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ARBORIST REPORT

**Tree Inventory
40 Cliff Road
Bolinas, California
(APN: 193-114-02)**

Prepared for:
**Sutro Architects
1055 Post Street
San Francisco CA 94109**

Prepared by:
**Dr. Kent Julin
ISA Certified Arborist
California Professional Forester
ARBORSCIENCE, LLC**

February 28, 2023

P.O. Box 111, Woodacre, CA 94973-0111
(415) 419-5197 • kent.julin@gmail.com • http://arborscientist.com

ASSIGNMENT

Sutro Architects hired ARBORSCIENCE, LLC to inventory trees growing at 40 Cliff Road in Bolinas. The client's interest in identifying trees on the property with special status prompted this inventory that I completed on June 3, 2022.

SCOPE OF WORK AND LIMITATIONS

This inventory is based on the circumstances and observations, as they existed at the time of the site inspection. Opinions in this assessment are given based on observations made and using generally accepted professional judgment, however, because trees are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this assessment are valid only at the date any such observations and analysis took place and no guarantee, warranty, representation or opinion is offered or made by ArborScience as to the length of the validity of the results, observations, recommendations and analysis contained within this assessment. As a result the client shall not rely upon this Assessment, save and except for representing the circumstances and observations, analysis and recommendations that were made as at the date of such inspections. It is recommended that the tree discussed in this assessment should be re-assessed periodically.

SITE DESCRIPTION AND CONTEXT

The home at 40 Cliff Road in Bolinas was built in 1924 on a narrow, 0.14-acre parcel (APN: 193-114-02). Improvements include perimeter fencing, and garden walkways leading to a single-family residence and garden shed. Landscaping is mature and overgrown. The 40 Cliff Road property is within the California Coastal Zone. The Marin County Native Tree Protection and Preservation ordinance does not apply to properties located in the coastal zone, and a Coastal Permit may instead be required for the removal of trees and vegetation as determined by the Marin County Community Development Agency. Given that trees on the subject property are not part of a "significant" stand of trees and are not within an environmentally sensitive habitat area such as a wetland, riparian corridor, dune or beach, it is unlikely that they would be afforded special status.

SUBJECT TREE DESCRIPTIONS

The 19 subject trees (Table 1 and Tree Map, attached) were planted or have volunteered since the home was built nearly 100 years ago. Fruit and nut trees on the property include apple (*Malus domestica*), pear (*Pyrus communis*), Fuyu Persimmon (*Diospyros kaki*), cherry plum (*Prunus cerasifera*) and English walnut (*Juglans regia*). Ornamental trees on the property include blackwood acacia (*Acacia melanoxylon*), scotch elm (*Ulmus glabra*), Victorian box (*Pittosporum undulatum*), saucer magnolia (*Magnolia x soulangeana*), glossy privet (*Ligustrum lucidum*), and Oregon ash (*Fraxinus latifolia*). Most of these trees are overmature, in fair to poor health, have considerable deferred pruning maintenance, and have poor structural form including severe defects like trunk decay (Trees 10 and 14) that present high failure risks.

CONCLUSIONS AND RECOMMENDATIONS

The subject trees are old and generally overmature, with considerable deferred pruning maintenance, poor structural form, and low vigor. Two of the trees have trunk decay and present high failure risks.

None of the trees are native and would be considered protected pursuant to the Marin County Code. A Coastal Permit may instead be required for the removal of trees and vegetation on the property, as determined by the Marin County Community Development Agency (which enforces coastal permit requirements) related to the proposed project. However, given that trees on the subject property are not part of a "significant stand" of trees and are not within an "environmentally sensitive habitat area" such as a wetland, or riparian corridor, or dune or beach, it is unlikely that they would be afforded special status within the Coastal Zone.

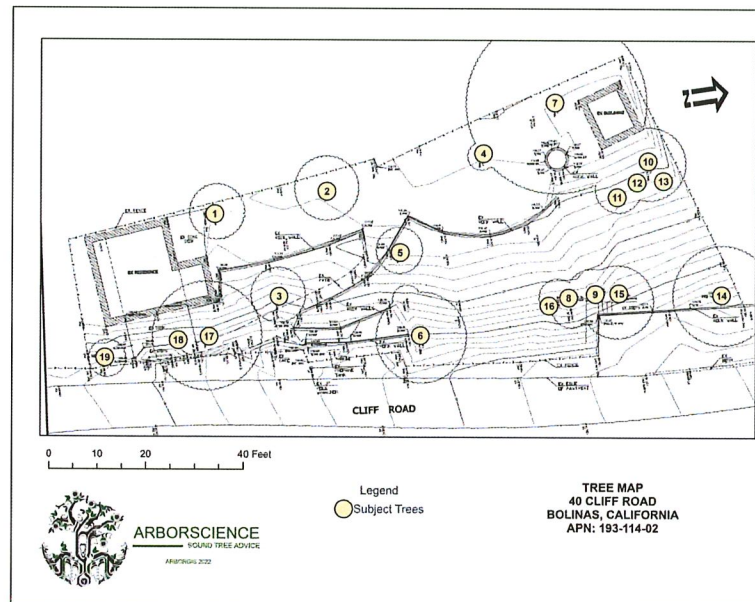
Sincerely,

ARBORSCIENCE, LLC

Kent Julin
Dr. Kent R. Julin
ISA Certified Arborist #WE-8733A
ISA Tree Risk Assessor Qualified
California Registered Professional Forester #2648

Table 1. Trees growing at 40 Cliff Road in Bolinas.

Tree Number	Common Name	Latin Name	DBH (in.)	Notes	Condition	Fireprone Species
1	Apple	<i>Malus domestica</i>	4,4,5	Bearing fruit	Good	No
2	Pear	<i>Pyrus communis</i>	1,3,4,5,5	Bearing fruit	Good	No
3	Glossy privet	<i>Ligustrum lucidum</i>	5,5,6,7	-	Poor	No
4	Fuyu persimmon	<i>Diospyros kaki</i>	3,4	Flowering	Good	No
5	Plum	<i>Prunus cerasifera</i>	2,4,5	-	Good	No
6	Victorian box	<i>Pittosporum undulatum</i>	5,7,8,9,10	-	Poor	No
7	Saucer magnolia	<i>Magnolia x soulangeana</i>	6,8,11,14	Crown dieback	Poor	No
8	Blackwood acacia	<i>Acacia melanoxylon</i>	19	Previously topped	Poor	Yes
9	Victorian box	<i>Pittosporum undulatum</i>	8	Recumbent trunk	Poor	No
10	Oregon ash	<i>Fraxinus latifolia</i>	10,12,14	Trunk decay, dieback	Poor	No
11	Scotch elm	<i>Ulmus glabra</i>	5	-	Fair	No
12	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
13	Scotch elm	<i>Ulmus glabra</i>	4	-	Fair	No
14	English walnut	<i>Juglans regia</i>	10,10	Trunk decay, dieback	Poor	No
15	Victorian box	<i>Pittosporum undulatum</i>	7	Recumbent trunk	Poor	No
16	Victorian box	<i>Pittosporum undulatum</i>	9	Recumbent trunk	Poor	No
17	Victorian box	<i>Pittosporum undulatum</i>	3,4,14	-	Poor	No
18	Victorian box	<i>Pittosporum undulatum</i>	4,10	-	Poor	No
19	Plum	<i>Prunus cerasifera</i>	4,6	-	Poor	No



SUTRO ARCHITECTS

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PLANNING
10.27.2025

ARBORIST REPORT

SCALE AS NOTED

A0.03

GENERAL STORMWATER CONTROL NOTES:

- SEE CIVIL DRAWINGS FOR SITE SPECIFIC STORMWATER CONTROL MEASURES.

Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects

Erosion Controls	Sediment Controls	Good Housekeeping
NS Scheduling	6. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation & Creek Set Backs	7. Fiber Rolls	11. Stockpile Management
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management
3. Soil Preparation/ Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Erosion Control Blankets	NS Trench Dewatering	14. Equipment and Vehicle Maintenance
5. Revegetation		15. Litter and Waste Management

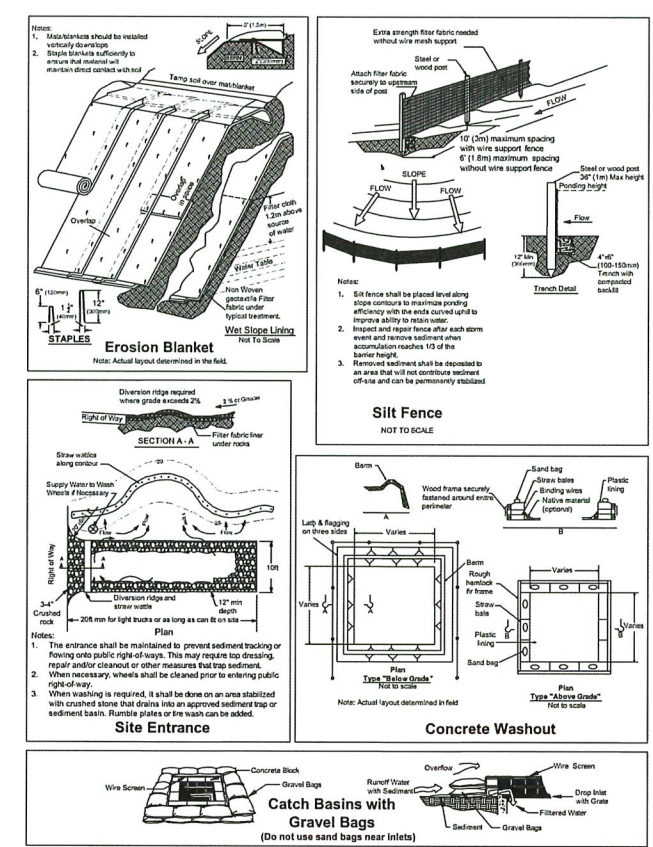
NS=not shown on graphic

Note: Select an effective combination of control measures from each category. Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.

More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal: Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/constuc/stormwater/manuals.htm>. Visit www.mcspp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:
 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Control Measure	General Description
Erosion Control Best Management Practices	
NA Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and phasing projects to minimize the amount of area disturbed. For more info see the following factsheets: CASQA: EC-1; or Caltrans: SS-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factsheets: CASQA: EC-2; or Caltrans: SS-2.
2 Soil Cover	Cover exposed soil with straw mulch and tackifier (or equivalent). For more info see the following factsheets: CASQA: EC-3, EC-4, EC-6, EC-7, EC-8, EC-14, EC-16; or Caltrans: SS-2, SS-3, SS-5, SS-7, SS-8.
3 Soil Preparation/ Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (decompacting, scarifying, stair stepping, etc.). For more info see the following factsheets: CASQA: EC-16.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/wps/Wildlife-Friendly_Products.pdf . For more info see the following factsheets: CASQA: EC-7; or Caltrans: SS-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factsheets: CASQA: EC-4; or Caltrans: SS-4.
Sediment Control Best Management Practices	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrance. Place crushed rock 12-inches deep over a geotextile, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site. Ideally long enough for 2 revolutions of the maximum tire size (16-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient room for turning in and out of the site. Rumble pads or rumble racks can be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factsheets: CASQA: TC-1; TC-3; or Caltrans: TC-1; TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart (using closer spacing on steeper slopes). Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. J-hook end of roll up slope. Install rolls per either Type 1 (stake rolls into shallow trenches) or Type 2 (stake in front and behind roll and lash with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or fixed aperture netting. See: http://www.coastal.ca.gov/wps/Wildlife-Friendly_Products.pdf . Manufactured linear sediment control or compost socks can be used in lieu of fiber rolls. For more info see the following factsheets: CASQA: SE-5 (Type 1); SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fences	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and stake. Do not use silt fence for concentrated water flow. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factsheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation filled with 0.5-1 in washed crushed rock. Do not use sand bags or silt fence fabric for drain inlet protection. For more info see the following factsheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCSPPP BMPs for trench dewatering: http://www.marincountyanditscitiesanditsinstitutionslocaldevelopment-media/Files/Departments/PW/mcsppp/development/TrenchingSWReqMCSPPPFinal_03.pdf . For more info see the following factsheets: CASQA: NS-2; or Caltrans: NS-2.
Good Housekeeping Best Management Practices	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, place adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factsheets: CASQA: WM-8; or Caltrans: WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and berm properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factsheets: CASQA: WM-3 or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment; do not place containers directly on soil. For more info see the following factsheets: CASQA: WM-6; or Caltrans: WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip with overflow pantries (most vendors provide these). For more info see the following factsheets: CASQA: WM-9; or Caltrans: WM-9.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic traps under equipment. Immediately clean up any spills or drips. For more info see the following factsheets: CASQA: NS-9, NS-9, and NS-10; or Caltrans: NS-8, NS-8, and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use watertight dumpsters and trash cans; inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste pickup. Pick up site litter daily. For more info see the following factsheets: CASQA: WM-5; or Caltrans: WM-5.



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 PLANNING
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MCSPP MINIMUM CONTROL MEASURES

SCALE AS NOTED
A0.04

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PROPOSED EXTERIOR RENDERINGS

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A0.12

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METAL & GLASS WINDOW SYSTEM



SOLID WOOD VERTICAL PANELING



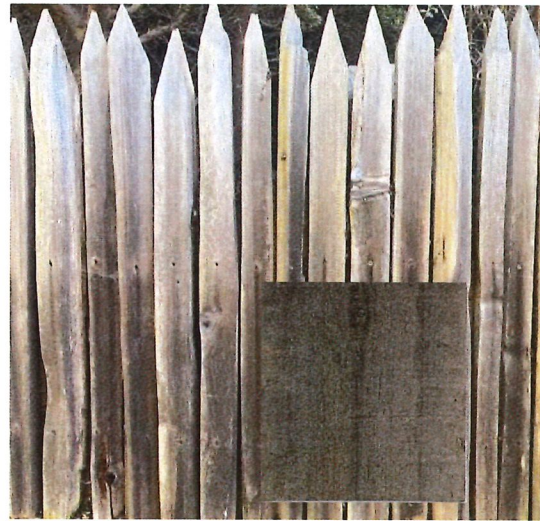
SOLID WOOD BATTENBOARD VERTICAL PANELING



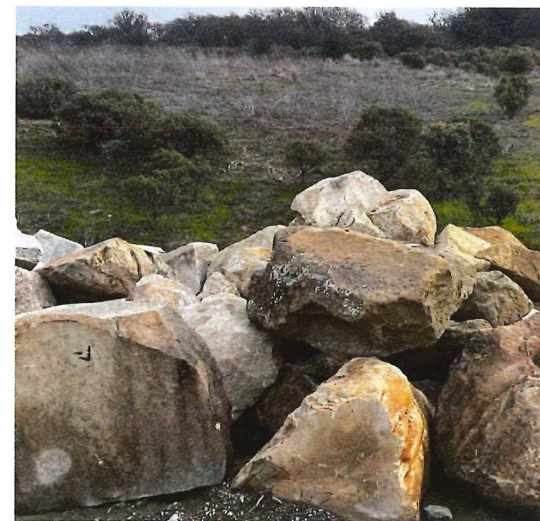
ANTIQUED TERRACOTTA ROOF TILES



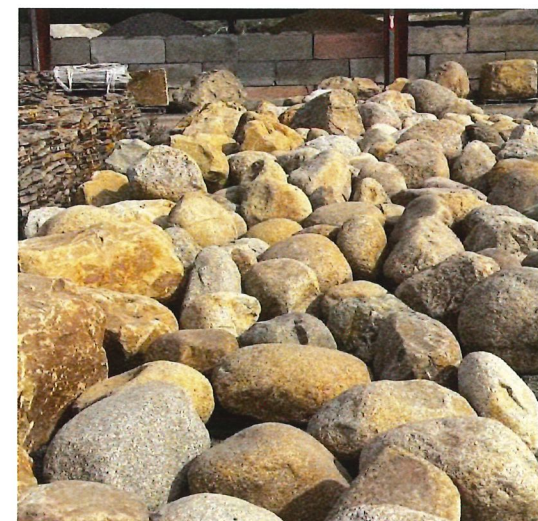
STACKED STONE WALL



FENCE IN AGED WHITE PINE



LANDSCAPE BOULDERS OPTION 1



LANDSCAPE BOULDERS OPTION 2



NATURAL FLAGSTONE PAVERS WITH GREENERY




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EXTERIOR MATERIAL PALETTE

SCALE AS NOTED

A0.13

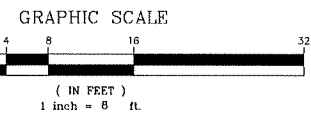
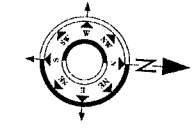


BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD

REVISIONS	
JOB NUMBER	6534-01
DRAWN BY	WCC
WCC	6534-C:TOPO.dwg
CHECKED BY	JMS
DATE	11/01/2022

A1.00

- LEGEND:**
- AC ASPHALTIC CONCRETE
 - BLDG BUILDING
 - CF CONCRETE FOOTING
 - CI CAST IRON PIPE
 - CONC CONCRETE
 - CRW CONCRETE RETAINING WALL
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FH FIRE HYDRANT
 - FL FLOWLINE
 - GB GRADE BREAK
 - GS GROUNDSHOT
 - HB HOSE BIB
 - HP HINGE POINT
 - JP JOINT POLE
 - LANDG LANDING
 - PT PROpane TANK
 - RF ROOF PEAK
 - SDMH STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TC TOP OF CURB
 - TCRW TOP OF CONCRETE RETAINING WALL
 - THRESH THRESHOLD
 - TOB TOP OF BUILDING
 - TRRT TOP OF RAILROAD TIE
 - TRRW TOP OF ROCK RETAINING WALL
 - TWRW TOP OF WOOD RETAINING WALL
 - UNKN UNKNOWN
 - VLT VAULT
 - WGV WATER GATE VALVE
 - WH WATER HEATER
 - WRW WOOD RETAINING WALL
- INDICATES FIRE HYDRANT
 X51.4 INDICATES GROUNDSHOT
 O 12TREC INDICATES TREE SIZE
 _____ INDICATES BOUNDARY LINE
 _____ INDICATES LOT LINE
 _____ INDICATES MAJOR CONTOUR LINE
 _____ INDICATES MINOR CONTOUR LINE
 -X-X-X- INDICATES WIRE FENCE
 [] INDICATES WOOD FENCE
 [] INDICATES ROCK RETAINING WALL
 [] INDICATES UNDERGROUND SANITARY SEWER LINE
 [] INDICATES OVERHEAD UTILITY LINES
 [] INDICATES APPROXIMATE TREE DRIFLINE
 [] INDICATES CONCRETE
 [] INDICATES WOOD DECK/LANDING



- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS AUGUST 11, SEPTEMBER 8 AND 23, 2022.
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 - CONTOURS SET AT 1 FOOT INTERVALS.
 - THE RECORD LOCATION OF THE BUILDING EASEMENT AGREEMENT (DOC. NO. 2010-00649565) DOES NOT FIT THE RESOLVED BOUNDARY. THE LOCATION OF SAID EASEMENT HAS BEEN MOVED TO SHOW THE INTENT OF SAID EASEMENT. SEE DOCUMENT FOR RESTRICTIONS ON NEW CONSTRUCTION.

BENCHMARK:
 ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:
 THE BEARINGS, NORTH 3°55'57" WEST, AS CALCULATED BETWEEN A FOUND 1 1/4" IRON PIPE AT THE SOUTHEAST CORNER OF LOT 235 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923 IN BOOK 5 OF MAPS AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, AND A FOUND 1" IRON PIPE FOUND AT THE SOUTHWEST CORNER OF LOT 18 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF BOLINAS HIGHLANDS" AS FILED FOR RECORD ON JULY 8, 1909 IN BOOK 3 OF MAPS AT PAGE 21 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:
 OLD REPUBLIC TITLE COMPANY
 545 FOURTH ST
 SAN RAFAEL, CA 94901
 (415) 454-8300

PRELIMINARY REPORT:
 ORDER NO.: 0435017012-1JC
 DATED: MARCH 18, 2014, AT 7:30 AM

UTILITY NOTE:
 UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.

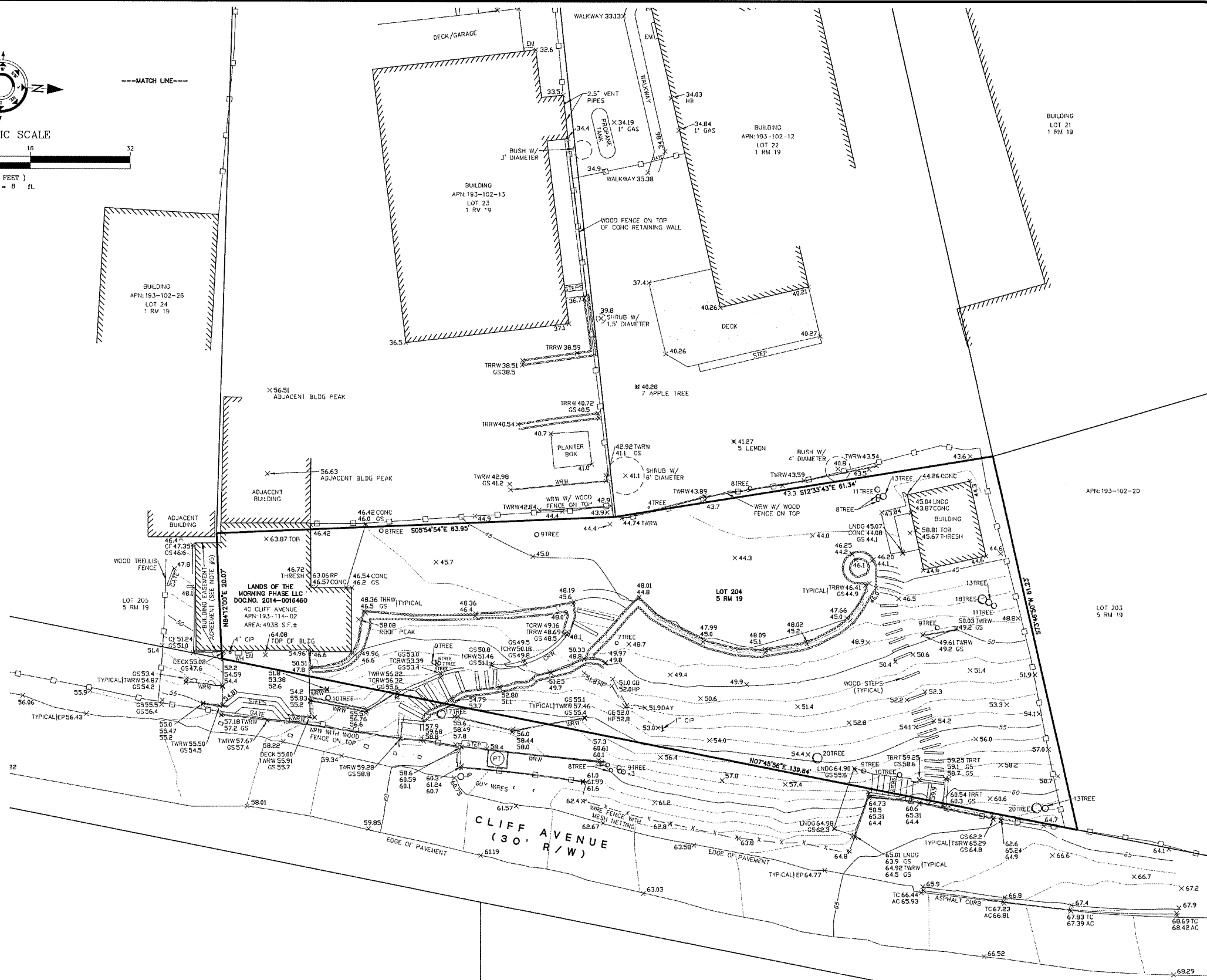
CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION
HD SCANNING NOTE:
 TOPOGRAPHIC DATA DERIVED FROM HIGH DEFINITION SCANNING METHODS
 SCANNER: LEICA P40

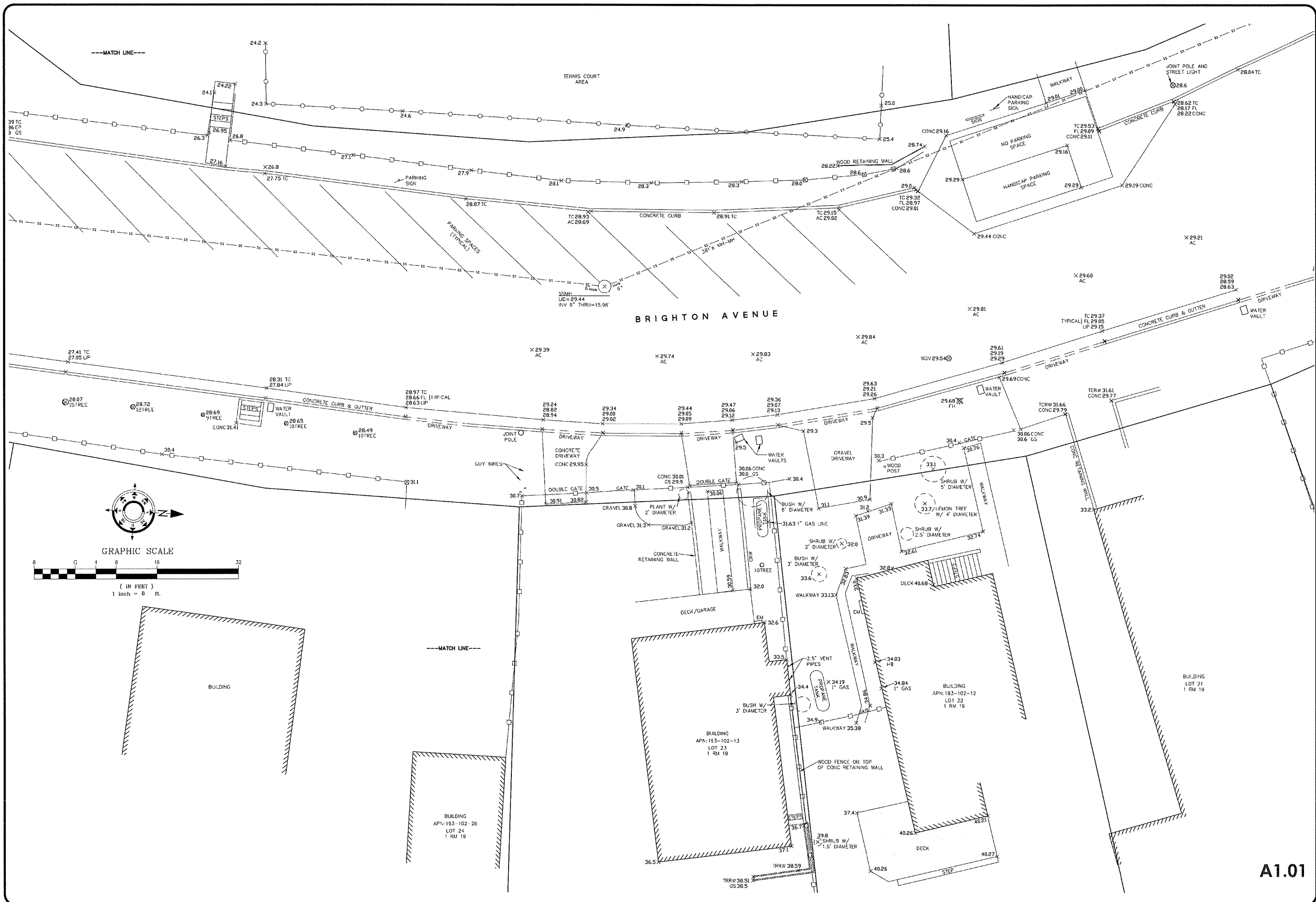
TREE NOTE:
 TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD OF SURVEY NOTE:
 BOUNDARY DATA SHOWN ON THIS SURVEY IS BASED ON A BOUNDARY SURVEY RESOLVED BY THE LICENSED LAND SURVEYOR AS SHOWN ON THE SURVEYOR'S STATEMENT. PER SECTION 8762 OF THE LAND SURVEYORS' ACT, A RECORD OF SURVEY WILL BE PREPARED AND SUBMITTED TO THE COUNTY OF RECORD AS PART OF THIS SURVEY.

SURVEYOR'S STATEMENT:
 THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Mark Smith
 MARK SMITH, S.S. #7539
 LICENSED LAND SURVEYOR
 STATE OF CALIFORNIA
 DATE _____



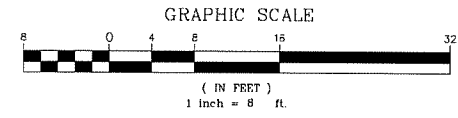
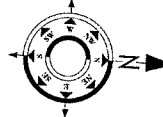
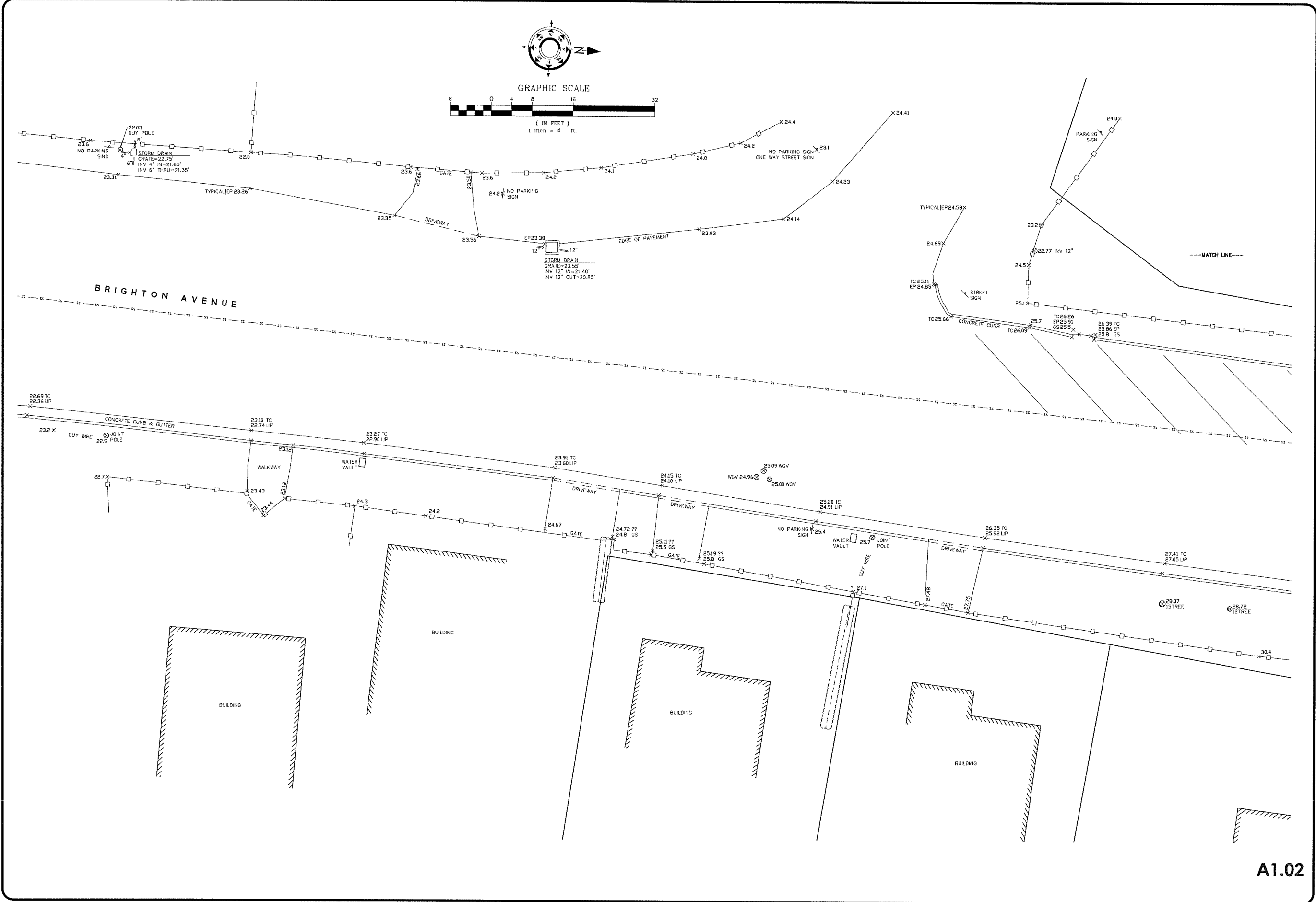


A1.01

MUIR CONSULTING
 139 CHURCH AVENUE
 CARLETON, CA 95301
 (925) 863-8630
 SURVEYING • ENGINEERING • LAND
 www.muirconsulting.com

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
 40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER 6534-01	DRAWING NAME	2 OF 6
	DRAWN BY WCC	6534-01TOPO.dwg	
	CHECKED BY JMS	SHEET NO.	
	DATE 11/01/2022		



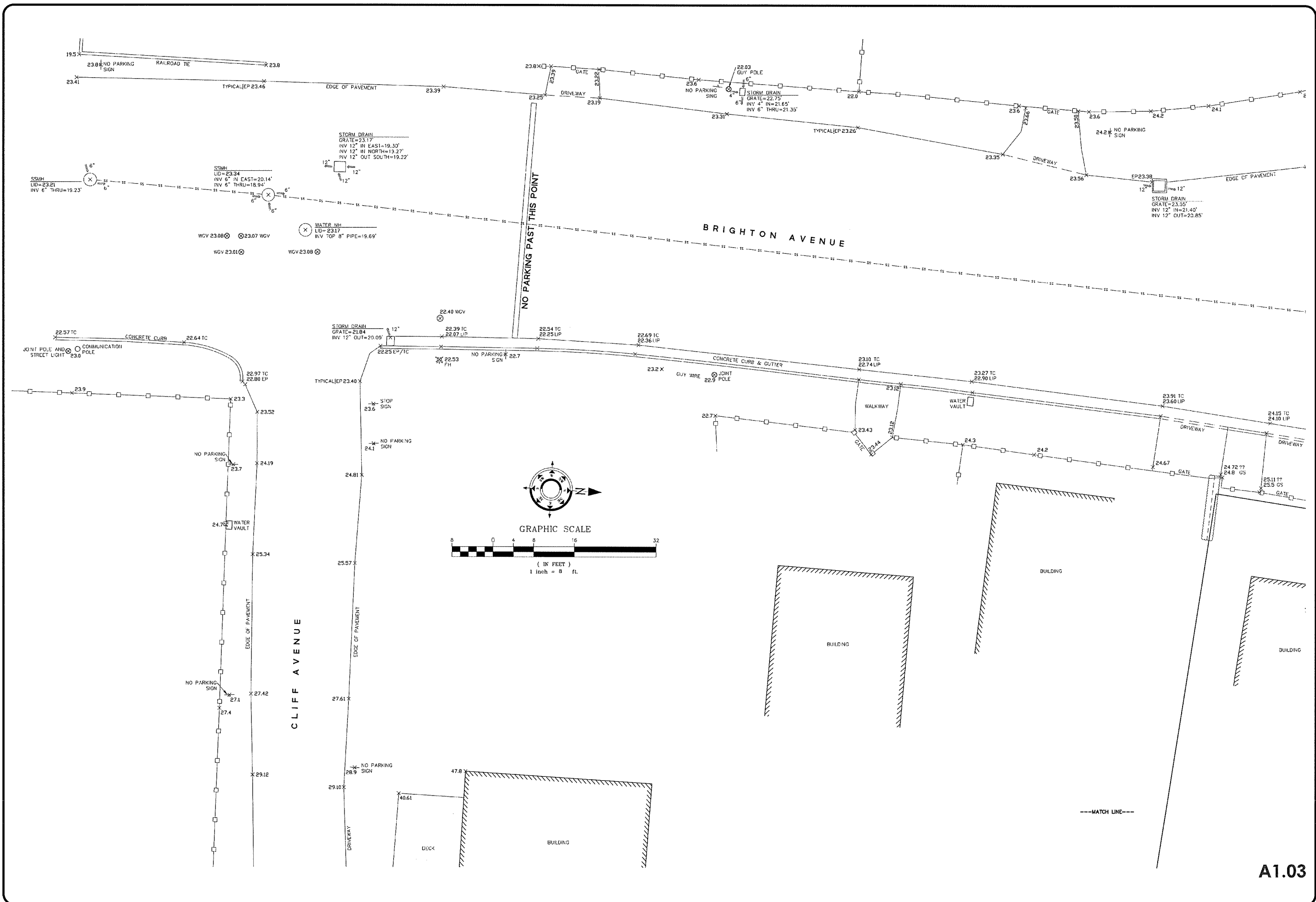
Muir Consulting
 139 CHURCH AVENUE
 CAKDALE, CA 95361
 (925) 849-8630
 www.muirconsulting.com



BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

REVISIONS	JOB NUMBER	6534-01	DRAWING NAME	
	DRAWN BY	WCC	6534-01TOPD.dwg	
	CHECKED BY	JMS	SHEET NO.	
	DATE	11/01/2022	3	6

A1.02



A1.03

Muir Consulting
 139 CHURCH AVENUE
 OAKDALE, CA 95361
 (916) 944-8800
 www.muirconsulting.com

MC

LAND SURVEYOR
 STATE OF CALIFORNIA
 No. 10000

BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

BOLINAS **4** OF **6**

REVISIONS	JOB NUMBER	DRAWING NAME	DRAWN BY	CHECKED BY	DATE
	6534-01	6534-01TOPO.dwg	WCC	JMS	11/01/2022



A1.04

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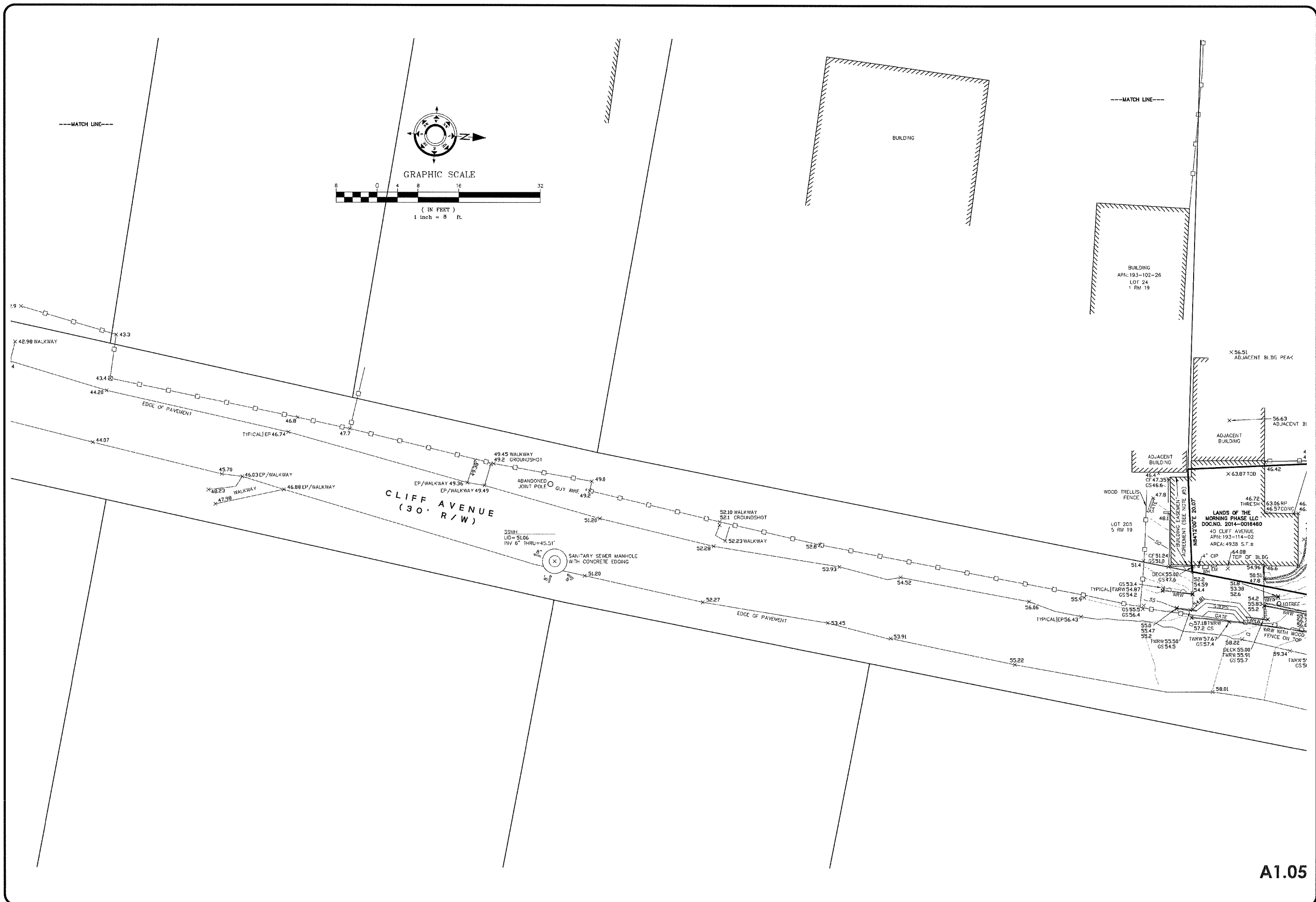


BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-01TOPO.dwg
SHEET NO.	5 OF 6

REVISIONS	



A1.05

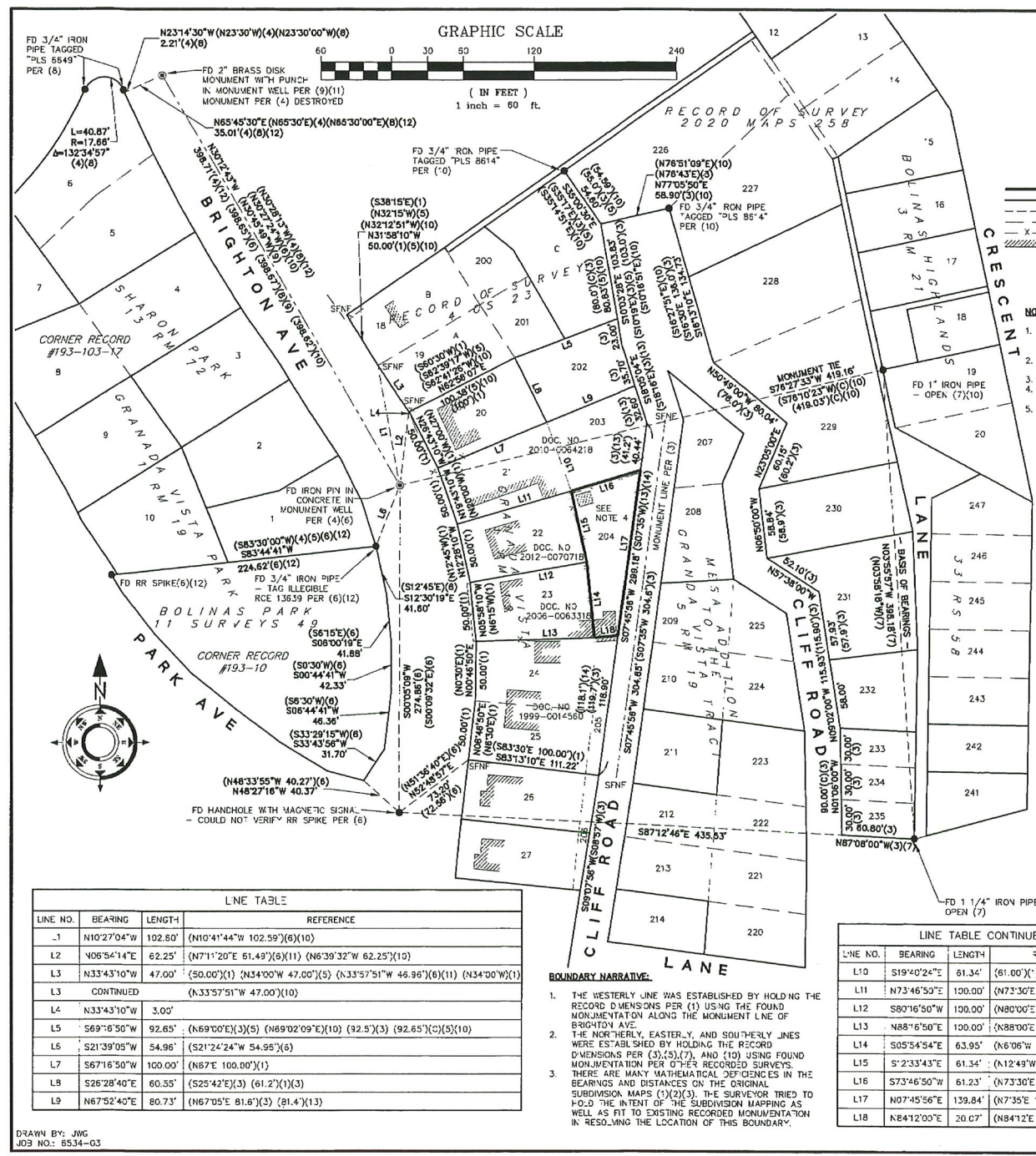
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BOUNDARY & TOPOGRAPHIC SURVEY
 OF
40 CLIFF ROAD
 MARIN COUNTY CALIFORNIA

JOB NUMBER	6534-01
DRAWN BY	WCC
CHECKED BY	JMS
DATE	11/01/2022

DRAWING NAME	6534-01.TPO.DWG
SHEET NO.	6
TOTAL SHEETS	6

Use of these plans and specifications shall be restricted to the original add for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any means, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



LINE TABLE

LINE NO.	BEARING	LENGTH	REFERENCE
L1	N10°27'04"W	102.80'	(N10°41'44"W 102.59')(6)(10)
L2	N06°54'14"E	62.25'	(N71°1'20"E 51.49')(9)(11) (N6°39'32"W 62.25')(10)
L3	N33°43'10"W	47.00'	(S0.00')(1) (N34°00'W 47.00')(5) (N33°57'51"W 48.96')(8)(11) (N34°00'W)(1)
L3	CONTINUED (N33°57'51"W 47.00')(10)		
L4	N33°43'10"W	3.00'	
L5	S69°16'50"W	92.85'	(N69°00'E)(3)(5) (N69°02'09"E)(10) (92.5')(3) (92.85')(5)(10)
L6	S21°39'05"W	54.96'	(S21°24'24"W 54.96')(8)
L7	S67°16'50"W	100.00'	(N67°E 100.00')(1)
L8	S26°28'40"E	60.35'	(S25°42'E)(3) (61.2')(1)(3)
L9	N67°52'40"E	80.73'	(N67°05'E 81.6')(3) (81.4')(13)

LINE TABLE CONTINUED

LINE NO.	BEARING	LENGTH	REFERENCE
L10	S19°40'24"E	81.34'	(61.00')(1) (61.4')(3) (60')(13)
L11	N73°46'50"E	100.00'	(N73°30'E 100.00')(1)
L12	S80°16'50"W	100.00'	(N80°00'E 100.00')(1)
L13	N88°16'50"E	100.00'	(N88°00'E 100.00')(1)
L14	S05°54'54"E	63.95'	(N6°06'W 64.0')(3) (63.6')(1)
L15	S°2'33'43"E	61.34'	(N12°49'W 61.3')(3) (62.0')(1)
L16	S73°46'50"W	61.23'	(N73°30'E 62.0')(3)(13)
L17	N07°45'56"E	139.84'	(N7°35'E 140.1')(3)
L18	N84°12'00"E	20.67'	(N84°12'E 21.0')(3) (N82°00'E 21.0')(14)

BOUNDARY NARRATIVE:

- THE WESTERLY LINE WAS ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (1) USING THE FOUND MONUMENTATION ALONG THE MONUMENT LINE OF BRIGHTON AVE.
- THE NORTHERLY, EASTERLY, AND SOUTHERLY LINES WERE ESTABLISHED BY HOLDING THE RECORD DIMENSIONS PER (3), (5), (7), AND (10) USING FOUND MONUMENTATION FROM OTHER RECORDED SURVEYS.
- THERE ARE MANY MATHEMATICAL DEFICIENCIES IN THE BEARINGS AND DISTANCES ON THE ORIGINAL SUBDIVISION MAPS (2)(3). THE SURVEYOR TRIED TO F.O.D. THE INTENT OF THE SUBDIVISION MAPPING AS WELL AS FIT TO EXISTING RECORDED MONUMENTATION IN RESOLVING THE LOCATION OF THIS BOUNDARY.

LEGEND
 OR CORNER RECORDS
 OCC. NO. DOCUMENT NUMBER
 FD FOUND
 OS OFFICIAL SURVEYS
 RM RECORD MAPS
 RR RAILROAD
 RS RECORD OF SURVEY
 SFNF SEARCHED FOR NOTHING FOUND
 () CALCULATED
 () INDICATES RECORD REFERENCE
 ● FOUND MONUMENT IN WELL AS NOTED
 ○ FOUND IRON PIPE AS NOTED

— SUBJECT BOUNDARY LINE
 - - - - - ADJOINING LOT LINE / RIGHT-OF-WAY LINE
 --- SURVEY TIE LINE
 --- ORIGINAL LOT LINE PER MAP
 --- FENCE LINE
 --- BUILDING FOOTPRINT

SURVEYOR'S STATEMENT:
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF DAVID SALAZAR & MEJINDA BAKER IN SEPTEMBER, 2022.

JACK M. SMITH, P.L.S. #7539



COUNTY SURVEYOR'S STATEMENT:
 THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 17TH DAY OF APRIL, 2023.

TRACY W. PARK, PLS #176
 COUNTY SURVEYOR



BY: LIONEL KEITH VINCENT
 DEPUTY COUNTY SURVEYOR
 P.L.S. #248

RECORDER'S STATEMENT:
 FILED THIS 21st DAY OF APRIL, 2023 AT 9:05 A.M.
 IN BOOK 2023 OF MAPS, AT PAGE 34 AT THE REQUEST OF
 MARIN COUNTY DEPARTMENT OF PUBLIC WORKS.

SHELLY SCOTT \$ 84
 COUNTY RECORDER FEE

J.C. 2023-0009994
 DEPUTY COUNTY RECORDER SERIAL NO.

RECORD OF SURVEY

OF THE LANDS OF MORNING PHASE LLC, AS SAID LANDS ARE DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED ON APRIL 29, 2014 AS DOCUMENT NUMBER 2014-0016460 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, SAID LANDS ALSO BEING LOT 204 AS SHOWN ON THAT CERTAIN RECORD MAP ENTITLED, "MESA ADDITION TO THE GRANDA VISTA TRACT" FILED FOR RECORD ON APRIL 3, 1923, IN MAP BOOK 5, AT PAGE 19 IN THE OFFICE OF THE RECORDER, MARIN COUNTY.

BOLINAS MARIN COUNTY CALIFORNIA
 JANUARY 2023

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SHEET 1 OF 1
 40 CLIFF AVENUE

BOLINAS RESIDENCE SUTRO ARCHITECTS

BOLINAS RESIDENCE SUTRO ARCHITECTS

BOLINAS RESIDENCE SUTRO ARCHITECTS



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

RECORD OF SURVEY

AS NOTED

A1.06

415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco CA 94109
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 PARCEL 193-11-02 | PROJECT NO. 2020.045

74

Use of these plans and specifications shall be restricted to the original use for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

RECORDING REQUESTED BY:
JACK SIEDMAN
WHEN RECORDED MAIL TO:
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CAL 94924

2010-0064956
Recorded
Official Records
County of
Marin
JOHN C. THWES
Assessor-Recorder
RECORDED 14-Dec-2010 Page 1 of 11

AP Nos. 193-102-26&193-114-02

THIS SPACE FOR RECORDERS USE ONLY

DOCUMENT TITLE

EASEMENT AGREEMENT

THIS PAGE IS ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
ADDITIONAL RECORDING FEE APPLIES

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:
John P. McGrath
Ashley Ratcliffe
1940 Alice Valley Blvd
Walnut Creek, California 94595
JACK SIEDMAN
P.O. BOX 37
BOLINAS, CALIF. 94924

EASEMENT AGREEMENT

This Easement Agreement ("Agreement") is made by and between Ashley Ratcliffe (hereinafter referred to as "Grantor") and Kevin and Annette Haw, (hereinafter collectively referred to as "Grantee") and is effective as of the last date of signature.

RECITALS

Grantor is the owner of certain real property ("the servient tenement") in the town of Bolinas, Marin County, California, known as 87 Brighton Ave., APN 193-102-26. Said servient tenement is depicted on Exhibit "A", attached hereto, which is a reproduction of the Town of Bolinas Assessor's Map Bk.193-pg.11, County of Marin, California, and incorporated herein by this reference.

Grantee is the owner of certain real property ("the dominant tenement") in the town of Bolinas, Marin County, California, known as 40 Cliff Road APN 193-114-02 as depicted on the above-described Exhibit "A", attached hereto, incorporated herein by this reference.

The purpose of this Agreement is to grant to Grantee certain easement rights over the property of Grantor, as set forth below.

AGREEMENT

1. Purpose of Agreement. A structure on Grantee's property encroaches upon a portion of Grantor's property, as depicted on the above-described Exhibit "A", attached hereto and incorporated herein by reference. The Encroachment occurred approximately thirty (30) years ago as an add-on to a structure that already existed on the dominant tenement. "The Encroachment" is approximately four (4) feet in the North to South direction and seventeen (17)

feet in the East to West direction and ranges in height from approximately five (5) foot, nine (9) inches at its lowest point to seven (7) foot at its tallest point, and is attached to the structure on the dominant tenement. The Encroachment is part of the kitchen and bathroom areas of the structure on the dominant tenement. The purpose of this Agreement is to grant an easement to Grantee allowing the continuation of The Encroachment and Grantee's continued use of The Encroachment.

2. Grant of Easement. In consideration of the mutual covenants, terms, conditions, and restrictions contained herein, and pursuant to the laws of the State of California, Grantor hereby voluntarily grants and conveys to Grantee, and their successors and assigns, subject to all existing encumbrances and exception to title, an easement appurtenant over the servient tenement of the nature and character and to the extent hereinafter set forth.

Grantor hereby grants to Grantee the following: an exclusive easement for The Encroachment which is entirely on the servient tenement and permanently attached and incorporated into the structure on the dominant tenement. The Encroachment is described above and identified on the above-described Exhibit "A", attached hereto and incorporated herein by reference.

Should either party want a legal description to more particularly describe the location of this easement, the party wanting the legal description shall be free to obtain one and the other party agrees to make an appropriate amendment to this agreement, in recordable form, to include said legal description. This easement shall be appurtenant to the dominant tenement.

3. Declaration of Restrictions. The Grantor hereby declares that the servient tenement shall be held, transferred, sold, conveyed, given, leased, occupied and used subject to all of the restrictions, covenants, easements, equitable servitudes, and affirmative obligations set forth in this Agreement.

4. Limitations of Grantees' Use. The use of the Easement by Grantee, and their successors in interest and assigns, is limited to the uses of the dominant tenement identified above. No other structures shall be constructed in the easement area, nor shall The Encroachment be extended or expanded in any direction, beyond its current envelope, including in height. In addition, if The Encroachment is ever demolished or if the structure on the dominant tenement to which it is affixed is ever replaced with a new structure, such new structure will not encroach into the easement area.

5. Maintenance and Repair. The obligation for maintenance and repair of the existing structure within the Easement shall be solely that of the Grantee.

6. Indemnity.

(a) Grantee shall indemnify and hold Grantor harmless against any and all claims, expenses, and liability due to any of Grantee's actions or actions of Grantee's subcontractors, guests, invitees, and/or agents related to the Easement.

(b) Grantor shall indemnify and hold Grantee harmless against any and all claims, expenses and liability due to any of Grantor's actions and actions of Grantor's subcontractors, guests, invitees, and/or agents related to the Easement.

7. Mediation. If a dispute arises out of or is related to this Easement Agreement, or its breach, the parties agree to try in good faith to settle the dispute by non-binding mediation before resorting to court action. The parties shall each pay one-half the cost of such mediation.

8. Discretion of Parties. Enforcement of the terms of this Easement shall be at the discretion of Grantee and Grantor, and any forbearance by Grantee or Grantor to exercise their rights under this Easement in the event of any breach of any term of this Easement by the other shall not be deemed or construed to be a waiver of such term or of any subsequent breach of the same or any other term of this Easement or of any rights under this Easement. No delay or omission in the exercise of any rights or remedy upon any breach shall impair such right or remedy or be construed as a waiver.

9. Amendment. If circumstances arise under which an amendment to or modification of this Easement would be appropriate, Grantor and Grantee may jointly amend this Easement. Any such amendment shall be recorded in the official records of Marin County, California.

10. Notices. Any notice, demand, request, consent, approval, or communication that either party desires or is required to give to the other shall be in writing and either served personally or sent by first class mail, postage prepaid, addressed as follows:

To Grantor:
Ashley Ratcliffe
P.O. Box 635
Bolinas, CA 94924

To Grantee:
Kevin and Annette Haw

435 South Ray Rd.
Portland, TN 37148

or to such other address as either party or its assignee from time to time shall designate by written notice to the other.

If either Grantor or Grantee shall sell their respective properties, thereafter the notices shall be sent to the name and address listed in the Marin County Assessor's most current listings as owner of the sold property.

11. Easement to Run With the Land.

(a) All of the restrictions, covenants, easements, equitable servitudes and affirmative obligations set forth in this Agreement that touch and concern the Property shall run with the land. All other terms, covenants, conditions and provisions of this Agreement shall inure to the benefit and be binding upon the respective heirs, successors and assigns of the parties.

(b) The terms and conditions of this agreement shall not give rise to any personal obligation of: (1) the Grantor for actions or events occurring after the Grantor no longer owns the servient tenement; or (2) the Grantee for actions or events occurring after the Grantee no longer owns the dominant tenement.

12. General Provisions.

(a) Controlling Law. The interpretation and performance of this Easement shall be governed by the laws of the State of California.

(b) Liberal Construction. Any general rule of construction to the contrary notwithstanding, this Easement shall be liberally construed in favor of the grant to effect the purpose of this Easement. If any provision in this instrument is found to be ambiguous, an interpretation consistent with the purpose of this Easement that would render the provision valid shall be favored over any interpretation that would render it invalid.

(c) Severability. If any provisions of this Easement, or the application thereof to any person or circumstance, is found to be invalid, the remainder of the provisions of this Easement, or the application of such provision to persons or circumstances other than those as to which it is found to be invalid, as the case may be, shall not be affected thereby.

(d) Entire Agreement. This instrument sets forth the entire Agreement of the parties with respect to the Easement and supersedes all prior

SUTRO ARCHITECTS

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94109

BOLINAS RESIDENCE

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BOLINAS, CA 94924
PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

EXISTING EASEMENT

AS NOTED

A1.07

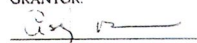
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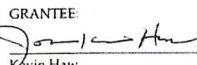
discussions, negotiations, understandings, or agreements relating to the Easement, all of which are merged herein. No alteration or variation of this instrument shall be valid or binding unless contained in an amendment that complies with the "Amendment" paragraph herein.

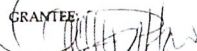
(e) No Forfeiture. Nothing contained herein will result in a forfeiture or reversion of Grantor's title in any respect.

(f) Attorney Fees. The prevailing party in any lawsuit or arbitration arising out of this agreement shall be entitled to recover reasonable attorney's fees.

(g) Captions. The captions in this instrument have been inserted solely for convenience of reference and are not a part of this instrument and shall have no effect upon construction or interpretation.

DATED: Feb 16, 2010 GRANTOR:

 Ashley Ratcliffe

DATED: 3-8-10, 2010 GRANTEE:

 Kevin Haw

DATED: 3-8-10, 2010 GRANTEE:

 Annette Haw

State of California)
 County of Marin) ss.

On February 16, 2010 before me, MARY J. SIEGMAN, Notary Public in and for said State, personally appeared ASHLEY RATCLIFFE who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal. (NOTARY SEAL)


 Signature of Notary Public



State of Jessica)
 County of Robertson) ss.

On March 8, 2010 before me, DEBRA WHITE, Notary Public in and for said State, personally appeared KEVIN HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Debra D. White
 Signature of Notary Public



State of Jessica)
 County of Robertson) ss.

On March 8, 2010 before me, Debra White, Notary Public in and for said State, personally appeared ANNETTE HAW who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Debra D. White
 Signature of Notary Public



Tax Rate Area 193-11
56-014

POR. RANCHO LAS BAULINES

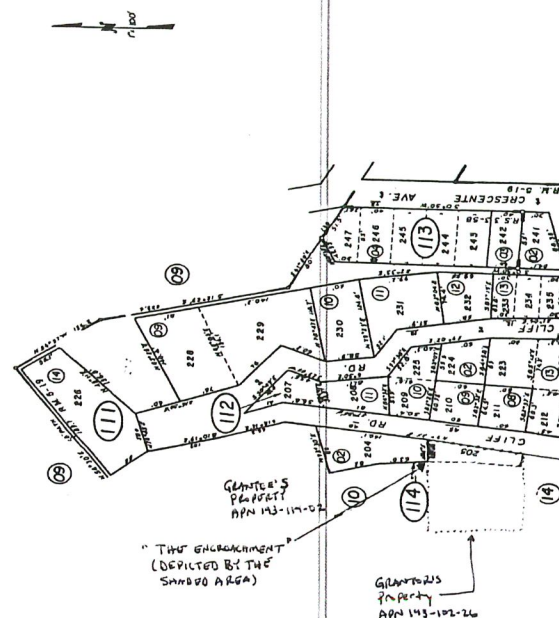
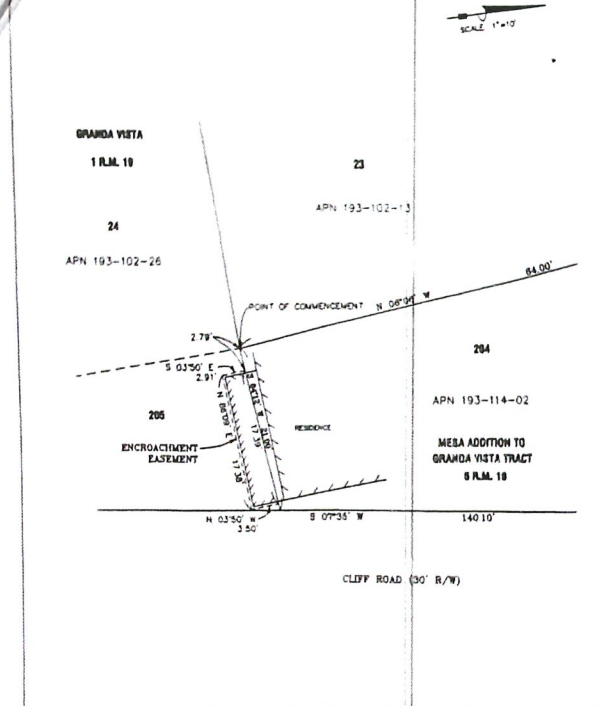


EXHIBIT "A" TO EASEMENT AGREEMENT
 B/W KEVIN + ANNETTE HAW + ASHLEY RATCLIFFE
 PAGE 1 OF 3

Commencing at the Northeastly corner of Lot 24 as shown upon that map entitled, "Plat of Granda Vista", filed for record in Book 1 of Maps, at Page 19, Marin County Records, also being the Northwestly corner of Lot 205 as shown upon that map entitled, "Mesa Addition to the Granda Vista Tract", filed for record in Book 5 of Maps, at Page 19, Marin County Records; thence Easterly along the Northernly line of said Lot 205, N 84deg 12' E, a distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence leaving said Northernly line distance of 2.79 feet to the TRUE POINT OF BEGINNING; thence N 03deg 09' E, a distance of 17.38 feet; thence S 03deg 50' E, a distance of 2.91 feet; thence N 03deg 09' E, a distance of 17.38 feet; thence N 03deg 50' W, a distance of 3.50 feet to a point on said Northernly line of Lot 205; thence Westerly along said Northernly line of Lot 205, S 84deg 12' W, a distance of 17.38 feet to the TRUE POINT OF BEGINNING.

EX "A" - PAGE 2 OF 3



EX "A" - PAGE 3 OF 3

BOLINAS RESIDENCE SUTRO ARCHITECTS



PLANNING - R2 03.27.2026
 PLANNING - R1 02.02.2026
 PLANNING 10.27.2025

EXISTING EASEMENT

AS NOTED

A1.08

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 BOLINAS, CA 94924
 PARCEL 193-114-02 | PROJECT NO. 2020.045

GENERAL SITE PLAN NOTES:

- VERIFY ALL EXISTING DIMENSIONS/CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. **DO NOT SCALE DRAWINGS** FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
- CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH BEST COMMON PRACTICES AND/OR MFR'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
- ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND AHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.

- CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS & AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SEE LANDSCAPE DRAWINGS.
- ALL EXISTING UTILITIES TO REMAIN U.O.N. GC TO CONFIRM ALL UTILITY LOCATIONS & CAPACITIES.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINES. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

DEMO KEYNOTES:

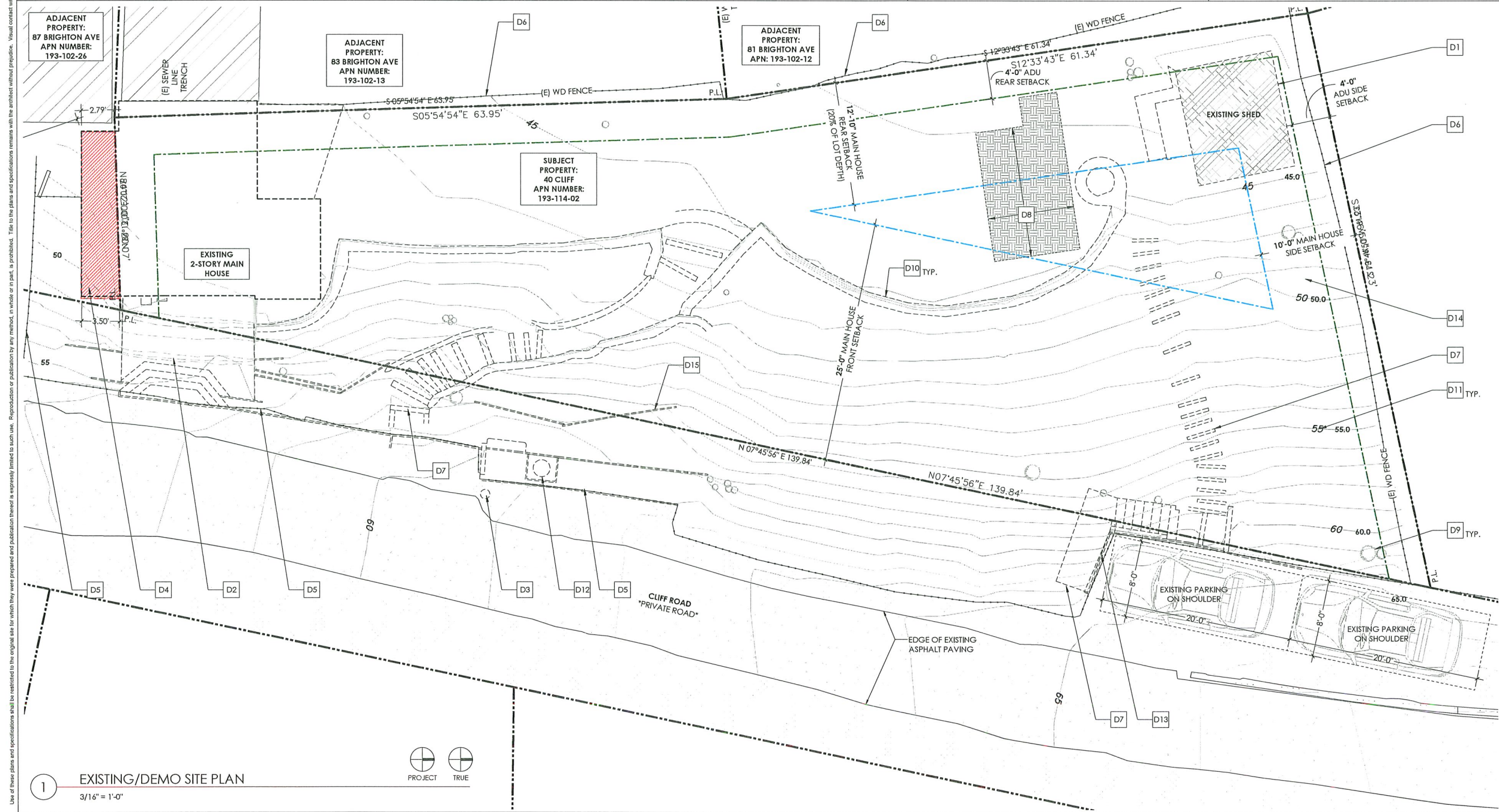
- D1 (E) SHED STRUCTURE TO BE DEMOLISHED
- D2 (E) NON-CONFORMING DECK TO BE REPAIRED AND MAINTAINED IN KIND
- D3 (E) END POLE TO BE REMOVED AND RELOCATED; SEE PG&E APPLICATION #124729161
- D4 (E) ENCROACHMENT EASEMENT WITH 87 BRIGHTON AVE
- D5 (E) NON-CONFORMING WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND
- D6 (E) WOOD FENCE TO BE REMOVED
- D7 (E) WOOD STAIRS TO BE REMOVED
- D8 EXTENTS OF (N) ADU CRAWLSPACE TBD
- D9 (E) TREES TO BE REMOVED U.O.N. SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL PLAN

DEMO KEYNOTES CONT.

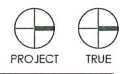
- D10 (E) SITE RETAINING WALLS TO BE REMOVED. (E) SOIL TO BE HELD BACK TEMPORARILY FOR (N) SITE RETAINING WALLS. SEE PROPOSED SITE PLAN FOR (N) RETAINING WALL LOCATIONS.
- D11 SEE CIVIL DRAWINGS FOR PROPOSED SITE GRADING AND DRAINAGE PLANS
- D12 (E) PROPANE TANK TO BE REMOVED
- D13 (E) NON-CONFORMING WOOD RETAINING WALL TO BE REPAIRED AND MAINTAINED IN KIND.
- D14 (E) SOIL TO BE EXCAVATED FOR (N) BASEMENT
- D15 (E) WD RETAINING WALL TO BE REMOVED

EXISTING & DEMO SITE PLAN LEGEND:

- PROPERTY LINE
- ▭ SUBJECT PROPERTY
- MAIN HOUSE SETBACK
- ADU SETBACK
- ▨ ADJACENT NEIGHBOR'S BLDG
- ▨ AREA OF DEMOLITION
- - - EXISTING ELEMENTS TO BE REMOVED
- ▨ (E) ENCROACHMENT EASEMENT
- ▨ (E) FENCE TO BE REPAIRED & MAINTAINED
- ▨ (E) SOIL TO BE REMOVED FOR (N) ADU CRAWLSPACE



1 EXISTING/DEMO SITE PLAN
3/16" = 1'-0"



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PARCEL 193-114-02 | PROJECT NO. 2020.045

LICENSED ARCHITECT

STEPHEN B. PRO

C-30702

02.28.2027

RENEWAL DATE

STATE OF CALIFORNIA

PLANNING - R2 03.27.2025

PLANNING - R1 02.02.2025

PLANNING 10.27.2025

EXISTING / DEMO SITE PLAN

3/16" = 1'-0"

A1.10

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- GENERAL SITE PLAN NOTES:**
- VERIFY ALL EXISTING DIMENSIONS/CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO COMMENCING WORK. **DO NOT SCALE DRAWINGS** FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
 - CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH BEST COMMON PRACTICES AND/OR MFR'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
 - ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED UNIFORM BUILDING CODE (UBC), UNIFORM PLUMBING CODE (UPC), UNIFORM MECHANICAL CODE (UMC), AND THE NATIONAL ELECTRICAL CODE (NEC) AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS & OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
 - SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND AHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
 - CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE

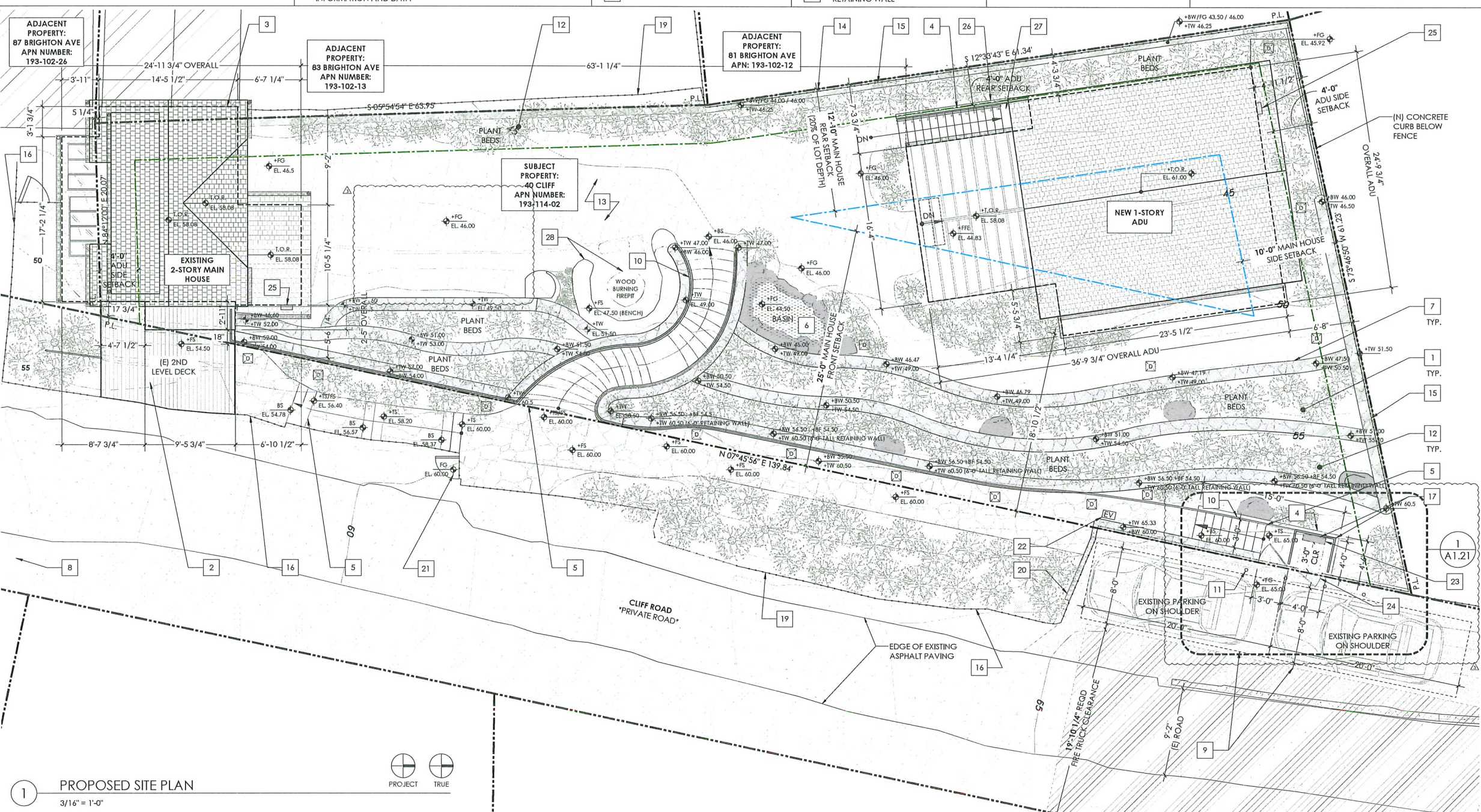
- SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
- DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
- TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS & AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SEE LANDSCAPE DRAWINGS.
- ALL EXISTING UTILITIES TO REMAIN U.O.N. GC TO CONFIRM ALL UTILITY LOCATIONS & CAPACITIES.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINES. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

- KEYNOTES:**
- (N) SITE GRADING AND DRAINAGE; S.C.D., TYP.
 - (E) WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND - ALL REPAIRS TO BE MINOR AND INCIDENTAL UP TO 50%
 - (E) MAIN HOUSE TO BE REPAIRED AND MAINTAINED IN KIND
 - (N) 42" GUARDRAIL
 - (N) STONE LANDING, TREADS AND RISERS; S.L.A.D.
 - (N) WATER FEATURE; NOT TO EXCEED 18" DEEP
 - (N) RETAINING WALLS NOT TO EXCEED 6'-0" FROM T.O.W TO B.O.F
 - SEE PG&E APPLICATION #124729161 FOR NEW POLE
 - (E) PARKING ON SHOULDER TO REMAIN
 - (N) 36" HANDRAIL

- KEYNOTES CONT.**
- NEW BOLLARDS PER PG&E
 - (N) PLANT BEDS; SEE S.L.A.D.
 - (N) STONE PAVERS; S.L.A.D.
 - (N) CONC LAGGING RETAINING WALL ALONG WEST PROPERTY LINE
 - (N) WOOD FENCE ALONG WEST / NORTH PROPERTY LINE
 - (E) WOOD FENCE TO BE REPAIRED AND MAINTAINED IN KIND; NOT TO EXCEED 6'-0" TALL
 - (N) PLATFORM & CONCRETE RETAINING WALLS & PG&E METER
 - NOT USED
 - REPAIR & MAINTAIN (E) SECTION OF NON CONFORMING FENCE; NOT TO EXCEED 6'-0" TALL
 - REPAIR AND MAINTAIN EXISTING RETAINING WALL

- KEYNOTES CONT.**
- REPLACE (E) ENTRY GATE IN KIND
 - EV CHARGING STATION PER CAL GREEN 4.106.4
 - (N) ELEC SWITCHBOARD/METER INSTALLED PER PG&E
 - (N) 36"W KEYED GATE FOR PG&E ACCESS
 - (N) WALL MTD ELEC CIRCUIT BREAKER PANEL
 - (N) CURB
 - SUMP PUMP @ B.O. STAIR; SEE CIVIL DRAWINGS
 - SITE FEATURE NOT TO EXCEED 18" ABV. GRADE.

- PROPOSED SITE PLAN LEGEND:**
- PROPERTY LINE
 - LINE OF SUBJECT BUILDING WALL
 - MAIN HOUSE SETBACK
 - ADU SETBACK
 - ADJACENT NEIGHBOR'S BLDG
 - STONE PAVERS
 - ROOF SHINGLES
 - PLANTING BED; SEE LANDSCAPE DWGS
 - FENCE
 - AREA DRAIN; SEE CIVIL DWGS
 - GRAVEL DRIVE
 - ASPHALT / CONCRETE



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LIC. UNCLAS. ARCHITECT
STEPHEN H. SUTRO
C-37702
1/22/28/2027
RENEWAL DATE
STATE OF CALIFORNIA

PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

PROPOSED SITE PLAN

3/16" = 1'-0"

A1.20

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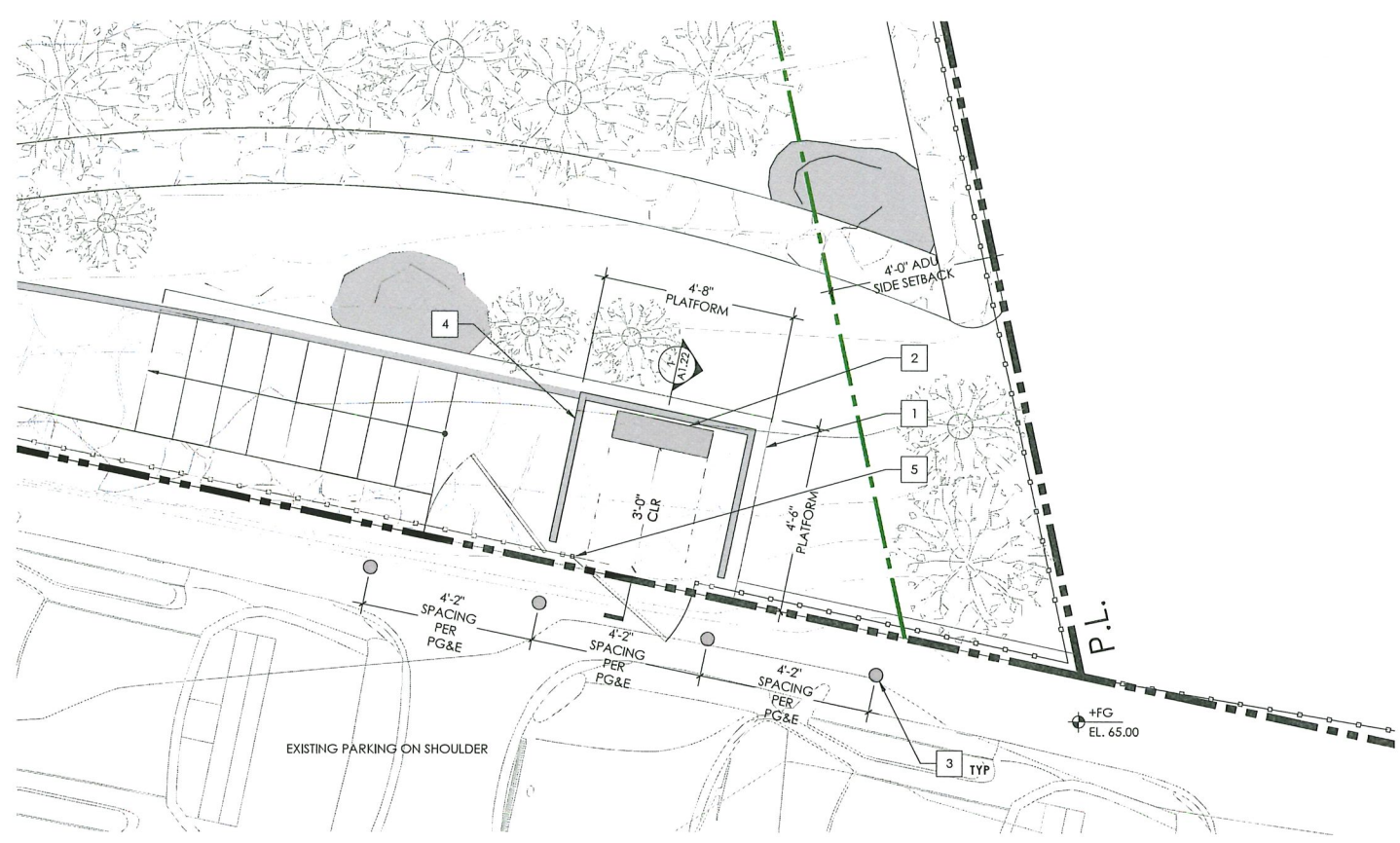
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- ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.
- PLEASE REFER TO A0.00 GENERAL NOTES FOR ALL PROJECT INFORMATION AND DATA

KEYNOTES:

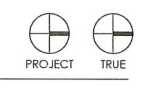
- (N) PLATFORM & CONCRETE RETAINING WALLS
- (N) PG&E METER
- (N) BOLLARDS PER PG&E
- (N) 42"H GUARDRAIL
- (N) WOOD GATE TO MATCH (E) FENCE

PROPOSED SITE PLAN LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- ADJACENT NEIGHBOR'S BLDG
- STONE PAVERS
- ROOF SHINGLES
- PLANTING BED: SEE LANDSCAPE DWGS
- FENCE
- AREA DRAIN: SEE CIVIL DWGS
- GRAVEL DRIVE
- ASPHALT / CONCRETE



1 ENLARGED PLAN @ PG&E PLATFORM
1/2" = 1'-0"



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03.27.2025

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02.02.2026

PLANNING
10.27.2025

ENLARGED PLAN:
PG&E PLATFORM

1/2" = 1'-0"

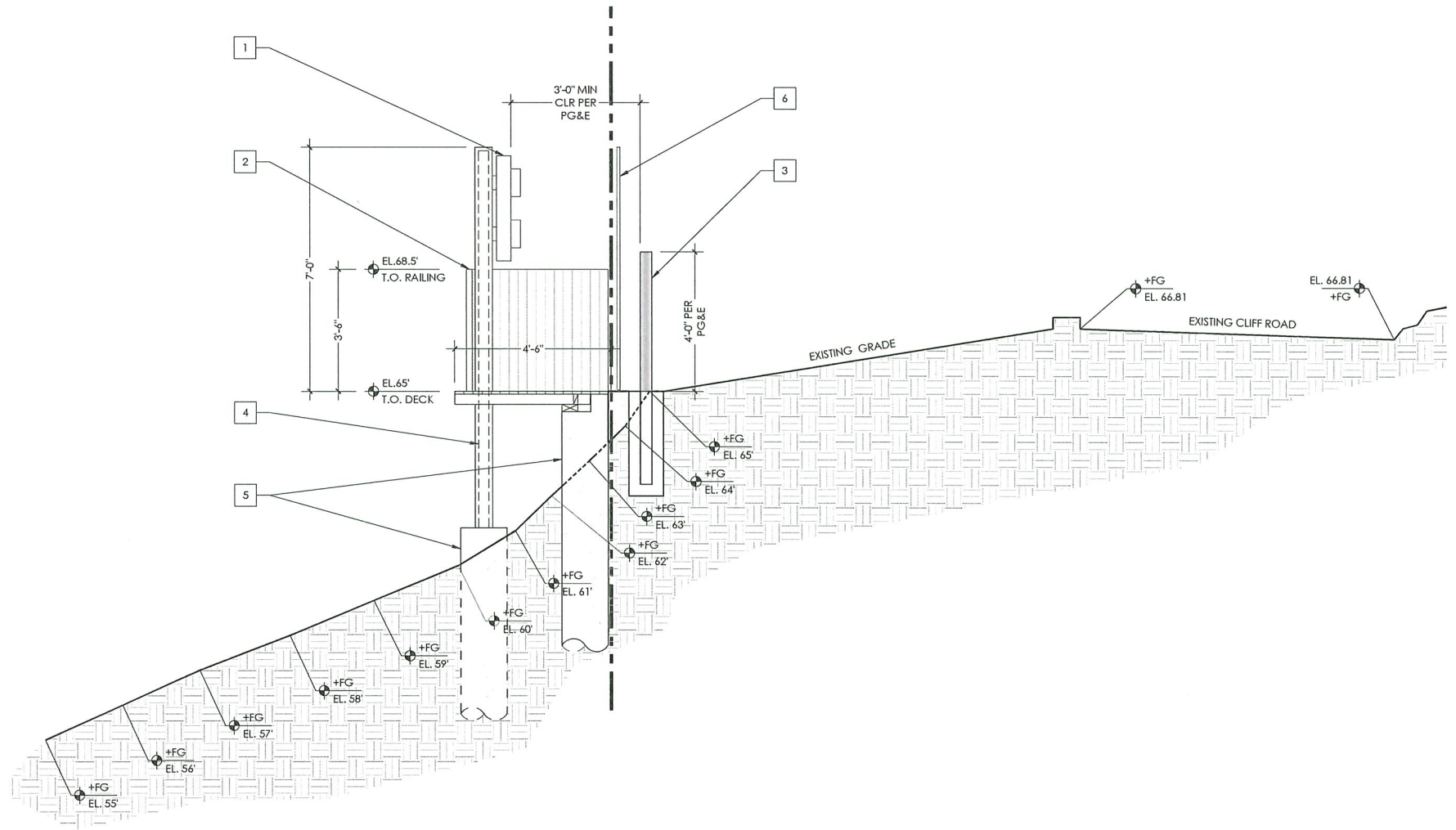
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7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS & AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES. SEE LANDSCAPE DRAWINGS.
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10. ALL (E) DIMENSIONS TO BE VERIFIED IN FIELD, TYP.

- KEYNOTES:**
- 1 PG&E BACKBOARD
 - 2 42" TALL WOOD RAILING
 - 3 FIXED BOLLARDS PER PG&E
 - 4 STRUCTURAL POST
 - 5 CONG. DRILLED PIERS
 - 6 WOOD GATE TO MATCH (E) FENCE



1 PROPOSED SECTION @ PG&E PLATFORM
1/2" = 1'-0"

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- PLANNING 10.27.2025 ▲

PROPOSED
SITE SECTIONS:
PG&E PLATFORM

1/2" = 1'-0"

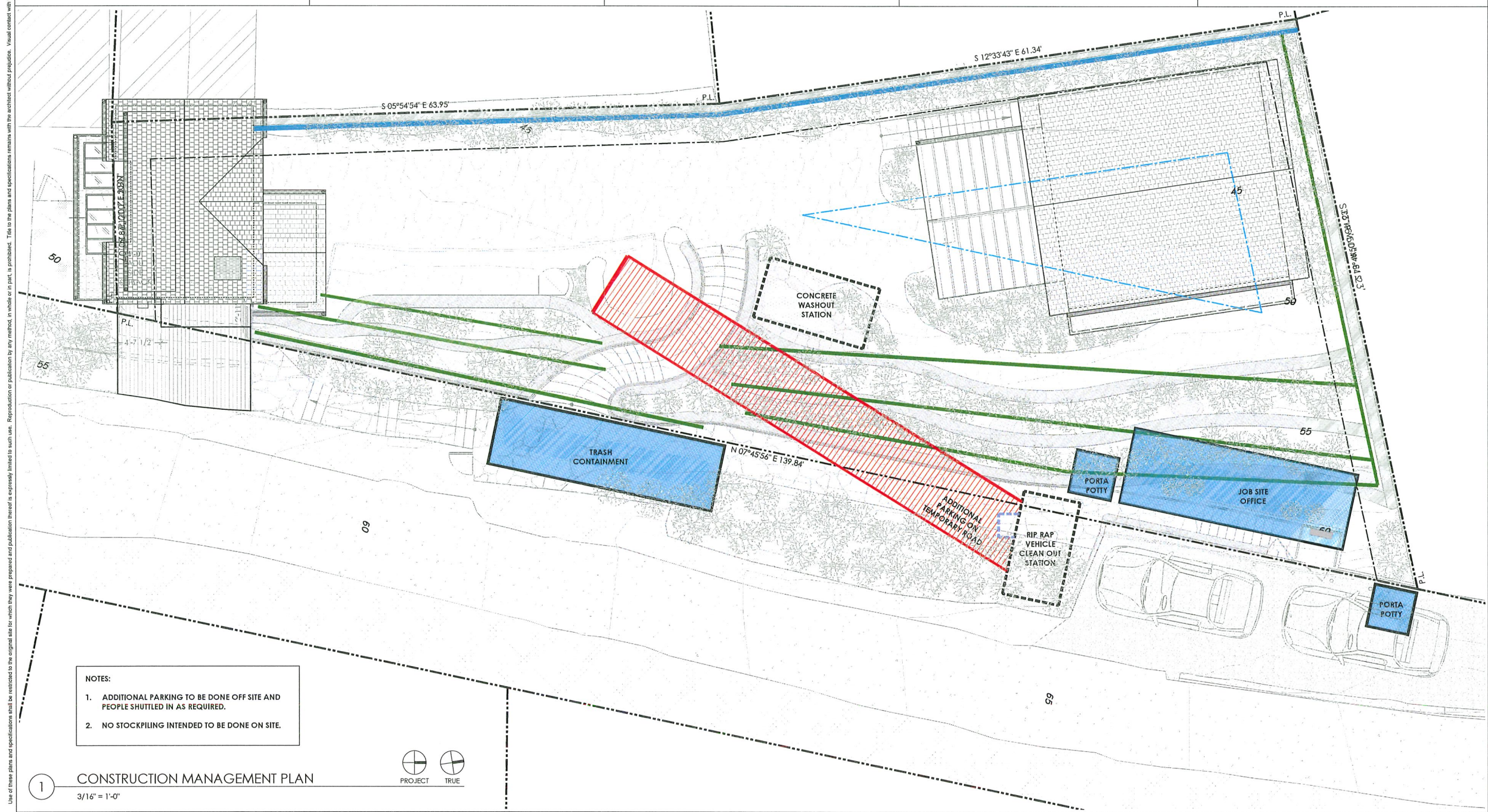
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GENERAL NOTES:

- DUST REDUCTION.** DUST REDUCTION SHALL BE CONSISTENT WITH THE BAY AIR QUALITY MANAGEMENT DISTRICT'S BASIC CONTROL MEASURES.

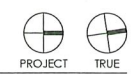
KEYNOTES:

- LEGEND:**
- PROPERTY LINE
 - REQ'D SETBACK
 - CONSTRUCTION STAGING AREA
 - DRAIN ROCK SWALE AT NEW RETAINING WALL (WATER MANAGEMENT)
 - TEMPORARY BASEROCK ROAD
 - FIBER ROLLS AND SILT FENCE, EROSION CONTROL BLANKETS TO BE INSTALLED AS REQ'D PER CIVIL
 - DRAIN INLET PROTECTION



- NOTES:**
- ADDITIONAL PARKING TO BE DONE OFF SITE AND PEOPLE SHUTTLED IN AS REQUIRED.
 - NO STOCKPILING INTENDED TO BE DONE ON SITE.

1 CONSTRUCTION MANAGEMENT PLAN
3/16" = 1'-0"



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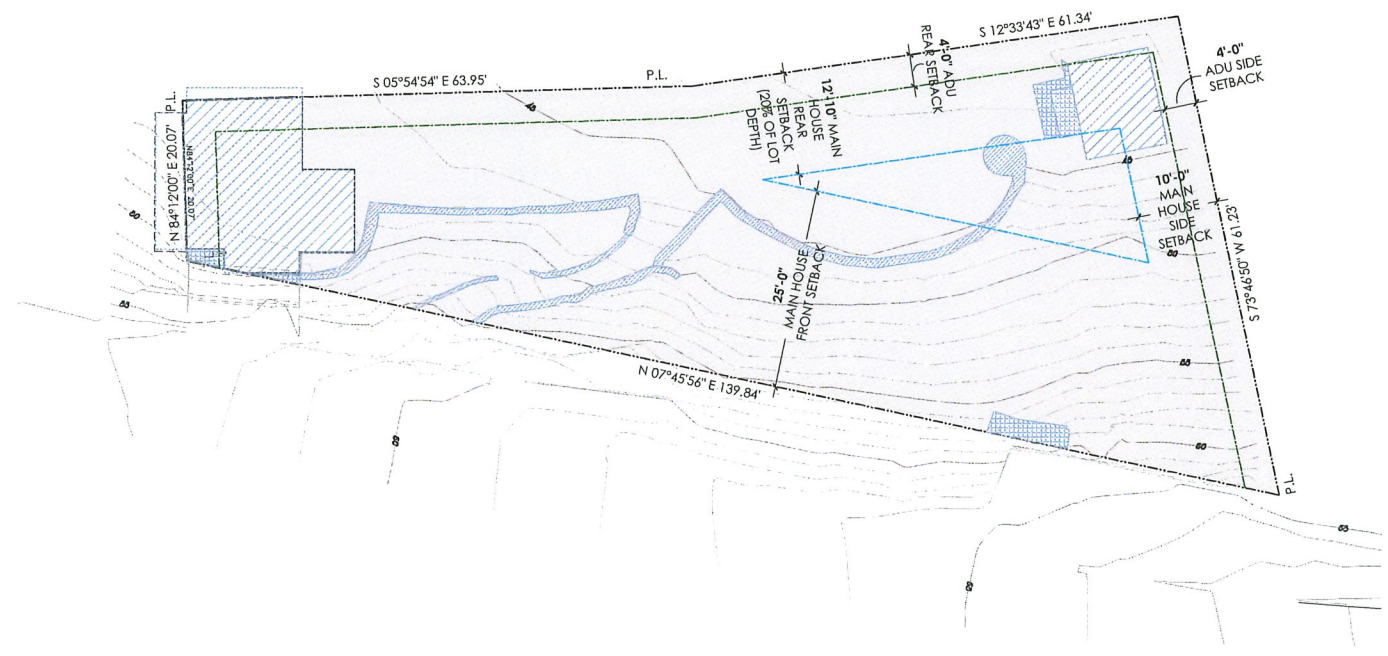
CONSTRUCTION MANAGEMENT PLAN

3/16" = 1'-0"

A1.30

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2 EXISTING IMPERVIOUS COVER
3/32" = 1'-0"



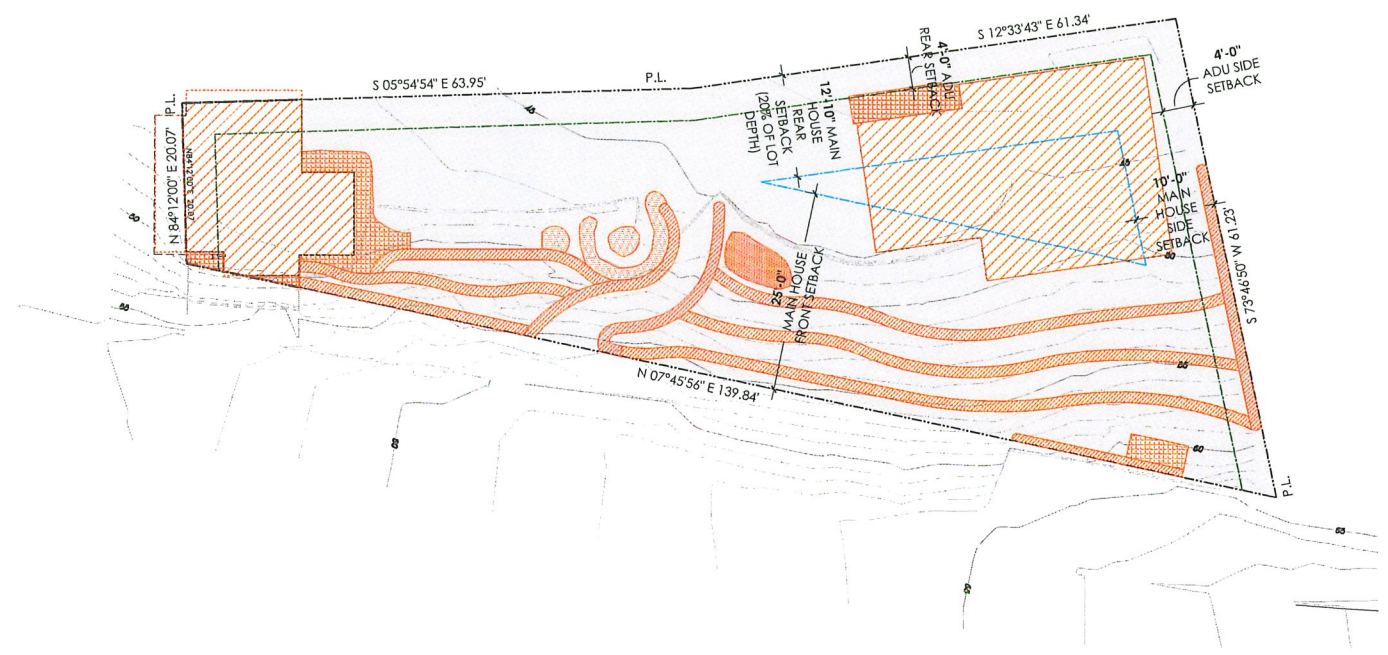
LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- IMPERVIOUS COVER: STRUCTURE
- IMPERVIOUS COVER: WALKING SURFACE
- IMPERVIOUS COVER: RETAINING WALLS
- PERVIOUS COVER

IMPERVIOUS / PERVIOUS CALCULATIONS

EXISTING IMPERVIOUS: 743 SF
 EXISTING PERVIOUS: 4,195 SF
 TOTAL LOT AREA: 4,938 SF

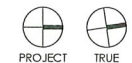
1 PROPOSED IMPERVIOUS COVER
3/32" = 1'-0"



LEGEND:

- PROPERTY LINE
- LINE OF SUBJECT BUILDING WALL
- MAIN HOUSE SETBACK
- ADU SETBACK
- IMPERVIOUS COVER: STRUCTURE
- IMPERVIOUS COVER: WALKING SURFACE
- IMPERVIOUS COVER: RETAINING WALLS
- IMPERVIOUS COVER: WATER FEATURE
- IMPERVIOUS COVER: MISC. SITE FEATURE
- PERVIOUS COVER

IMPERVIOUS / PERVIOUS CALCULATIONS	NEW/REPLACED IMPERVIOUS CALCULATIONS
PROPOSED IMPERVIOUS: 1,894 SF PROPOSED PERVIOUS: 3,110 SF TOTAL LOT AREA: 4,938 SF	PROPOSED NEW/REPLACED IMPERVIOUS: 1,861 SF - 371 SF = 1,490 SF



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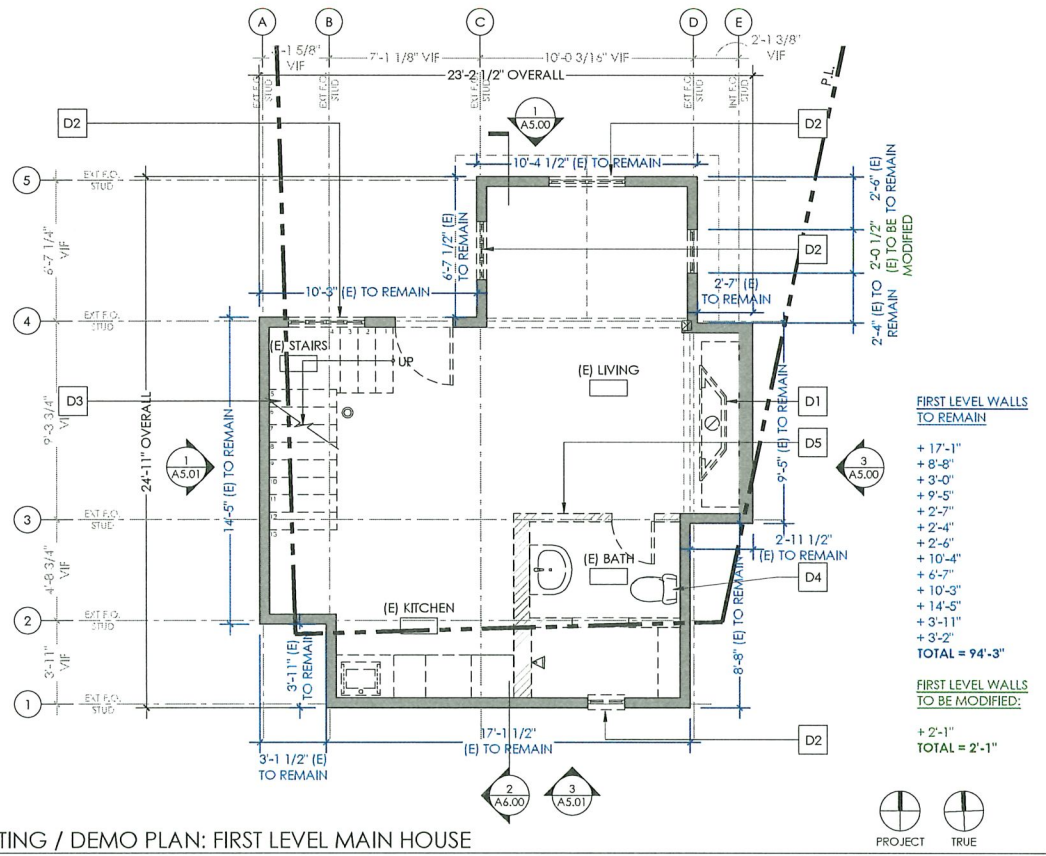
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 PLANNING 10.27.2025

EXISTING AND PROPOSED IMPERVIOUS COVER PLAN

3/32" = 1'-0"

A1.31

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GENERAL FLOOR AREA PLANNING NOTES:

FLOOR AREA. PER MCC 22.130.030, FLOOR AREA IS THE SUM OF THE GROSS AREA OF ALL FLOORS IN ALL BUILDINGS ON A SITE, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, INCLUDING ENCLOSED UNDERSTORY, BASEMENT AND ATTIC SPACE THAT CAN BE EASILY COVERED TO LIVING AREA BUT EXCLUDING:

- ALL UNENCLOSED HORIZONTAL SURFACES, INCLUDING BALCONIES, COURTS, DECKS, PORCHES, TERRACES;
- FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST TWO HUNDRED FIFTY SQUARE FEET OF FLOOR AREA OF ALL DETACHED ACCESSORY STRUCTURES NOT DESIGNED FOR AND/OR USED FOR HABITABLE SPACE;
- FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST FIVE HUNDRED AND FORTY (540) SQUARE FEET OF GARAGE AREAS PERMANENTLY ALLOCATED FOR VEHICLE PARKING;
- FOR TWO-FAMILY, MULTI-FAMILY, AND NON-RESIDENTIAL STRUCTURES, ALL FLOOR AREA THAT IS REQUIRED TO MEET MINIMUM PARKING STANDARDS UNDER TITLE 24; EXTERIOR WALL THICKNESS OF GREATER THAN SIX INCHES, WHERE THE ADDITIONAL WALL THICKNESS RESULTS IN GREATER ENERGY EFFICIENCY (E.G., STRAW BALE CONSTRUCTION OR EARTHEN WALL CONSTRUCTION), AS DEMONSTRATED BY THE APPLICANT AND SUBJECT TO THE APPROVAL OF THE DIRECTOR; AND
- BAY WINDOWS.

THE FLOOR AREA OF STAIRWAYS, ELEVATORS, AND OTHER VERTICAL ACCESSSES, IS INCLUDED IN THE TOTAL FLOOR AREA ONLY AS TO THE "FOOTPRINT" (AREA AT THE BASE) OF THE VERTICAL ACCESS, AND IS NOT COUNTED AT EACH FLOOR OF A BUILDING. IN ORDER TO QUALIFY AS AN UNENCLOSED HORIZONTAL SURFACE, AT LEAST ONE OF THE LONGEST WALL PLANES OF THE SPACE SHALL BE KEPT OPEN WITH THE EXCEPTION THAT RAILINGS WITH A SURFACE AREA THAT IS AT LEAST 50 PERCENT OPEN AND UNOBSTRUCTED BY STRUCTURAL ELEMENTS AND THAT ARE NECESSARY FOR SAFETY OR CONVENIENCE PURPOSES MAY BE ALLOWED WITHIN THE OPEN WALL PLANE, AS DEFINED HEREIN, UNDERSTORY, BASEMENT, AND ATTIC SPACE THAT CAN BE CONVERTED TO HABITABLE AREA WITH AN INTERIOR REMODEL INCLUDES: (1) ENCLOSED UNCONDITIONED AND UNIMPROVED AREAS THAT YIELD A MINIMUM CLEAR ROOM AREA OF 7 FEET BY 7 FEET AND A MINIMUM CEILING HEIGHT OF 7 FEET OR HIGHER; AND (2) ALL ATTIC AREAS WITH A MINIMUM CEILING HEIGHT OF 5 FEET OR HIGHER.

GENERAL DEMO NOTES:

- CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
- CONTRACTOR TO IDENTIFY AREAS OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, & OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHED LINES ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES & HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW & APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
- ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS IF APPLICABLE SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS & PARTITIONS.
- CONTRACTOR TO VISUALLY INSPECT FOR DRY ROT & MAKE RECOMMENDATIONS TO OWNER & ARCHITECT. BEFORE REMOVING & REPLACING ELEMENTS AFFECTED BY DRY ROT BEYOND WHAT IS NOTED IN ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY BUILDING INSPECTOR.

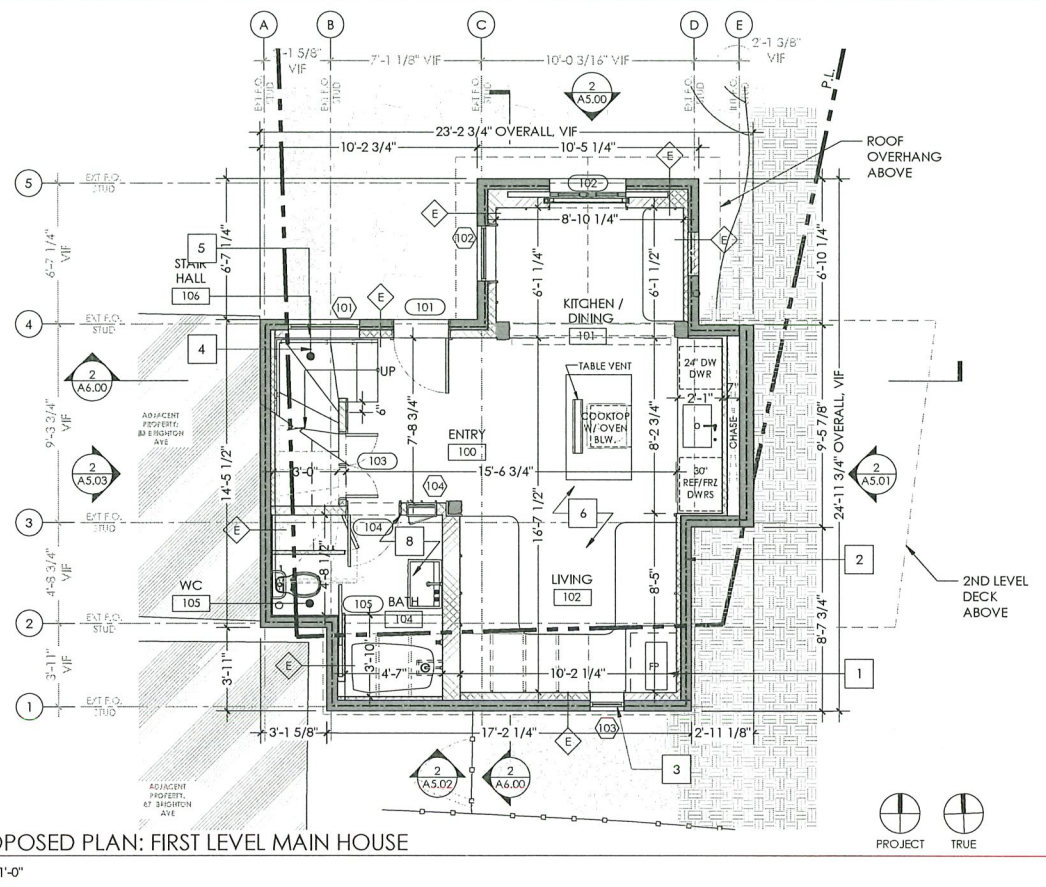
GENERAL FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

BOLINAS RESIDENCE
SUTRO ARCHITECTS

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PARCEL 193-11-402 1 PROJECT NO. 2020.045



MAIN HOUSE DEMO CALC (IN LINEAR FT)

	(E) WALLS TO REMAIN	(E) WALLS TO BE REMOVED	(E) WALLS TO BE MODIFIED	TO ADD	TOTAL EXISTING	% REMOVED
1ST LEVEL	94.29	-	2.04	-	94.29	0%
2ND LEVEL	57.5	9.67	1.83	-	47.17	14.40%
TOTAL	151.79	9.67	3.87	-	141.46	5.99%

MAIN HOUSE AREA CALC (IN SQUARE FT)

	HABITABLE	NON-HABITABLE (NOT INCLUDED IN F.A.R.)	TOTAL
1ST LEVEL	457	0	457
2ND LEVEL	143	86	229
TOTAL	600	86	686

DEMO KEY NOTES:

- D1 (E) FIREPLACE TO BE REMOVED
- D2 (E) WINDOW TO BE REMOVED & REPLACED
- D3 (E) WOOD STAIRS TO BE REMOVED & REPLACED
- D4 (E) PLUMBING FIXTURES TO BE REMOVED, TYP.
- D5 (E) WALLS TO BE REMOVED, TYP.

KEY NOTES:

- (N) DIRECT VENT OR SEALED COMBUSTION FIREPLACE
- 5/8" TYPE X GWB BEHIND ALL EXTERIOR WALLS, TYP.
- (N) NON-OPERABLE 1-HR FIRE RATED WINDOW IN (E) OPENING
- (N) WINDER STAIR TREADS & RISERS PER CBC SECTION 1011.4 & 1011.5.3. RISER HEIGHT AND TREAD DEPTH PER CBC SECTION 1011.5.
- (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2-1014.9
- (N) KITCHEN APPLIANCES, FIXTURES & FINISHES
- NOT USED
- (N) BATH FIXTURES & FINISHES

DEMO PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (E) WALLS TO BE REMOVED
- (E) ELEMENTS TO BE REMOVED

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (N) WALLS & PARTITIONS
- 1-HOUR RATED WALL
- WINDOW TAG
- DOOR TAG
- WALL TYPE

LICENSED ARCHITECT
SUTRO ARCHITECTS
C-31702
02.25.2027
RENEWAL DATE

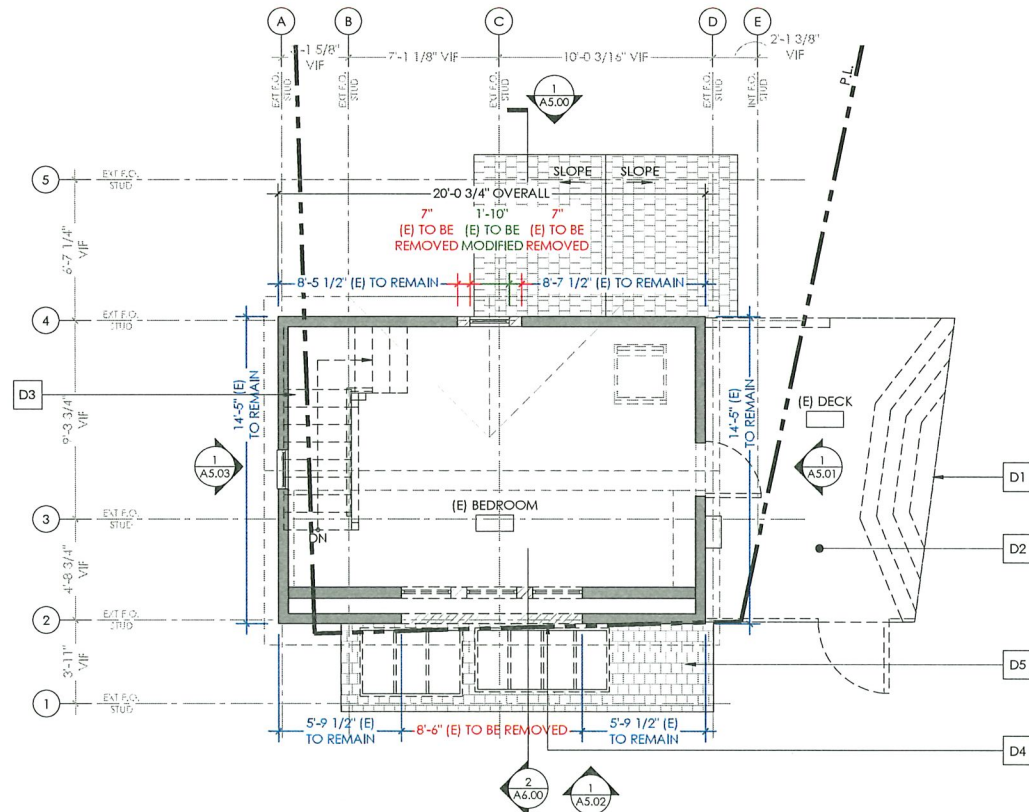
PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
FIRST LEVEL

1/4" = 1'-0"

A2.01

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1 EXISTING / DEMO PLAN: SECOND LEVEL MAIN HOUSE
1/4" = 1'-0"

SECOND LEVEL WALLS TO REMAIN:

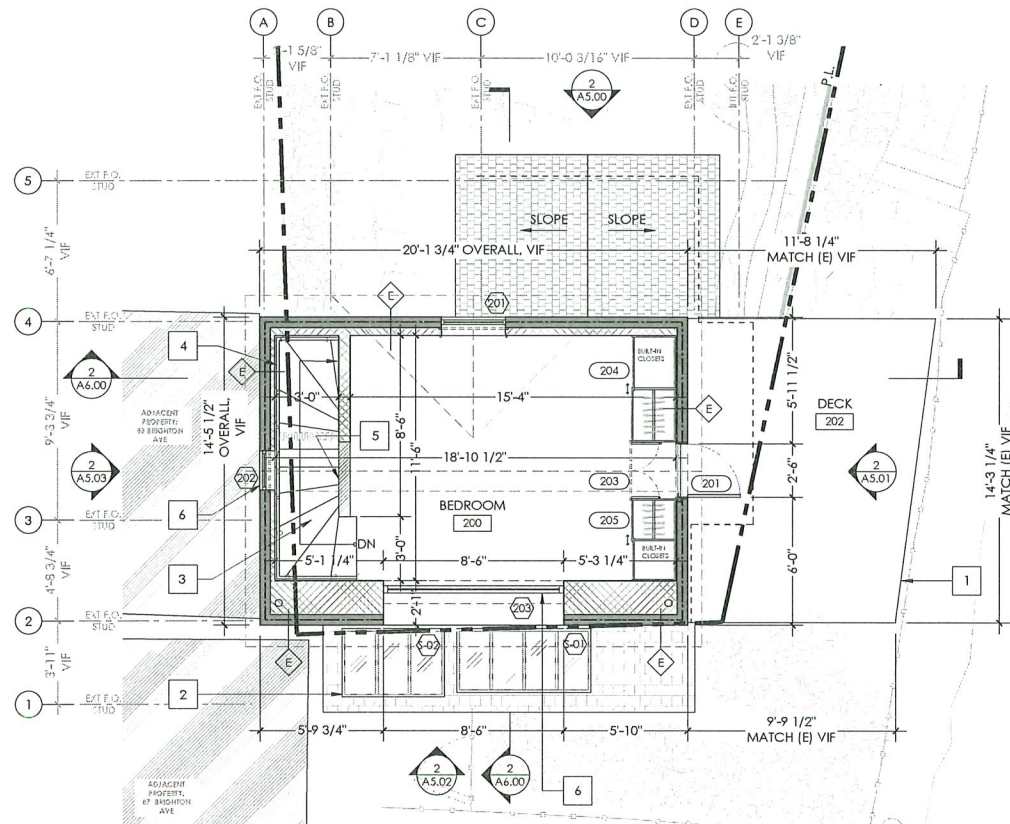
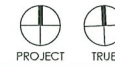
+ 5'-9 1/2"
+ 5'-9 1/2"
+ 14'-5"
+ 8'-7 1/2"
+ 8'-7 1/2"
+ 14'-5"
TOTAL = 57'-6"

SECOND LEVEL WALLS TO BE REMOVED:

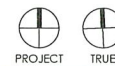
+ 7"
+ 7"
+ 8'-6"
TOTAL = 9'-8"

SECOND LEVEL WALLS TO BE MODIFIED:

+ 1'-10"
TOTAL = 1'-10"



2 PROPOSED PLAN: SECOND LEVEL MAIN HOUSE
1/4" = 1'-0"



GENERAL DEMO NOTES:

- CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
- CONTRACTOR TO IDENTIFY AREAS OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, & OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHED LINES ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES & HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
- IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW & APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
- ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS IF APPLICABLE SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS & PARTITIONS.
- CONTRACTOR TO VISUALLY INSPECT FOR DRY ROT & MAKE RECOMMENDATIONS TO OWNER & ARCHITECT. BEFORE REMOVING & REPLACING ELEMENTS AFFECTED BY DRY ROT BEYOND WHAT IS NOTED IN ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY BUILDING INSPECTOR.

GENERAL FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

DEMO KEY NOTES:

- D1 (E) EXTERIOR STEPS TO BE REMOVED
- D2 (E) WOOD DECK TO BE REMOVED & REPLACED
- D3 (E) WOOD STAIRS TO BE REMOVED & REPLACED
- D4 REMOVE (E) WALL & WINDOWS FOR (N) REVERSE DORMER
- D5 (E) SKYLIGHTS TO BE REMOVED AND REPLACED IN KIND

KEY NOTES:

- 1 (N) WD DECK TO BE REPAIRED AND MAINTAINED IN KIND - ALL REPAIRS TO BE MINOR AND INCIDENTAL UP TO 50%
- 2 (N) SKYLIGHTS TO REPLACE (E) IN KIND
- 3 (N) WINDER STAIR TREADS & RISERS PER CBC SECTION 1011.4 & 1011.5.3. RISER HEIGHT AND TREAD DEPTH PER CBC SECTION 1011.5.
- 4 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2-1014.9
- 5 (N) GUARDRAIL @ 42" AFF PER CBC SECTION 1015.3
- 6 (N) NON-OPERABLE 1-HR FIRE RATED WINDOW N (E) OPENING

DEMO PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▬ (E) WALLS TO REMAIN
- ▬ (E) WALLS TO BE REMOVED
- ▬ (E) ELEMENTS TO BE REMOVED

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▬ (E) WALLS TO REMAIN
- ▬ (N) WALLS & PARTITIONS
- ▬ 1-HOUR RATED WALL
- ⊗ WINDOW TAG
- ⊗ DOOR TAG
- ⊗ WALL TYPE

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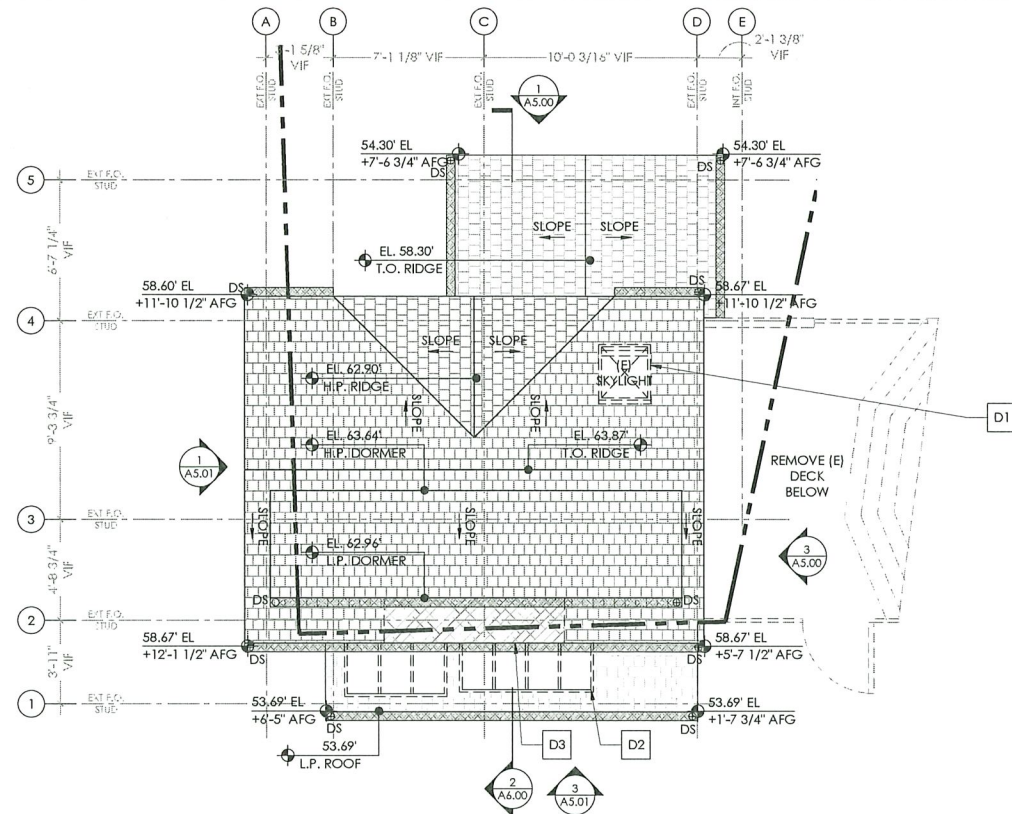
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03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
SECOND LEVEL

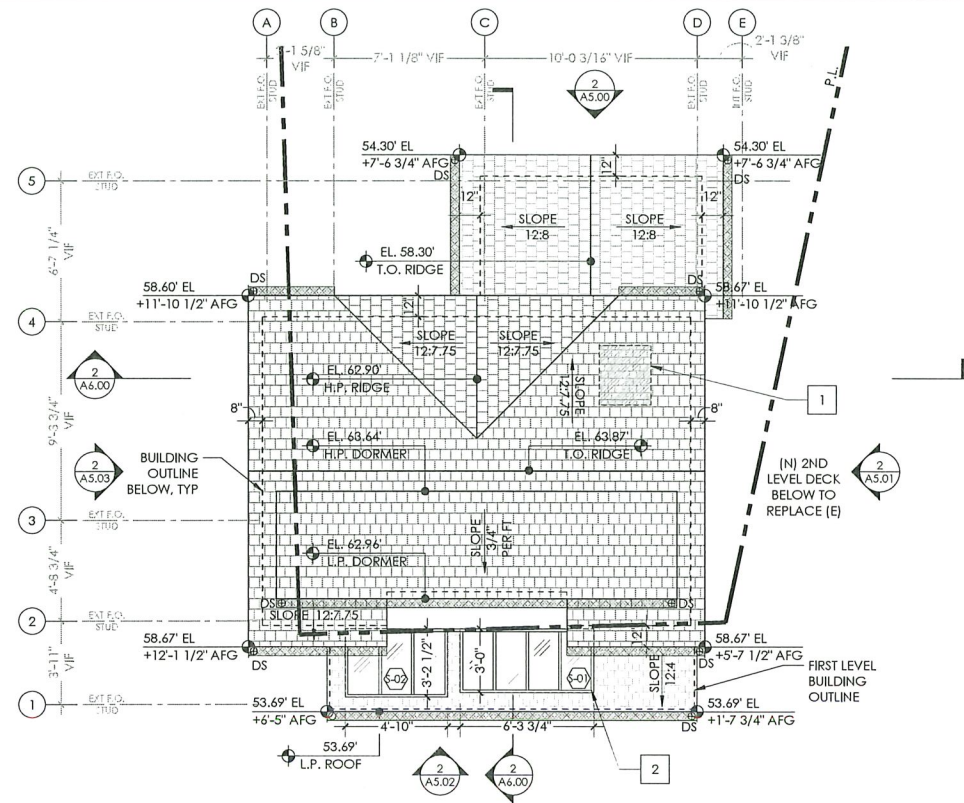
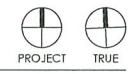
1/4" = 1'-0"

A2.02

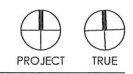
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1 EXISTING / DEMO ROOF PLAN: MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED ROOF PLAN: MAIN HOUSE
1/4" = 1'-0"



GENERAL DEMO NOTES:

1. CONTRACTOR TO PERFORM HAZARDOUS MATERIAL TESTING PRIOR TO DEMO.
2. CONTRACTOR TO IDENTIFY AREAS OF ALL WALL FINISH REMOVAL AND PERFORM WALK-THRU WITH OWNER & ARCHITECT TO VERIFY DEMO SCOPE OF WORK PRIOR TO DEMOLITION.
3. CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE. PROVIDE OWNER WITH DONATION/SALVAGE QUOTE & CREDIT PRIOR TO DEMOLITION EXECUTION.
4. REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, & OTHER ELEMENTS SUITABLE FOR RECYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
5. DASHED LINES ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES & HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.
6. IF DEMOLITION FOR CONSTRUCTION PURPOSES IS REQUIRED BEYOND WHAT IS SHOWN IN DEMO CALCULATIONS, CONTRACTOR MUST SCHEDULE ON-SITE MEETING WITH PLANNING & BUILDING INSPECTORS FOR REVIEW & APPROVAL PRIOR TO DEMOLITION OF ANY STRUCTURAL FRAMING.
7. ALL EXISTING STRUCTURAL FRAMING MEMBERS (WOOD STUDS OR OTHER) TO BE REUSED TO MEET DEMO CALCULATIONS IF APPLICABLE SHALL BE STORED ON SITE IMMEDIATELY ADJACENT (OR AS CLOSE AS POSSIBLE) TO THE ORIGINAL WALLS & PARTITIONS.
8. CONTRACTOR TO VISUALLY INSPECT FOR DRY ROT & MAKE RECOMMENDATIONS TO OWNER & ARCHITECT. BEFORE REMOVING & REPLACING ELEMENTS AFFECTED BY DRY ROT BEYOND WHAT IS NOTED IN ARCHITECTURAL PLANS, CONTRACTOR TO NOTIFY BUILDING INSPECTOR.

GENERAL FLOOR PLAN NOTES:

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3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

DEMO KEY NOTES:

- D1 (E) SKYLIGHT TO BE REMOVED
- D2 (E) SKYLIGHTS TO BE REMOVED AND REPLACED IN KIND
- D3 REMOVE PORTION OF (E) ROOF & FRAMING

KEY NOTES:

- 1 PATCH & INFILL ROOF TO MATCH (E)
- 2 (N) SKYLIGHTS TO REPLACE (E) IN KIND

EXISTING / DEMO ROOF PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Hatched Box] (E) ROOFING TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Grid Pattern Box] NON-COMBUSTIBLE CLASS A RATED TERRACOTTA ROOF SHINGLES
- [Flat Box] FLAT ROOF
- [Star Symbol] ROOF DRAIN
- [DS Symbol] GUTTER / DOWNSPOUT

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PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

EXISTING/DEMO & PROPOSED PLANS:
MAIN HOUSE
ROOF

1/4" = 1'-0"

A2.03

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GENERAL FLOOR AREA PLANNING NOTES:

FLOOR AREA. PER MCC 22.130.030, FLOOR AREA IS THE SUM OF THE GROSS AREA OF ALL FLOORS IN ALL BUILDINGS ON A SITE, MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS, INCLUDING ENCLOSED UNDERSTORY, BASEMENT AND ATTIC SPACE THAT CAN BE EASILY COVERED TO LIVING AREA BUT EXCLUDING:

1. ALL UNENCLOSED HORIZONTAL SURFACES, INCLUDING BALCONIES, COURTS, DECKS, PORCHES, TERRACES; FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST TWO HUNDRED FIFTY SQUARE FEET OF FLOOR AREA OF ALL DETACHED ACCESSORY STRUCTURES NOT DESIGNED FOR AND/OR USED FOR HABITABLE SPACE; FOR SINGLE-FAMILY RESIDENTIAL STRUCTURES, THE FIRST FIVE HUNDRED AND FORTY (540) SQUARE FEET OF GARAGE AREAS PERMANENTLY ALLOCATED FOR VEHICLE PARKING;
2. FOR TWO-FAMILY, MULTI-FAMILY, AND NON-RESIDENTIAL STRUCTURES, ALL FLOOR AREA THAT IS REQUIRED TO MEET MINIMUM PARKING STANDARDS UNDER TITLE 24;
3. EXTERIOR WALL THICKNESS OF GREATER THAN SIX INCHES, WHERE THE ADDITIONAL WALL THICKNESS RESULTS IN GREATER ENERGY EFFICIENCY (E.G., STRAW BALE CONSTRUCTION OR EARTHEN WALL CONSTRUCTION), AS DEMONSTRATED BY THE APPLICANT AND SUBJECT TO THE APPROVAL OF THE DIRECTOR; AND
4. BAY WINDOWS.

THE FLOOR AREA OF STAIRWAYS, ELEVATORS, AND OTHER VERTICAL ACCESSSES, IS INCLUDED IN THE TOTAL FLOOR AREA ONLY AS TO THE "FOOTPRINT" (AREA AT THE BASE) OF THE VERTICAL ACCESS, AND IS NOT COUNTED AT EACH FLOOR OF A BUILDING. IN ORDER TO QUALIFY AS AN UNENCLOSED HORIZONTAL SURFACE, AT LEAST ONE OF THE LONGEST WALL PLANES OF THE SPACE SHALL BE KEPT OPEN WITH THE EXCEPTION THAT RAILINGS WITH A SURFACE AREA THAT IS AT LEAST 50 PERCENT OPEN AND UNOBSTRUCTED BY STRUCTURAL ELEMENTS AND THAT ARE NECESSARY FOR SAFETY OR CONVENIENCE PURPOSES MAY BE ALLOWED WITHIN THE OPEN WALL PLANE. AS DEFINED HEREIN, UNDERSTORY, BASEMENT, AND ATTIC SPACE THAT CAN BE CONVERTED TO HABITABLE AREA WITH AN INTERIOR REMODEL INCLUDES: (1) ENCLOSED UNCONDITIONED AND UNIMPROVED AREAS THAT YIELD A MINIMUM CLEAR ROOM AREA OF 7 FEET BY 7 FEET AND A MINIMUM CEILING HEIGHT OF 7 FEET OR HIGHER; AND (2) ALL ATTIC AREAS WITH A MINIMUM CEILING HEIGHT OF 5 FEET OR HIGHER.

ADU FLOOR AREA CALCS:

(IN SQUARE FEET)

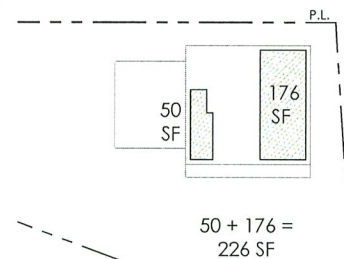
	HABITABLE	NON-HABITABLE (NOT COUNTED IN F.A.R.)	TOTAL
CRAWLSPACE	0	104	104
FIRST LEVEL	800	0	800
ATTIC	0	226	266
TOTAL	800	330	1,170

TOTAL FLOOR AREA PROPOSED **800**
 TOTAL FLOOR AREA ALLOWED **800**

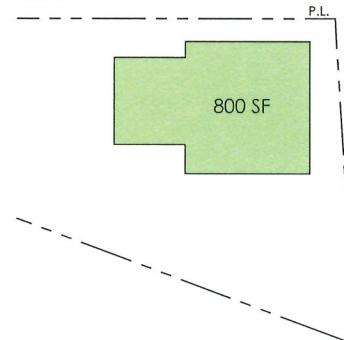
ADU FLOOR AREA DIAGRAMS:

LEGEND

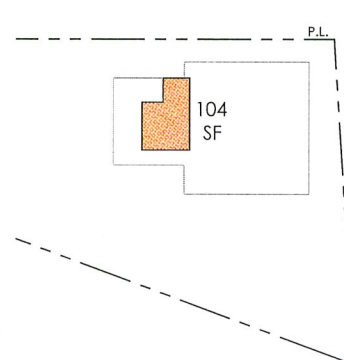
- HABITABLE
- NON-HABITABLE
- NON-HABITABLE SPACE: CEILING HEIGHT BELOW 5'-0"



ATTIC



LEVEL 1



CRAWLSPACE

GENERAL FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

KEY NOTES:

- 1 (N) STAIR RISERS & TREADS PER CBC SECTION 1011.5.1 THROUGH 1011.5.3
- 2 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2 TO 1014.9

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- (E) WALLS TO REMAIN
- (N) WALLS & PARTITIONS
- 1-HOUR RATED WALL
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- MAIN HOUSE SETBACK
- ADU SETBACK
- LUTRON/SHADE PANEL TBD
- EGRESS PATH & LENGTH OF PATH SEGMENT

BOLINAS RESIDENCE SUTRO ARCHITECTS



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03.27.2026
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PROPOSED PLAN:
ADU
CRAWLSPACE

1/4" = 1'-0"

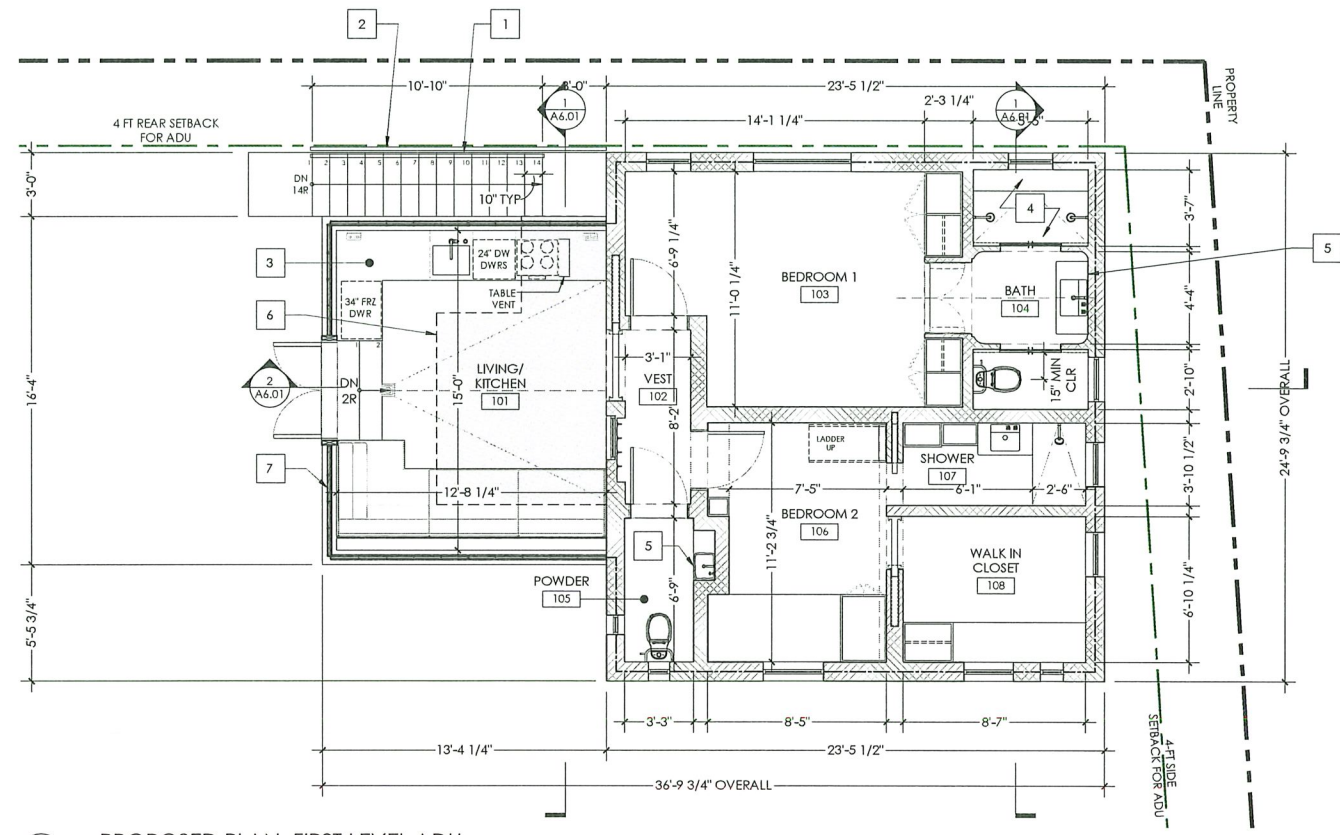
A2.04

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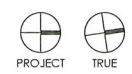


1 PROPOSED PLAN: CRAWLSPACE AT ADU
 1/4" = 1'-0"

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1 PROPOSED PLAN: FIRST LEVEL ADU
1/4" = 1'-0"



- GENERAL FLOOR PLAN NOTES:**
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
 2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
 3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
 4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
 5. ALL INTERIOR DOORS AT FIRST LEVEL ADU TO HAVE DROP THRESHOLDS FOR FULL BLACKOUT IN BEDROOMS.

- KEY NOTES:**
- 1 (N) STAIR RISERS & TREADS PER CBC SECTION 1011.5.1 THROUGH 1011.5.3
 - 2 (N) HANDRAIL @ 36" AFF PER CBC SECTION 1014.2 TO 1014.9
 - 3 (N) ELEC. APPLIANCES, FIXTURES & FINISHES IN KITCHEN
 - 4 (N) FIXTURES & FINISHES, TYP
 - 5 (N) SOLID STONE CARVED SINK
 - 6 LINE OF CRAWLSPACE BELOW
 - 7 (N) ALUMINUM & GLASS WALL/ROOF SYSTEM: SEE EXT ELEVS

- PROPOSED FLOOR PLAN LEGEND:**
- PROPERTY LINE
 - - - REQ'D SETBACK
 - (E) WALLS TO REMAIN
 - (N) WALLS & PARTITIONS
 - 1-HOUR RATED WALL
 - XX WINDOW TAG
 - XX DOOR TAG
 - XX WALL TYPE
 - MAIN HOUSE SETBACK
 - ADU SETBACK
 - LUTRON/SHADE PANEL TBD
 - EGRESS PATH & LENGTH OF PATH SEGMENT

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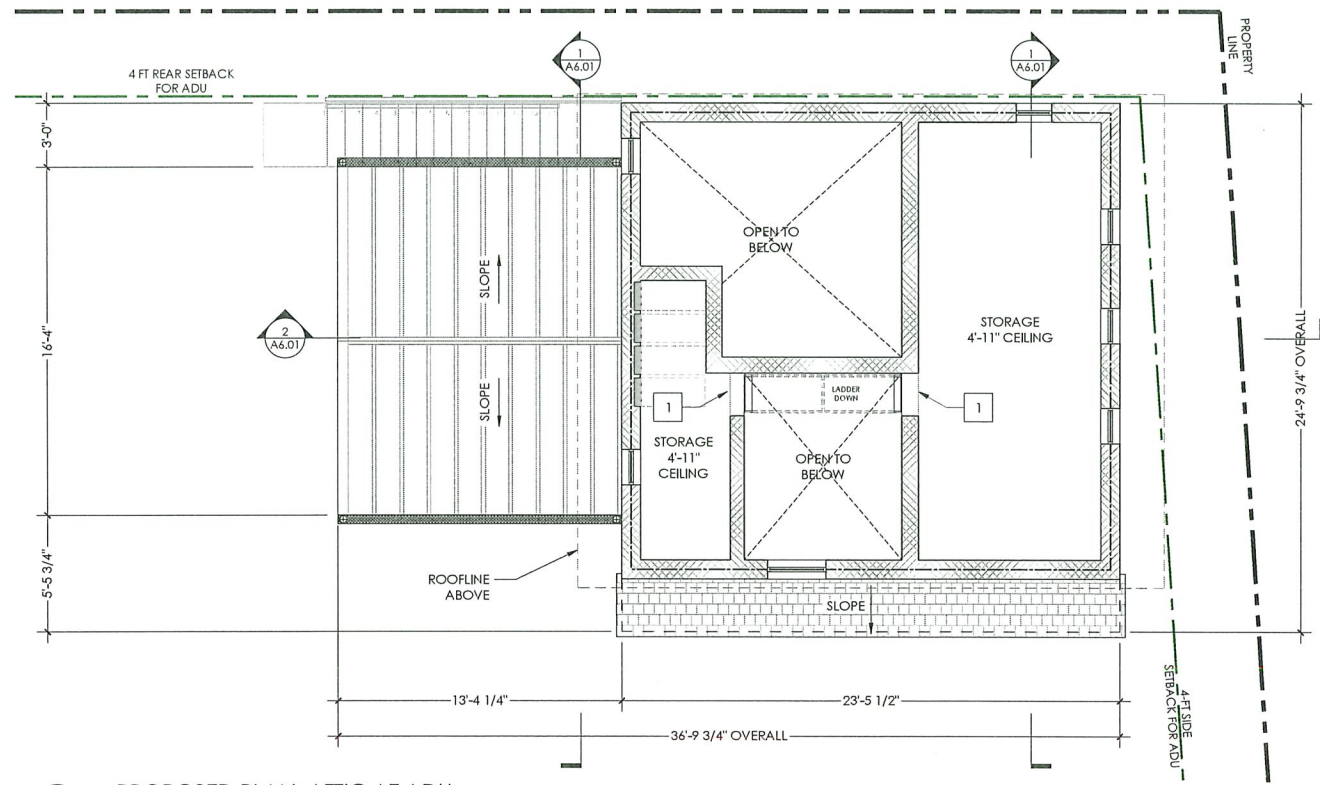
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ADU
PROPOSED PLAN:
ADU

FIRST LEVEL

A2.05

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1 PROPOSED PLAN: ATTIC AT ADU
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

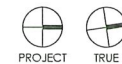
1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

KEY NOTES:

- 1 ATTIC ACCESS IN WALL OPENINGS SHALL BE MIN 22"W X 30"H PER CRC R807.1

PROPOSED FLOOR PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- ▬ (E) WALLS TO REMAIN
- ▬ (N) WALLS & PARTITIONS
- ▬ 1-HOUR RATED WALL
- ⬡ WINDOW TAG
- ⬢ DOOR TAG
- ⬢ WALL TYPE
- ▬ MAIN HOUSE SETBACK
- ▬ ADU SETBACK
- ▬ LUTRON/SHADE PANEL, TBD
- ▬ EGRESS PATH & LENGTH OF PATH SEGMENT



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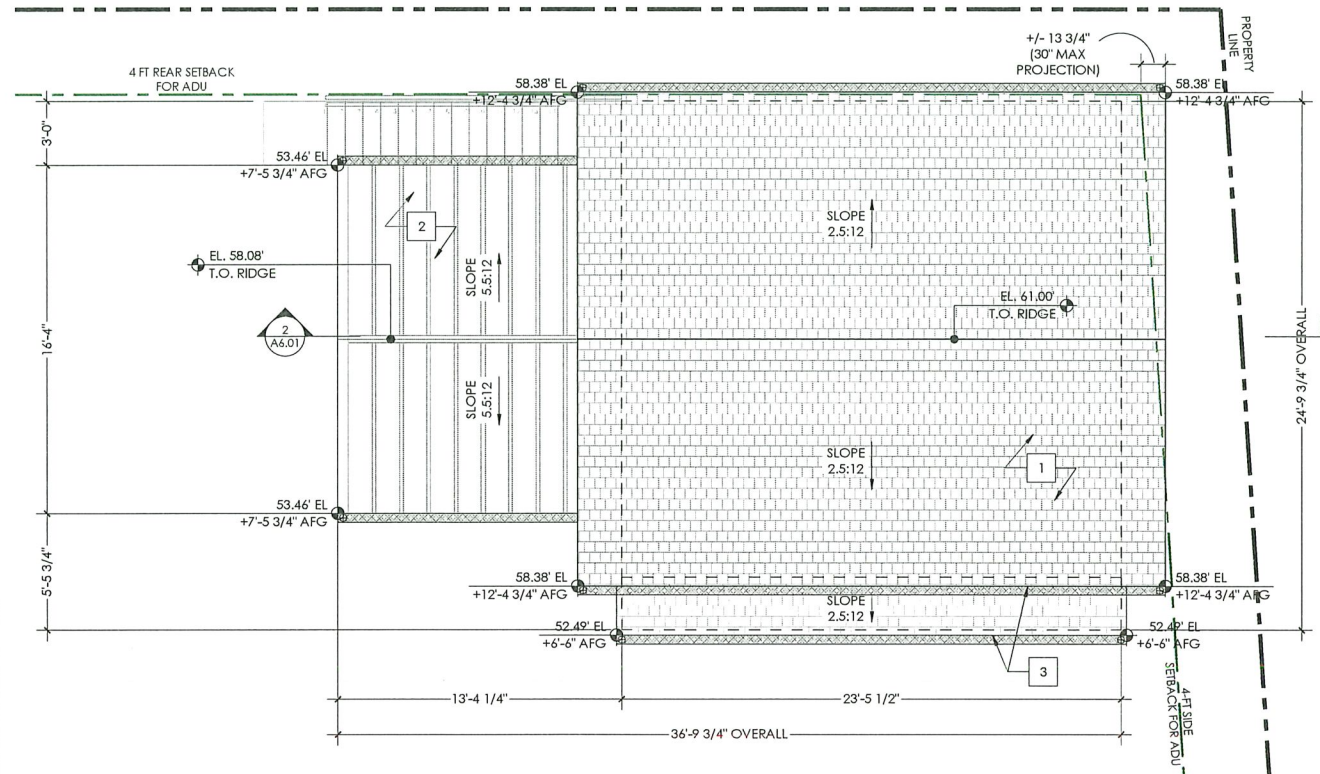
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PLANNING - R1
02.02.2026
PLANNING
10.27.2025

PROPOSED PLAN:
ADU
ATTIC

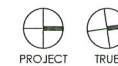
1/4" = 1'-0"

A2.06

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1 PROPOSED ADU ROOF PLAN
1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES:

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2. BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
3. ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS, TYP.
4. NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER C.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

KEY NOTES:

- 1 CLASS B ROOFING SYSTEM PER CBC SECTION 704A.1.1
- 2 ALUMINUM & GLASS ROOFING ASSEMBLY
- 3 ROOF EAVES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR HAVE (1) ONE LAYER OF 5/8" TYPE X GWB BEHIND RAFTERS / SOFFIT
- 4 EAVES AND ROOF OVERHANGS MAY PROJECT INTO SETBACKS BY 30" PER MCC CH. 22, TABLE 3-1

PROPOSED ROOF PLAN LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- [TERRACOTTA PATTERN] NON-COMBUSTIBLE CLASS A RATED TERRACOTTA ROOF SHINGLES
- [FLAT PATTERN] FLAT ROOF
- [ROOF DRAIN SYMBOL] ROOF DRAIN
- [GUTTER SYMBOL] GUTTER / DOWNSPOUT

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PROPOSED PLAN:
ADU
ROOF

1/4" = 1'-0"

A2.07

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DEMO KEY NOTES:

- CONTRACTOR IS ENCOURAGED TO PERFORM ECO-DEMOLITION AND SALVAGE AS MUCH AS POSSIBLE.
- REMOVED MATERIALS SUCH AS FIXTURES, APPLIANCES, AND OTHER ELEMENTS SUITABLE FOR RE-CYCLING TO BE SOLD OR DONATED FOR SUCH PURPOSE.
- DASHED ITEMS ARE USED TO DENOTE ITEMS TO BE REMOVED. NOTE THAT OTHER LINES SUCH AS SOFFITS ABOVE, EAVES AND HIDDEN ITEMS ARE ALSO REPRESENTED BY DASHED LINE. IF ANY UNCERTAINTY EXISTS REGARDING ITEMS TO BE REMOVED, VERIFY WITH ARCHITECT BEFORE PROCEEDING.

DEMO KEY NOTES:

D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.

D2 (E) DOOR TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS

D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)

D4 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND

D5 (E) SKYLIGHT TO BE DEMOLISHED

D6 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS

KEY NOTES:

1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)

2 NOT USED

3 (N) 42" AFF GUARDRAIL PER 2022 CBC SECTION 1013

4 (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE

5 (N) SOLID WOOD CUSTOM WINDOW, SEE WINDOW SCHEDULE

DEMO LEGEND:

--- PROPERTY LINE

--- REQ'D SETBACK

[Hatched Box] (E) WALLS TO BE REMOVED

[Dashed Box] (E) ELEMENTS TO BE REMOVED

[Dashed Box] (E) WOOD SIDING TO BE REMOVED

SECTION / ELEVATION LEGEND:

--- PROPERTY LINE

--- REQ'D SETBACK

[Terra Cotta Pattern] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES

[Vertical Lines] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING

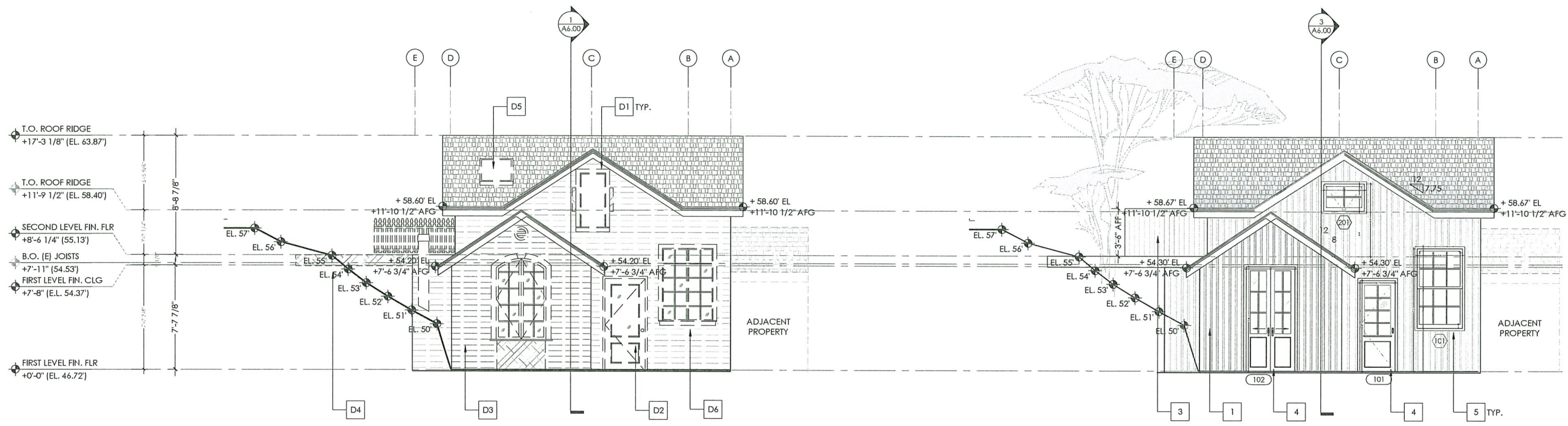
[Horizontal Lines] RECLAIMED PINE WOOD SIDING

(101) DOOR TAG

(101) WINDOW TAG

SECTION/ELEVATION GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
- ALL WINDOWS & DOORS TO BE CUSTOM STAINED WOOD, U.O.N.
- ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.



1 EXISTING/DEMO MAIN HOUSE ELEVATION: NORTH
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: NORTH
1/4" = 1'-0"

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EXISTING / DEMO & PROPOSED
ELEVATION: NORTH

1/4" = 1'-0"

A5.00

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SECTION/ELEVATION GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.
- ALL WINDOWS & DOORS TO BE CUSTOM STAINED WOOD, U.O.N.
- ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

DEMO KEY NOTES:

- D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.
- D2 (E) DOOR TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS
- D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)
- D4 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND
- D5 (E) SKYLIGHT TO BE DEMOLISHED
- D6 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS

KEY NOTES:

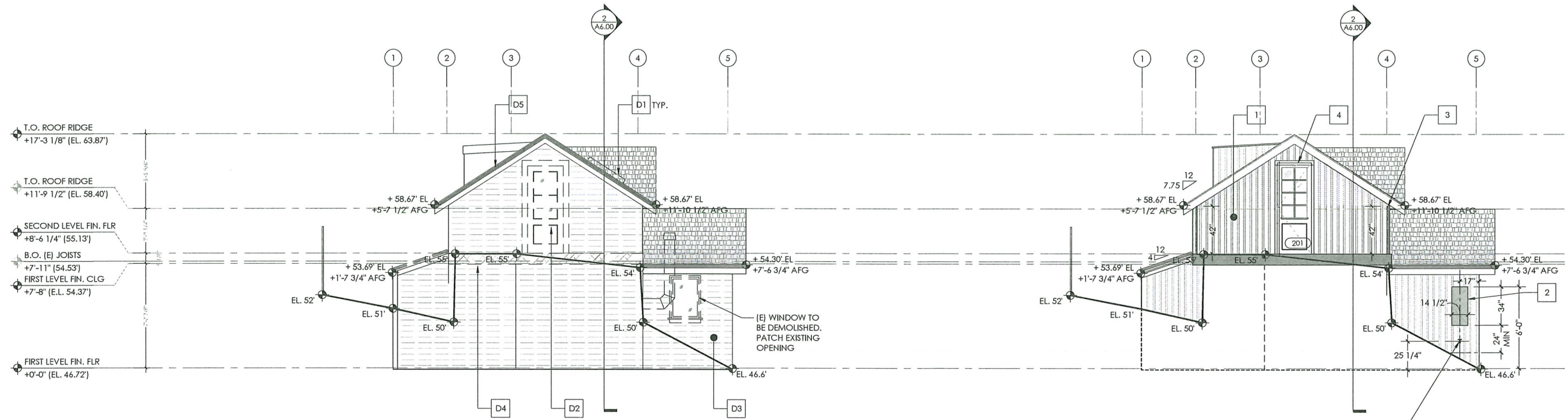
- 1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
- 2 (N) ELEC BREAKER PANEL
- 3 (N) 42" AFF GUARDRAIL PER 2022 CBC SECTION 1013
- 4 (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE

DEMO LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Hatched Box] (E) WALLS TO BE REMOVED
- [Dashed Box] (E) ELEMENTS TO BE REMOVED
- [Horizontal Lines Box] (E) WOOD SIDING TO BE REMOVED

SECTION / ELEVATION LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- [Terra Cotta Pattern Box] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
- [Vertical Lines Box] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
- [Horizontal Lines Box] RECLAIMED PINE WOOD SIDING
- (10) DOOR TAG
- (101) WINDOW TAG



1 EXISTING/DEMO MAIN HOUSE ELEVATION: EAST
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: EAST
1/4" = 1'-0"

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PLANNING - R1
02.02.2026
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EXISTING / DEMO & PROPOSED
ELEVATION: EAST

1/4" = 1'-0"

A5.01

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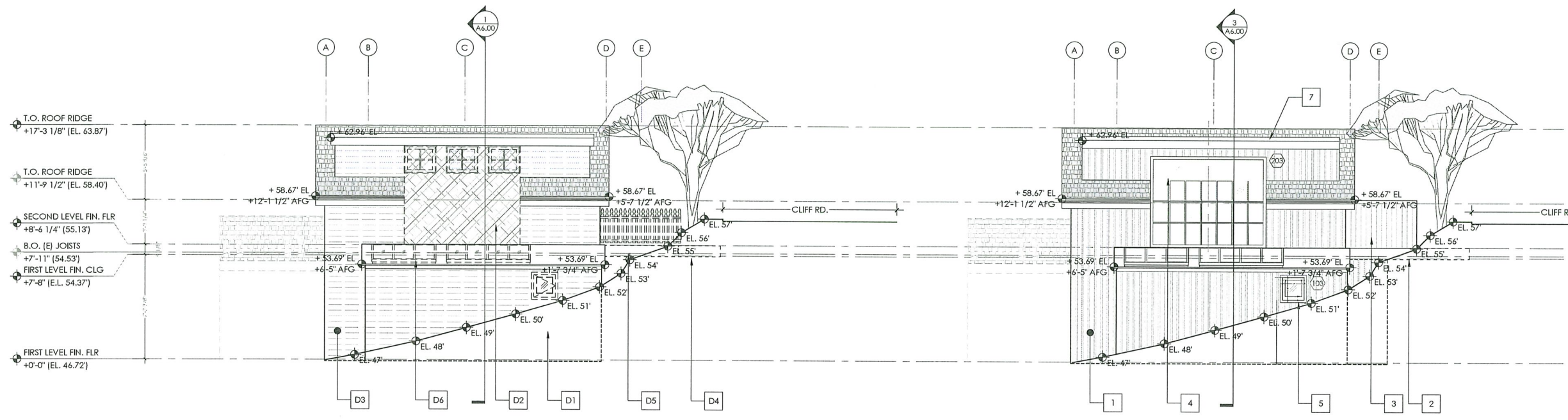
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 - ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

- DEMO KEY NOTES:**
- D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.
 - D2 (E) WALL/ROOF AREA TO BE REMOVED & PREPPED FOR REVISED REVERSE DORMER DESIGN
 - D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)
 - D4 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND
 - D5 (E) DECK TO BE REPLACED IN KIND
 - D6 (E) SKYLIGHTS TO BE REMOVED & REPLACED IN KIND

- KEY NOTES:**
- 1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
 - 2 EXISTING NON-CONFORMING WOOD DECK TO BE REPAIRED AND MAINTAINED IN KIND
 - 3 (N) 42" AFF GUARDRAIL PER 2022 CBC SECTION 1013
 - 4 (N) NON-OPERABLE 1-HR FIRE RATED WINDOW - IN PARTIAL (E) OPENING, SEE WINDOW SCHEDULE
 - 5 (N) NON-OPERABLE 1-HR FIRE RATED WINDOW IN (E) OPENING, SEE WINDOW SCHEDULE
 - 6 NON-COMBUSTIBLE TERRACOTTA ROOF SHINGLES
 - 7 (E) DORMER

- DEMO LEGEND:**
- PROPERTY LINE
 - REQ'D SETBACK
 - [Hatched Box] (E) WALLS TO BE REMOVED
 - [Dashed Box] (E) ELEMENTS TO BE REMOVED
 - [Dashed Box] (E) WOOD SIDING TO BE REMOVED

- SECTION / ELEVATION LEGEND:**
- PROPERTY LINE
 - REQ'D SETBACK
 - [Hatched Box] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
 - [Vertical Lines Box] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
 - [Horizontal Lines Box] RECLAIMED PINE WOOD SIDING
 - (10) DOOR TAG
 - (101) WINDOW TAG



1 EXISTING/DEMO MAIN HOUSE ELEVATION: SOUTH
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: SOUTH
1/4" = 1'-0"

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EXISTING / DEMO & PROPOSED ELEVATION: SOUTH

1/4" = 1'-0"

A5.02

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SECTION/ELEVATION GENERAL NOTES:

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2. ALL WINDOWS & DOORS TO BE CUSTOM STAINED WOOD, U.O.N.
3. ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

DEMO KEY NOTES:

D1 (E) WINDOW TO BE REMOVED & REPLACED; SEE PROPOSED ELEVATIONS, TYP.

D2 NOT USED

D3 (E) WOOD SIDING TO BE REMOVED & REPLACED WITH (N)

KEY NOTES:

1 (N) BOARD & BATTEN WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)

2 NOT USED

3 NOT USED

4 (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE

5 (N) SOLID WOOD CUSTOM WINDOW, SEE WINDOW SCHEDULE

6 NON-COMBUSTIBLE TERRACOTTA ROOF SHINGLES

7 (E) DORMER

DEMO LEGEND:

--- PROPERTY LINE

--- REQ'D SETBACK

[Hatched Box] (E) WALLS TO BE REMOVED

[Dashed Box] (E) ELEMENTS TO BE REMOVED

[Horizontal Lines Box] (E) WOOD SIDING TO BE REMOVED

SECTION / ELEVATION LEGEND:

--- PROPERTY LINE

--- REQ'D SETBACK

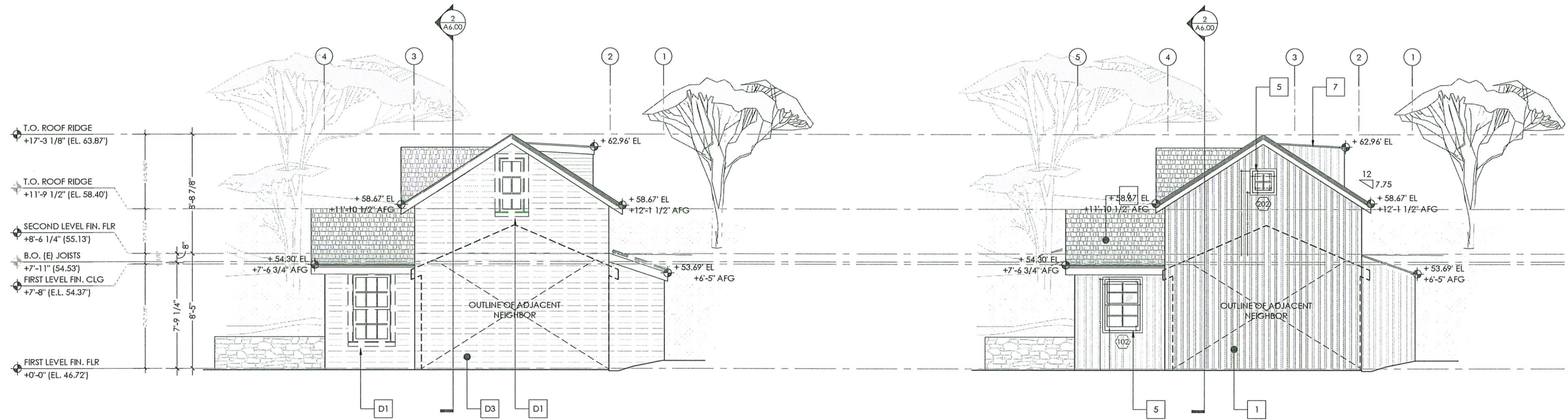
[Terra Cotta Box] NON-COMBUSTIBLE TERRACOTTA ROOF SHINGLES

[Vertical Lines Box] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING

[Horizontal Lines Box] RECLAIMED PINE WOOD SIDING

(10) DOOR TAG

(101) WINDOW TAG



1 EXISTING/DEMO MAIN HOUSE ELEVATION: WEST
1/4" = 1'-0"

2 PROPOSED MAIN HOUSE ELEVATION: WEST
1/4" = 1'-0"

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EXISTING / DEMO & PROPOSED
ELEVATION: WEST

1/4" = 1'-0"

A5.03

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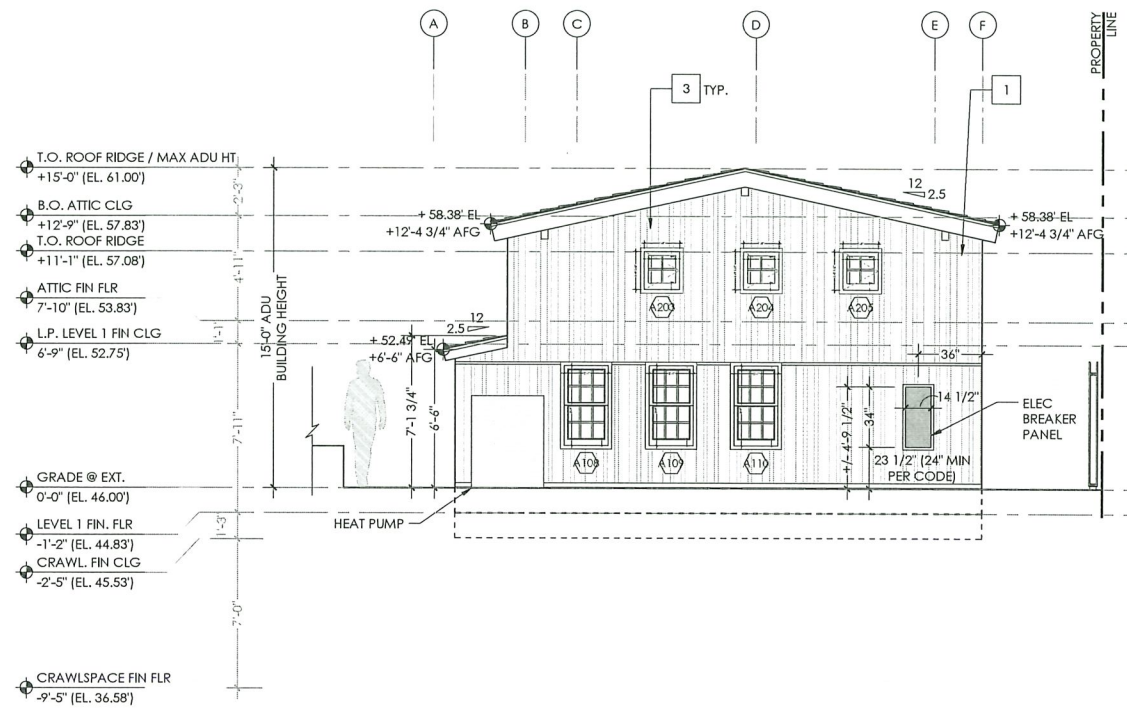
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- ALL HANDRAILS AND GUARDRAILS TO BE PAINTED METAL, U.O.N.

KEY NOTES:

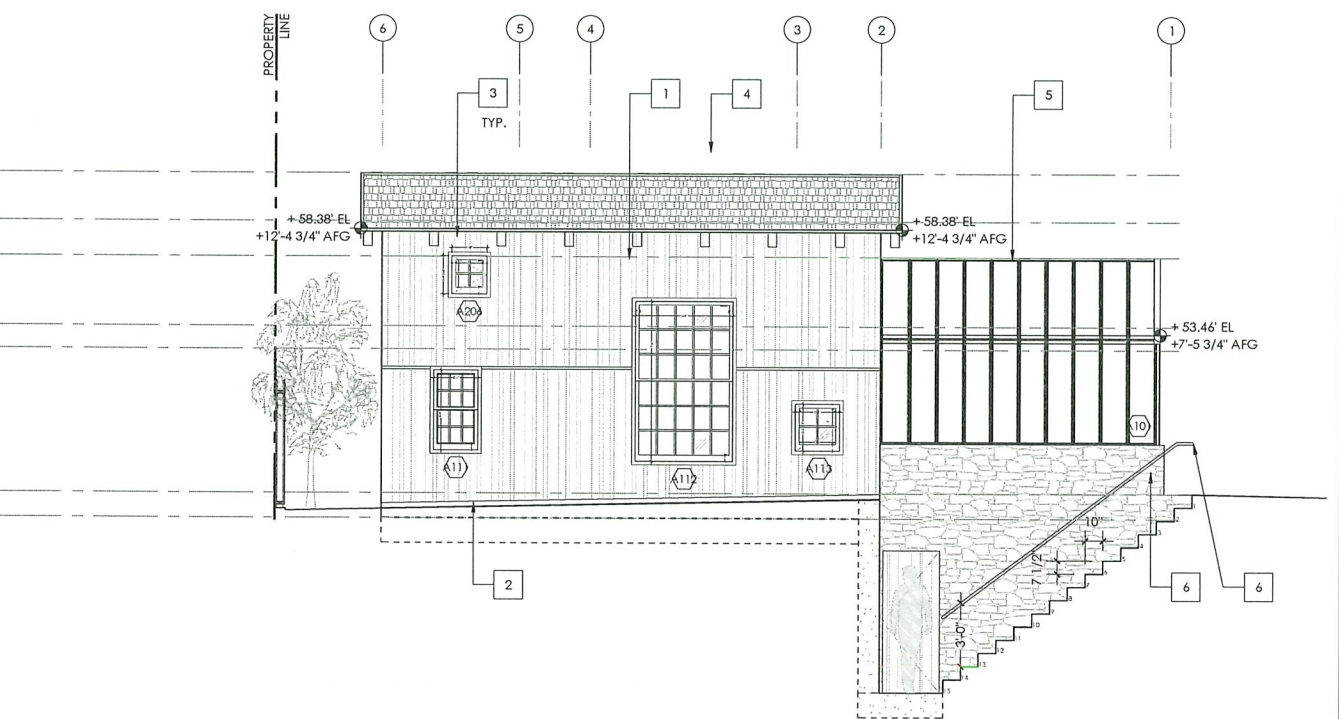
- (N) WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
- (N) SOLID WOOD CUSTOM DOOR, SEE DOOR SCHEDULE
- (N) SOLID WOOD CUSTOM WINDOW, SEE WINDOW SCHEDULE
- NON-COMBUSTIBLE TERRACOTTA ROOF SHINGLES
- MTL & GLASS GREENHOUSE WINDOW/ROOF SYSTEM
- DRY STACKED STONE WALL

LEGEND:

- PROPERTY LINE
- - - REQ'D SETBACK
- [Pattern] NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
- [Pattern] RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
- [Pattern] RECLAIMED PINE WOOD SIDING
- (10) DOOR TAG
- (101) WINDOW TAG



1 PROPOSED ADU ELEVATION: NORTH
1/4" = 1'-0"



2 PROPOSED ADU ELEVATION: EAST
1/4" = 1'-0"

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ADU PROPOSED EXTERIOR ELEVATIONS: NORTH & EAST

1/4" = 1'-0"

A5.04

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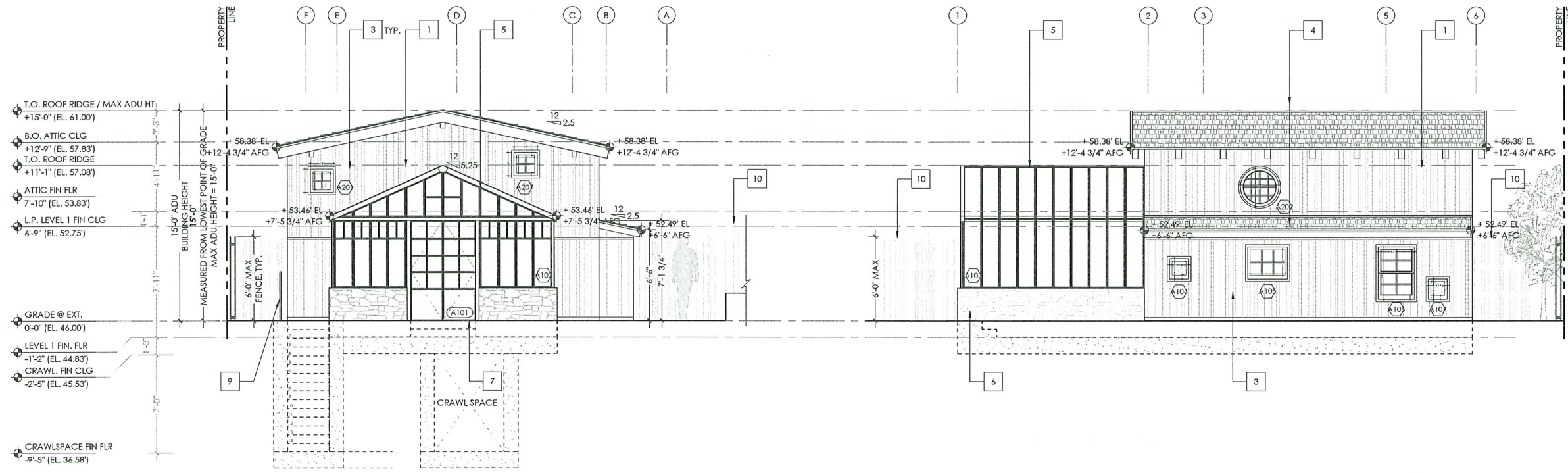
KEY NOTES:

1	(N) WOOD SIDING WITH 1-HR RATED TYPE "X" GWB BEHIND PER 2022 CBC SECTION 707A.4(6)
2	NOT USED
3	(N) SOLID WOOD CUSTOM WINDOW, SEE WINDOW SCHEDULE
4	NON-COMBUSTIBLE TERRACOTTA ROOF SHINGLES
5	MTL & GLASS GREENHOUSE WINDOW/ROOF SYSTEM
6	DRY STACKED STONE WALL
7	MTL & GLASS DOOR
8	NOT USED

9	(N) HANDRAIL @ 36" AFF PER 2022 CBC SECTION 1014.2 TO 1014.9
10	(N) FENCE ALONG NORTH/ WEST PROPERTY LINE; MAX HEIGHT 6'-0" FROM LOWEST POINT OF FINISHED GRADE

LEGEND:

- PROPERTY LINE
- REQ'D SETBACK
- NON-COM BUSTIBLE TERRACOTTA ROOF SHINGLES
- RECLAIMED PINE BOARD AND BATTEN WOOD SIDING
- RECLAIMED PINE WOOD SIDING
- DOOR TAG
- WINDOW TAG



1 PROPOSED ADU ELEVATION: SOUTH
1/4" = 1'-0"

2 PROPOSED ADU ELEVATION: WEST
1/4" = 1'-0"

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FLANNING
10.27.2025

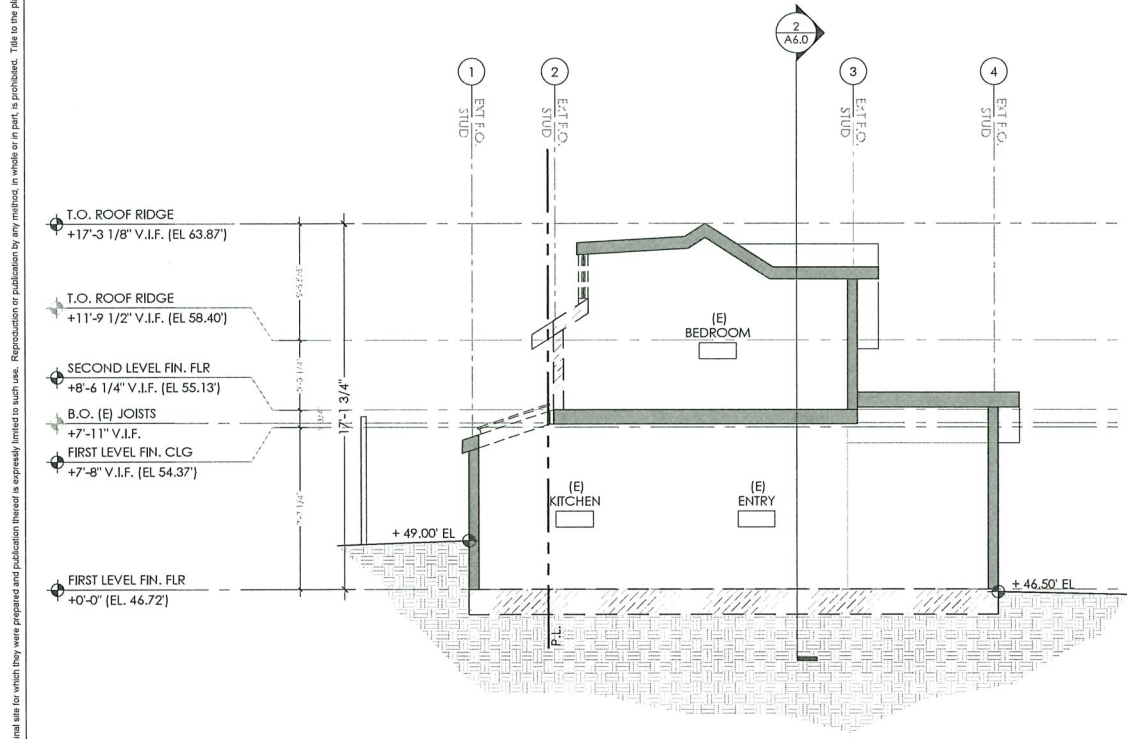
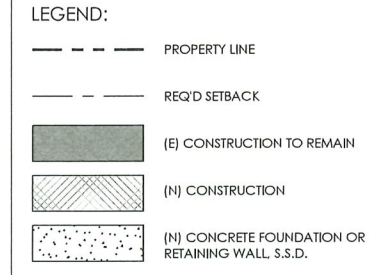
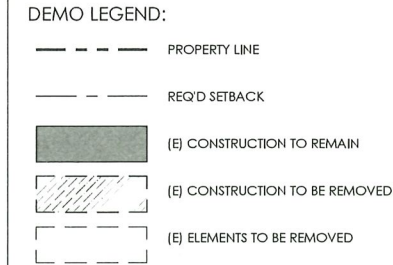
ADU PROPOSED EXTERIOR ELEVATIONS:
SOUTH & WEST

1/4" = 1'-0"

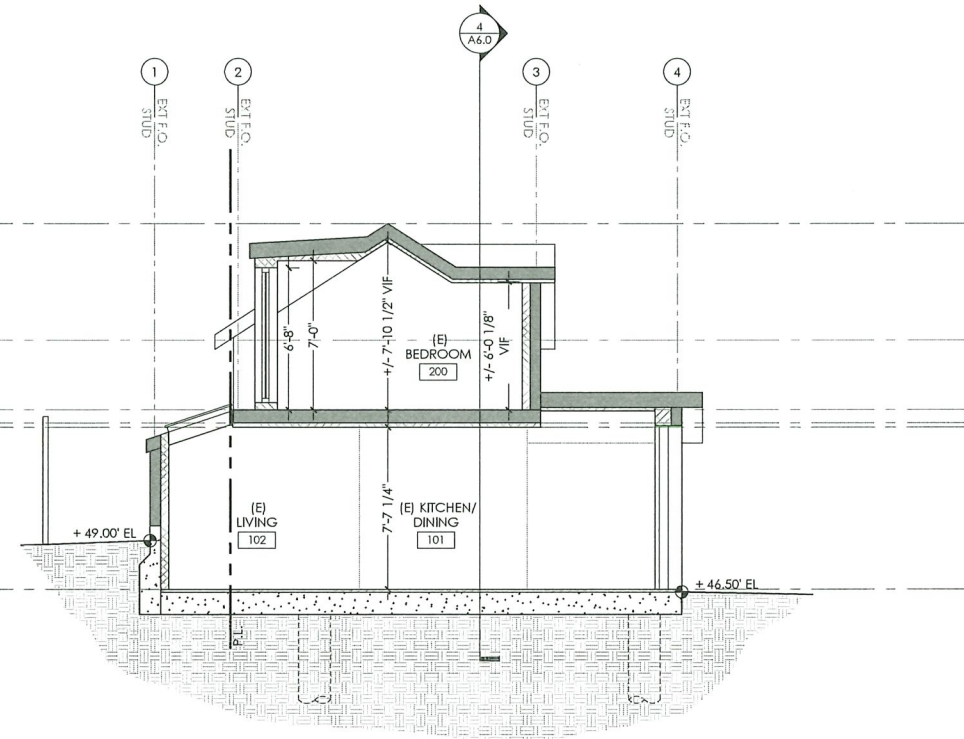
A5.05

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.



1 EXISTING/DEMO SECTION B/W G.L. C & G.L. D
1/4" = 1'-0"



2 PROPOSED SECTION B/W G.L. C & G.L. D
1/4" = 1'-0"

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any means, in whole or in part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

BOLINAS RESIDENCE



PLANNING - R2
03.27.2026
PLANNING - R1
02.02.2026
PLANNING
10.27.2025

EXISTING/DEMO & PROPOSED
BUILDING SECTIONS:
MAIN HOUSE

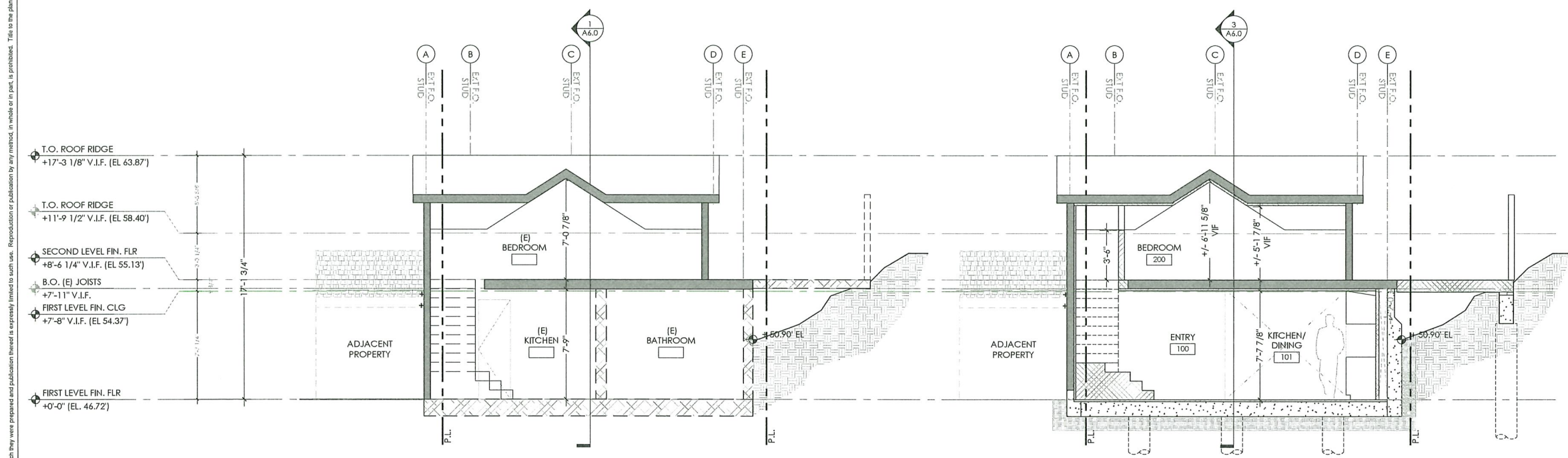
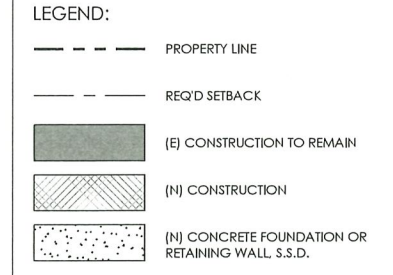
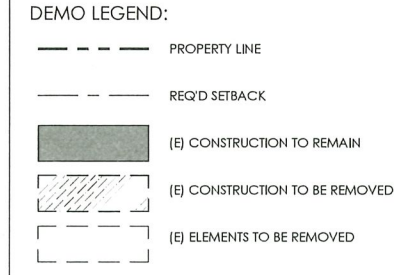
1/4" = 1'-0"

A6.00

SUTRO ARCHITECTS
 415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco CA
 94109
BOLINAS RESIDENCE
 40 CLIFF RD
 BOLINAS, CA 94924
 PARCEL 193-11-02 | PROJECT NO. 2020.045

GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.



1 EXISTING/DEMO SECTION B/W G.L. 2 & G.L. 3
1/4" = 1'-0"

2 PROPOSED SECTION B/W G.L. 2 & G.L. 3
1/4" = 1'-0"

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PARCEL 193-114-02 | PROJECT NO. 2020.045



PLANNING - R2 03.27.2026
PLANNING - R1 02.02.2026
PLANNING 10.27.2025

EXISTING/DEMO & PROPOSED BUILDING SECTIONS: MAIN HOUSE

1/4" = 1'-0"

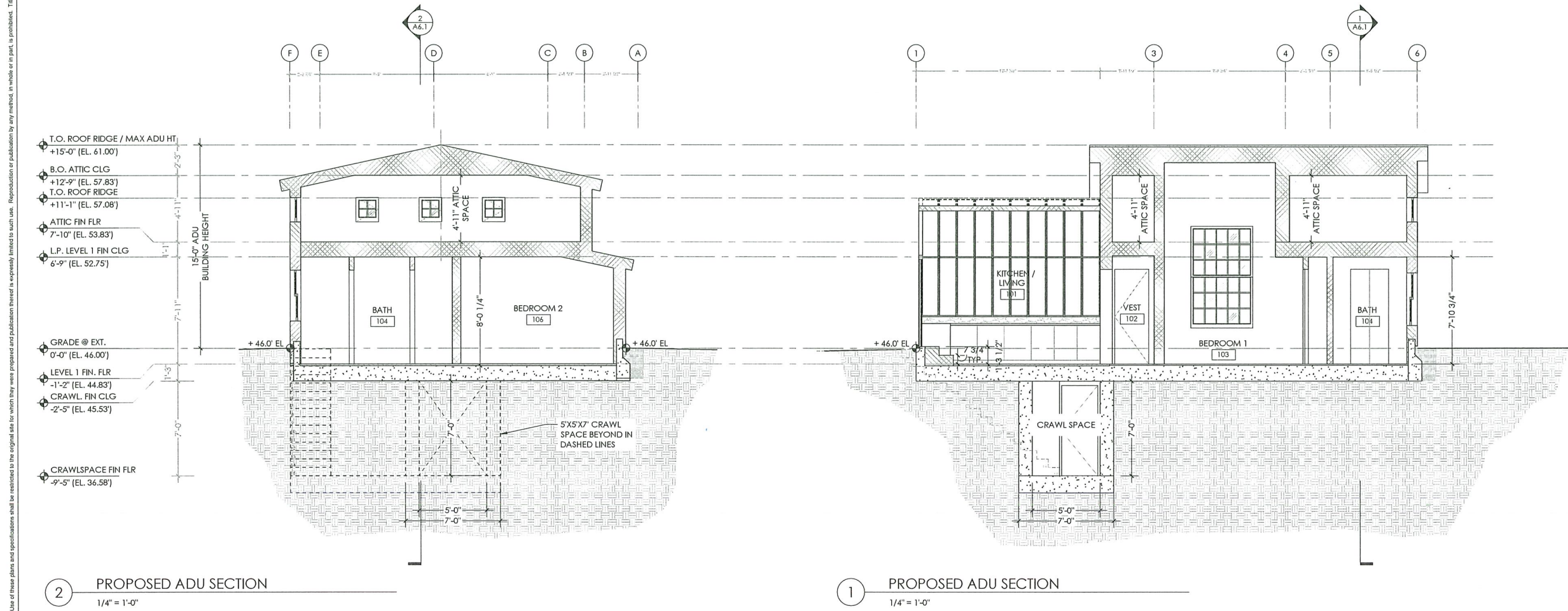
A6.01

GENERAL NOTES:

- ALL DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH U.O.N.

KEY NOTES:

- LEGEND:**
- PROPERTY LINE
 - REQ'D SETBACK
 - (E) CONSTRUCTION TO REMAIN
 - (N) CONSTRUCTION
 - (N) CONCRETE FOUNDATION OR RETAINING WALL, S.S.D.



2 PROPOSED ADU SECTION
1/4" = 1'-0"

1 PROPOSED ADU SECTION
1/4" = 1'-0"

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40 CLIFF RD
BOLINAS, CA 94924
PARCEL 193-11-02 | PROJECT NO. 2020.045



- PLANNING - R2 03.27.2026 ▲
- PLANNING - R1 02.02.2026 ▲
- PLANNING 10.27.2025 ▲

PROPOSED BUILDING SECTIONS:
ADU

1/4" = 1'-0"

A6.02

IMPROVEMENT PLANS

FOR

40 CLIFF DRIVE

BOLINAS, MARIN COUNTY, CALIFORNIA



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Prepared under the Direction of:



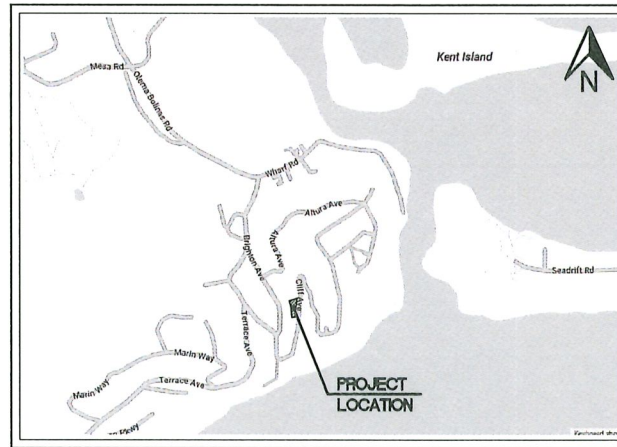
Michael L. Tarnoff
RCE 48596 Exp. 06/30/2026

ABBREVIATIONS

AB	AGGREGATE BASE	L	LENGTH
AC	ASPHALTIC CONCRETE	LF	LINEAL FEET
AD	AREA DRAIN	LFF	LOWER FINISHED FLOOR
APPROX	APPROXIMATE	LP	LIP OF GUTTER
BFP	BACK FLOW PREVENTOR	LP	LOW POINT
BC	BEGIN HORIZONTAL CURVE	LT	LEFT
B COR	BUILDING CORNER	MAX	MAXIMUM
BLDG	BUILDING	MH	MANHOLE
BM	BENCH MARK	MIN	MINIMUM
BNDY	BOUNDARY	MISC	MISCELLANEOUS
BSW	BACK OF SIDEWALK	NG	NATURAL GROUND
BVC	BEGIN VERTICAL CURVE	NIC	NOT INCLUDED IN CONTRACT
BYCE	BEGIN VERTICAL CURVE ELEVATION	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OH	OVERHEAD
CATV	CABLE TELEVISION	PG&E	PACIFIC GAS & ELECTRIC
CB	CATCH BASIN	P/L PL	PROPERTY LINE
C&G	CURB & GUTTER	PP	POWER POLE
CL	CLASS	PRO	PROPOSED
C/L	CENTERLINE	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS
CO	CLEANOUT	REF	REFERENCE
CONC	CONCRETE	REINF	REINFORCED
CONST	CONSTRUCTION	REQ'D	REQUIRED
CONT	CONTINUOUS	RET WALL	RETAINING WALL
CU FT, CF	CUBIC FEET	RT	RIGHT
CY	CUBIC YARDS	R/W, ROW	RIGHT OF WAY
DI	DROP INLET	SCH	SCHEDULE
DIA	DIAMETER	SD	STORM DRAIN
DS	DOWNSPOUT	SDMH	STORM DRAIN MANHOLE
DWG	DRAWING	SDCO	STORM DRAIN CLEANOUT
DWY, D/W	DRIVEWAY	SF	SQUARE FEET
EG	END HORIZONTAL CURVE	SS	SANITARY SEWER
EG	EXISTING GRADE	SSCO	SANITARY SEWER CLEAN OUT
EL, ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC	STA	STATION
EP	EDGE OF PAVEMENT	STD	STANDARD
ESMT	EASEMENT	SW, S/W, SWK	SIDEWALK
EVC	END VERTICAL CURVE	TB OR TOB	TOP OF BANK
EVCE	END VERTICAL CURVE ELEVATION	TC	TOP OF CURB
EXIST, EX, (E)	EXISTING	TELE OR TEL	TELEPHONE
FG	FINISH GRADE	TEMP	TEMPORARY
FF	FINISH FLOOR	TOE	TOE OF BANK
PH, HYD	FIRE HYDRANT	TS	TURNING STRUCTURE
FL, INV	FLOWLINE	TRANS	TRANSFORMER
FS	FINISHED SURFACE	TW OR TOW	TOP OF WALL
G	GAS MAIN	TYP	TYPICAL
GB	GRADE BREAK	UTIL	UTILITY
GFF	GARAGE FINISHED FLOOR	VAR	VARIABLE
GR	GRATE	VC	VERTICAL CURVE
H	HEIGHT	VERT	VERTICAL
HP	HIGH POINT	W, WTR	WATER LINE
JP	JOINT POLE	WM	WATER METER
JT	JOINT TRENCH		

SYMBOLS LEGEND

PROPERTY LINE	---
LOT LINE	---
CENTERLINE	---
EASEMENT LINE	---
PERIMETER OF BUILDING	---
CONTOUR & ELEVATION	35
CUT/FILL; DAYLIGHT LINE	---
DRAINAGE SWALE	---
SIDEWALK	---
PAVEMENT	---
CONCRETE	---
GRAVEL PATH	---
RETAINING WALL	---
ROCK WALL	---
WALL HEIGHT	4
ELECTRIC LINE	ELEC
GAS LINE	G
JOINT TRENCH	JT
OVERHEAD LINE	OH
WATER LINE	W
SANITARY SEWER LINE	SS
STORM DRAIN LINE	SD
STORM DRAIN SUBDRAIN	SD
STORM DRAIN DISSIPATER	SD
CHAIN LINK FENCE	---
CATCH BASIN (CURB INLET)	---
DROP INLET	---
AREA DRAIN	---
DOWNSPOUT	---
STORM DRAIN MANHOLE	---
SANITARY SEWER MANHOLE	---
CLEANOUT	---
GUY	---
POWER POLE	---
JOINT UTILITY POLE	---
JOINT POLE W/STREET LIGHT	---
STREET LIGHT	---
FIRE HYDRANT	---
WATER METER	---
SIGN	---
SPOT ELEVATION	x 100.00
DIRECTION OF FLOW	---
SURVEY CONTROL POINT	---
CENTERLINE MONUMENT	---
PEDESTRIAN RAMP	---
TREE SYMBOL & DRIP LINE	---
DETAIL REFERENCE	A1
SHEET NUMBER	120



VICINITY MAP

SCALE: NO SCALE

GENERAL NOTES

- All work and materials shall conform to the Cities and County of Marin Uniform Construction Standards and Standard Specifications, and the State of California Standard Plans and Specifications, where applicable.
- The contractor shall notify the County Department of Public Works 48 hours prior to starting any work.
- The contractor shall obtain applicable permits from the issuing agencies prior to commencing any work.
- Tarnoff Engineering Corporation shall not be responsible for any unauthorized changes to, or uses of these plans. The contractor shall assume complete responsibility for any and all changes to these plans without the written authorization of Tarnoff Engineering Corporation.
- All changes to the plans must be in writing, and must be approved by Tarnoff Engineering Corporation.
- The topographic information shown on these plans is provided by others. Tarnoff Engineering Corporation makes no warranties, either expressed or implied, as to the accuracy of this data. The Contractor shall be responsible for notifying Tarnoff Engineering Corporation if there are any topographic discrepancies that impact the plan design or the constructability of any planned improvement.
- The location of existing utilities shown on these plans is approximate only. The type, size, depth, and location of all existing utilities should be verified by the contractor prior to commencing any site work, including demolition. If the actual location of any utility is different from what is shown on the plans, and impacts the design or constructability of any planned improvement, the Contractor shall notify Tarnoff Engineering Corporation so that an alternate solution can be approved.
- All work shall be constructed in compliance with the project geotechnical report, including all letters and recommendations.
- The engineer shall certify to the County that all grading and drainage improvements were installed per the approved plans and field direction.

CONSTRUCTION NOTES

- The project engineer and geotechnical engineer shall be given minimum 48 hours' notice for any required inspection.
- No grading allowed between October 1 and April 1 without written consent from the authorizing agency.
- All permanent embankments shall be constructed at slopes of 2:1 or flatter, or as directed by the project geotechnical engineer.
- All tops and toes of graded embankments shall be rounded.
- All embankments and graded areas shall be treated with erosion control measures (per details in this plan set, or as directed by agency officials) by October 1, and maintained until April 1. Sediment control is required year-round to prevent offsite tracking or release of airborne particles.
- Dust control must be maintained at all times. Watering or covering graded areas, sweeping, and all other Best Management Practices must be maintained onsite. No silt, dirt, mud, or debris may accumulate in the public right of way.
- All excess materials must be stockpiled and covered properly, or placed at an approved fill site.
- The contractor is responsible for matching streets, surrounding landscape, and other improvements with a smooth transition - be it for grading, paving, curbs, gutters, sidewalks, etc. Contractor shall avoid abrupt or apparent grade changes, cross slopes, low spots (except for where intended), or hazardous conditions.
- All trees to be saved shall be protected per landscape architect or arborist details.
- If any archeological, historical, or paleontological materials are uncovered, discovered, or otherwise detected or observed during project grading and construction operations, work will cease immediately within the vicinity of the discovery until a qualified archeologist can be brought to the site for an assessment of the resources.
- Any subdrain information shown on these plans is for informational purposes only. Subdrain placement and construction shall adhere to the recommendations of, and direction from the project geotechnical engineer.
- All private sanitary sewer and storm drain pipe shall be PVC SDR-35 with water-tight gasketed joints, or approved equal. Private large diameter storm drain pipe shall be Hancor N-12 HDPE pipe, or equal.
- Stationing is generally along roadway or driveway centerline, unless otherwise shown or indicated.
- Curb return radii and data are to the face of curb.
- Lengths of utility pipes are horizontal distances from center to center of structure, rounded to the nearest tenth of a foot.
- Traffic control during construction shall comply with the California Manual on Uniform Traffic Control Devices (CMUTCD).
- Signing and Striping shall be in accordance with the applicable details from the CMUTCD, latest edition.
- Manhole, grate, and rim elevations are approximate only. The contractor shall be responsible for adjusting rims and covers to match finished grade.
- Best Management Practices must be applied at all times during construction.

SHEET INDEX

C1	TITLE SHEET, NOTES & LEGEND
C2	GRADING & DRAINAGE PLAN
C2.1	SITE SECTION
C3	EROSION CONTROL PLAN
C4	OFFSITE UTILITY PLAN

40 CLIFF DRIVE - APN 193-114-02
 BOLINAS, CALIFORNIA
 IMPROVEMENT PLANS
 TITLE SHEET, NOTES & LEGEND

REVISION BLOCK

No.	Date	Description
1	03/27/2026	RESPONSE TO PLAN CHECK COMMENTS

PROJECT NO. 2216
PROJECT DATE 02/28/2024
REVIEWED BY MLT

SHEET

C1

OF 5 SHEETS

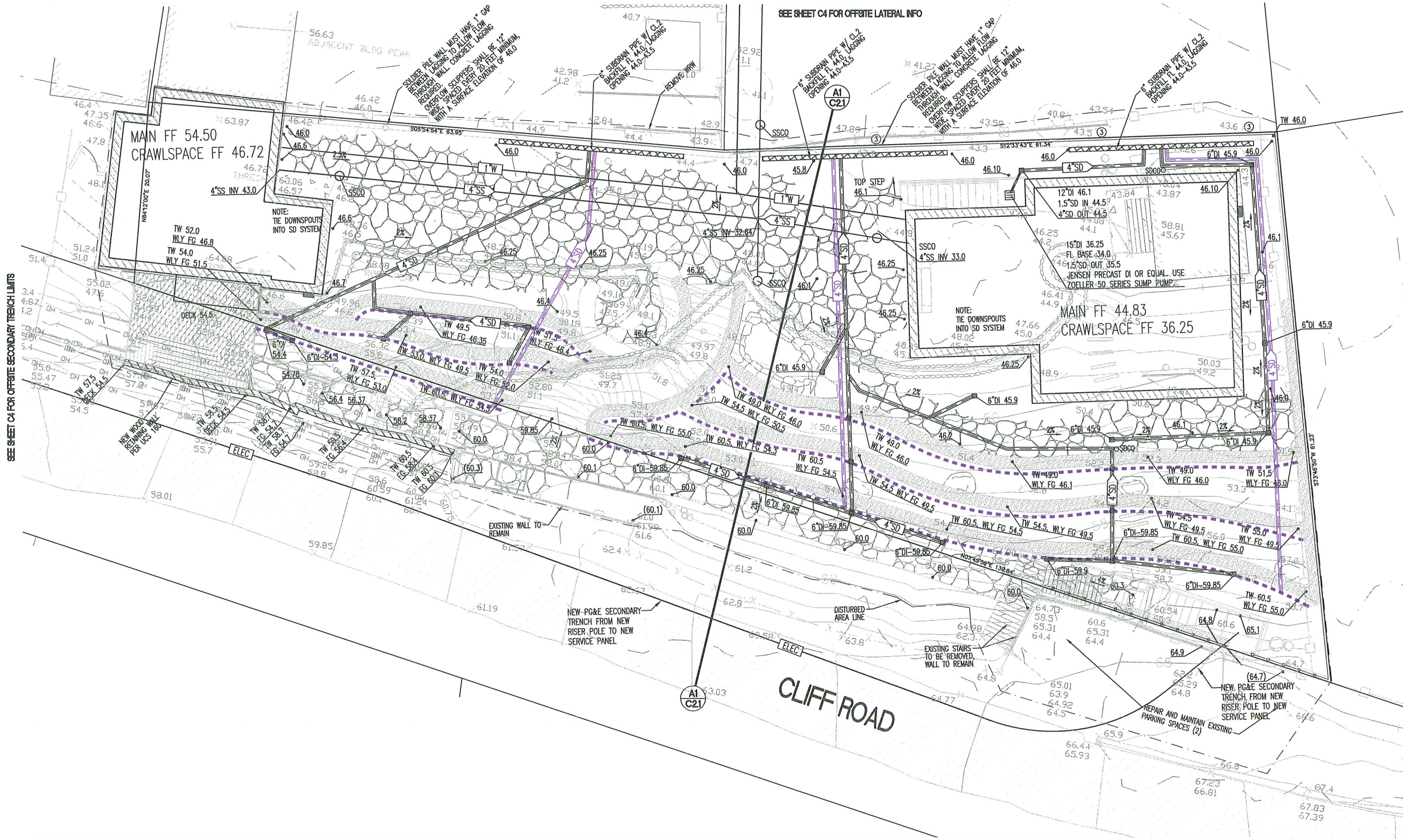
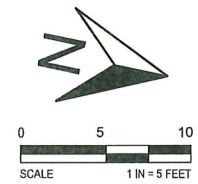


GENERAL NOTES

- TOPOGRAPHY AND BOUNDARY ARE PER TOPOGRAPHIC SURVEY BY OTHERS. TARNOFF ENGINEERING CORPORATION MAKES NO WARRANTIES, EITHER EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THIS DATA.
- CLIFF ROAD IS A PRIVATE RIGHT OF WAY. ALL WORK WITHIN THE ROADWAY WILL BE COORDINATED WITH THE NEIGHBORS.
- ALL PROPOSED WALLS PER STRUCTURAL AND LANDSCAPE ARCH PLANS. RAILING, IF NECESSARY, BY OTHERS. SEE ARCHITECT PLANS FOR DEMOLITION LIMITS
- ALL FENCING PER LANDSCAPE PLANS.
- TOTAL DISTURBED AREA = 6,493 SQUARE FEET
- ESTIMATED EARTHWORK QUANTITIES:
CUT = 384 C.Y.
FILL = 15 C.Y.
OFF-HAUL = 369 C.Y.

UTILITY CONSTRUCTION NOTES

- DRAIN INLETS AT BACK OF WALLS SHALL BE NDS 6" BLACK ATRIUM DRAIN INLET. SITE AREA DRAINS SHALL BE NDS 6" SPEC-D-DRAIN WITH GRATED TOP OR EQUAL.
- SITE STORM DRAIN PIPE SHALL BE PVC SDR-35, OR APPROVED EQUAL. PIPE SHALL BE SLOPED AT 2% MINIMUM. PROVIDE 18" MINIMUM COVER.
- DOWNSPOUTS MUST CONNECT TO SITE STORM DRAIN PIPE
- PLACE STORM DRAIN CLEANOUT AT ALL BENDS > 45° - USE 45° SWEEP WYE.
- SITE SUBDRAIN SHALL BE PVC SDR-35 OR EQUAL WITH HOLES DOWN, PLACED BEHIND WALLS AS SHOWN. BACKFILL WITH CLEAN CLASS 2 PERMEABLE ROCK TO WITHIN 12" OF THE SURFACE, AND WRAP TRENCH IN MIRAFI 140N OR APPROVED EQUAL. CONVEY FLOWS IN TIGHT 4" PVC SDR-35 DRAIN PIPE OR EQUAL TO STORM DRAIN DISSIPATER. MINIMUM 2% SLOPE FOR TIGHT PIPE. THE LOWEST ELEVATION OF SUBDRAIN PIPE BEHIND A WALL MUST BE AT LEAST 12" ABOVE THE GRAVITY OVERFLOW ELEVATION IN THE WESTERLY P/L WALL = 46.0.
- STORM DRAIN DISSIPATER SHALL BE 6" SUBDRAIN PIPE BACKFILLED WITH CLASS 2 PERMEABLE ROCK, WRAPPED IN MIRAFI 140N FILTER FABRIC, OR EQUAL. WESTERLY SITE RETAINING WALL (SOLDIER PILE WITH LAGGING) TO BE DESIGNED TO WITHSTAND THE FLUID PRESSURE FROM ACTING AS BOTH A RETAINING WALL AND A STORM DRAIN ENERGY DISSIPATER. PROVIDE WALL OVERFLOW OPENINGS AND SPACE BETWEEN LAGGING TO ALLOW STORMWATER TO FLOW THROUGH. SEE STRUCTURAL PLANS FOR WALL.
- SEWER LATERAL SHALL BE 4" PVC SDR-17 OR AS REQUIRED BY THE BCPUD. SLOPE AT 2% MINIMUM. FOR TRENCH UNDERNEATH AND 5'-FT ON EITHER SIDE OF WESTERLY PROPERTY LINE, BACKFILL WITH CONTROL DENSITY FILL TO PREVENT MIGRATION OF DISSIPATED RUNOFF, OR AS DIRECTED BY PROJECT GEOTECHNICAL ENGINEER. CONNECTION TO MAIN IN STREET AS DIRECTED BY BCPUD. CLEANOUTS SHALL BE PLACED AT ALL BENDS USING SWEEP 45° WYE. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES IN NEW LATERAL PATH PRIOR TO EXCAVATING, AND ADJUST INVERT ELEVATIONS ACCORDINGLY TO PROVIDE MINIMUM 12" CLEARANCE WITH ANY OTHER PIPE.
- WATER LATERAL FROM HOT TAP AT MAIN TO METER PER SHALL BE 1" COPPER. AT BACKSIDE OF METER, LATERAL MAY BE COPPER OR JM EAGLE SCHEDULE 80 OR APPROVED EQUAL.
- UNDERGROUND SECONDARY ELECTRICAL LINE AND TRENCH, AND NEW TRANSFORMER, PER PG&E. INFORMATION SHOWN SCHEMATICALLY ONLY



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Prepared under the Direction of:



Michael L. Tarnoff
RCE 48596 Exp. 06/30/2026

40 CLIFF DRIVE - APN 193-114-02
BOLINAS, CALIFORNIA
IMPROVEMENT PLANS
GRADING & DRAINAGE PLAN

REVISION BLOCK

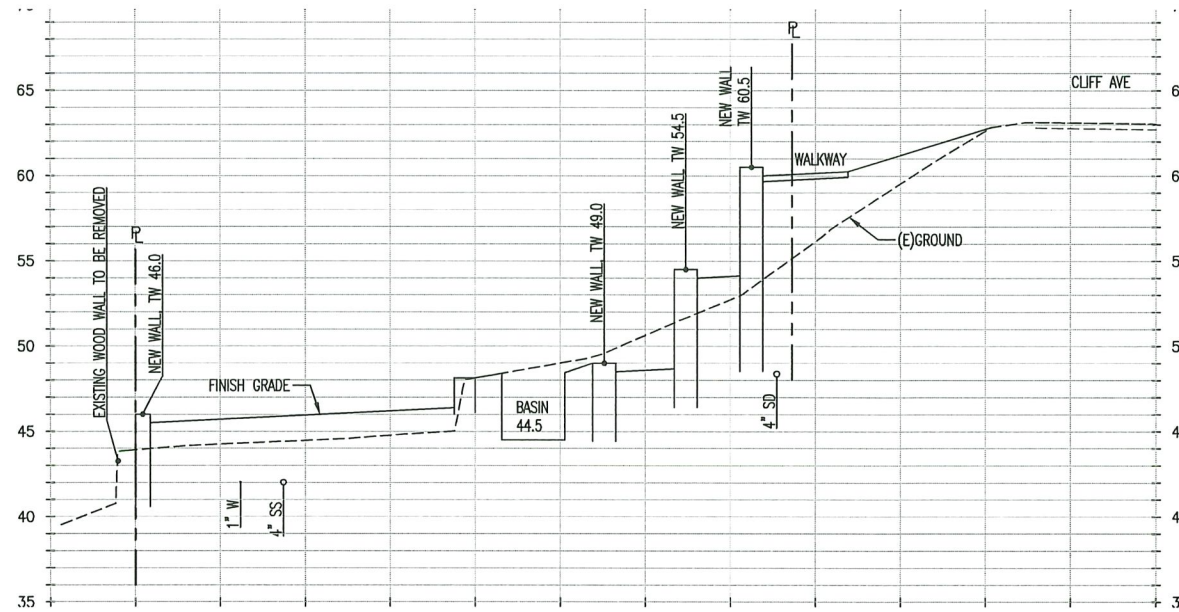
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PROJECT NO. 2216
PROJECT DATE 02/26/2024
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SHEET

C2

OF 5 SHEETS



SITE SECTION A1

SCALE: 1" = 5'

40 CLIFF DRIVE - APN 193-114-02
BOLINAS, CALIFORNIA
IMPROVEMENT PLANS
SITE SECTION

REVISION BLOCK

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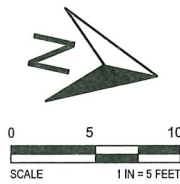
SHEET
C2.1
OF 5 SHEETS

EROSION CONTROL NOTES

1. ALL DISTURBED AREAS TO BE REVEGETATED OR STABILIZED WITH ADEQUATE SOIL COVER (STRAW MULCH WITH TACKIFIER, HYDROSEED, OR EROSION CONTROL BLANKETS), FOR AREAS INACTIVE FOR MORE THAN 14 DAYS AND PRIOR TO FORECASTED RAIN EVENTS. WOVEN COCONUT MATS OR EQUAL SHALL BE USED FOR ALL EXPOSED GRADED SLOPE AREAS. STEEPER EMBANKMENTS MAY REQUIRE GEOTEXTILE FABRIC ENFORCEMENT TO PREVENT EROSION. DO NOT USE LOOSE STRAW MULCH.
2. THIS PLAN IS FOR EROSION & SEDIMENT CONTROL ONLY. SEE SHEET C2 FOR GRADING AND DRAINAGE.
3. THE ENGINEER SHALL HAVE THE AUTHORITY TO MODIFY ALL EROSION CONTROL MEASURES AS NECESSARY TO MEET MCSTOPPP STANDARDS.
4. ALL CHANGES TO SITE EROSION CONTROL SHALL BE DOCUMENTED BY THE CONTRACTOR IN THE ONSITE COPY OF THE EROSION CONTROL PLAN.
5. INTERIM EROSION CONTROL: IF STORM EVENTS OR SITE CONDITIONS PREVENT THE COMPLETION OF THE SITE GRADING, AND INSTALLATION OF THE PROPOSED STORM DRAIN PIPE, INTERIM EROSION CONTROL MEASURES MAY BE REQUIRED. THE ENGINEER SHALL BE CONSULTED FOR ANY INTERIM OR TEMPORARY EROSION CONTROL MEASURES, AND ANY CHANGE TO THIS PLAN MUST COMPLY WITH MCSTOPPP STANDARDS.
6. FOR HAZARDOUS WASTE MANAGEMENT AND SANITARY WASTE MANAGEMENT, THE CONTRACTOR MUST FOLLOW BEST MANAGEMENT PRACTICES, THE GUIDELINES IN THE BASMAA POST-CONSTRUCTION MANUAL, THE MARIN COUNTY CODE, AND BOLINAS COMMUNITY PUBLIC UTILITY DISTRICT REQUIREMENTS.

KEY NOTES/SYMBOLS LEGEND

-  INSTALL FIBER ROLLS PER CASQA SE-5
-  INSTALL INLET PROTECTION PER CASQA SE-10
-  INSTALL GRAVEL BAG CHECK DAM PER CASQA SE-4



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40 CLIFF DRIVE - APN 193-114-02
BOLINAS, CALIFORNIA
IMPROVEMENT PLANS
EROSION CONTROL & STORMWATER PLAN

REVISION BLOCK

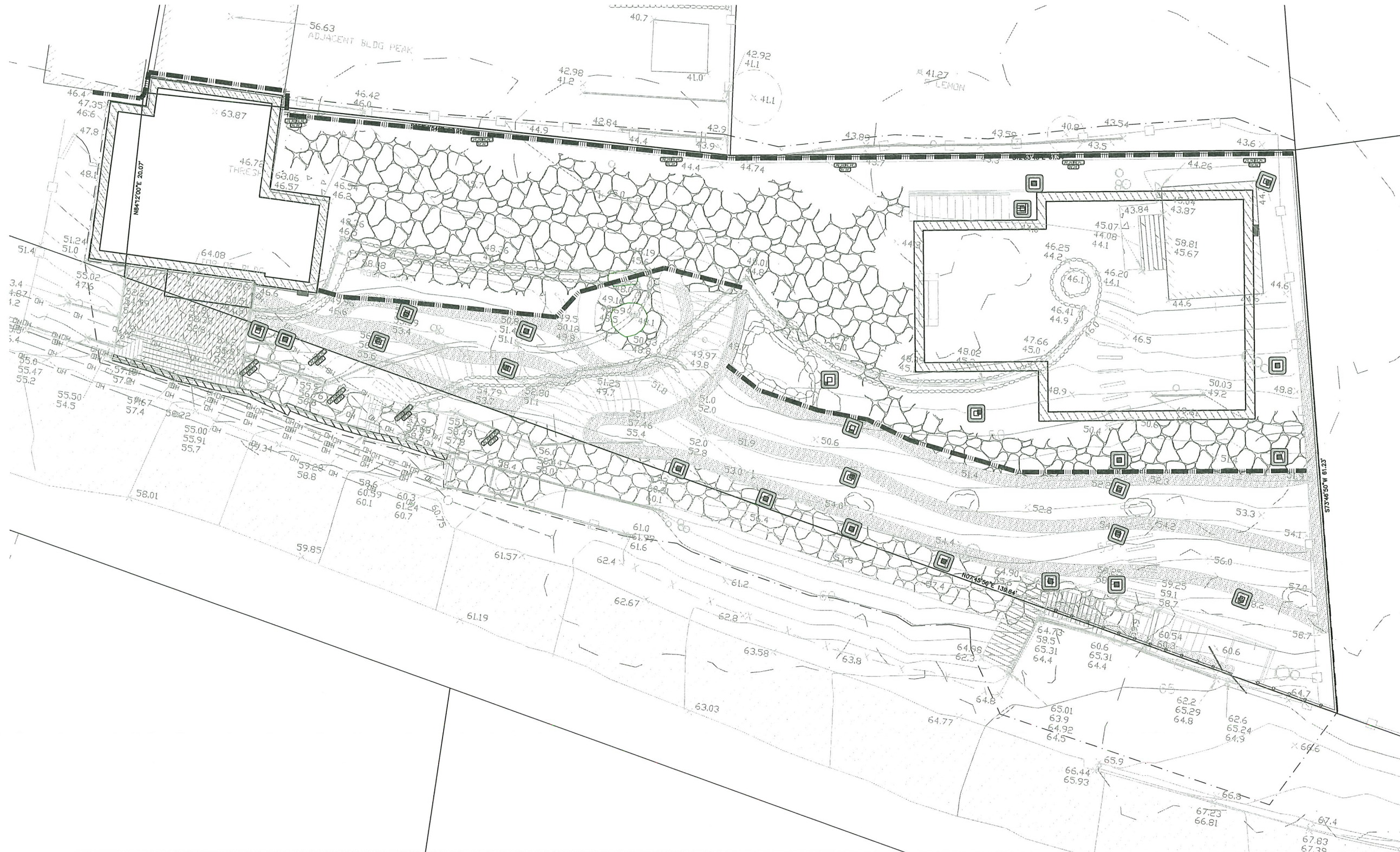
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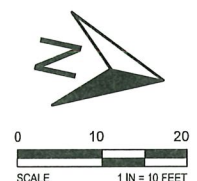
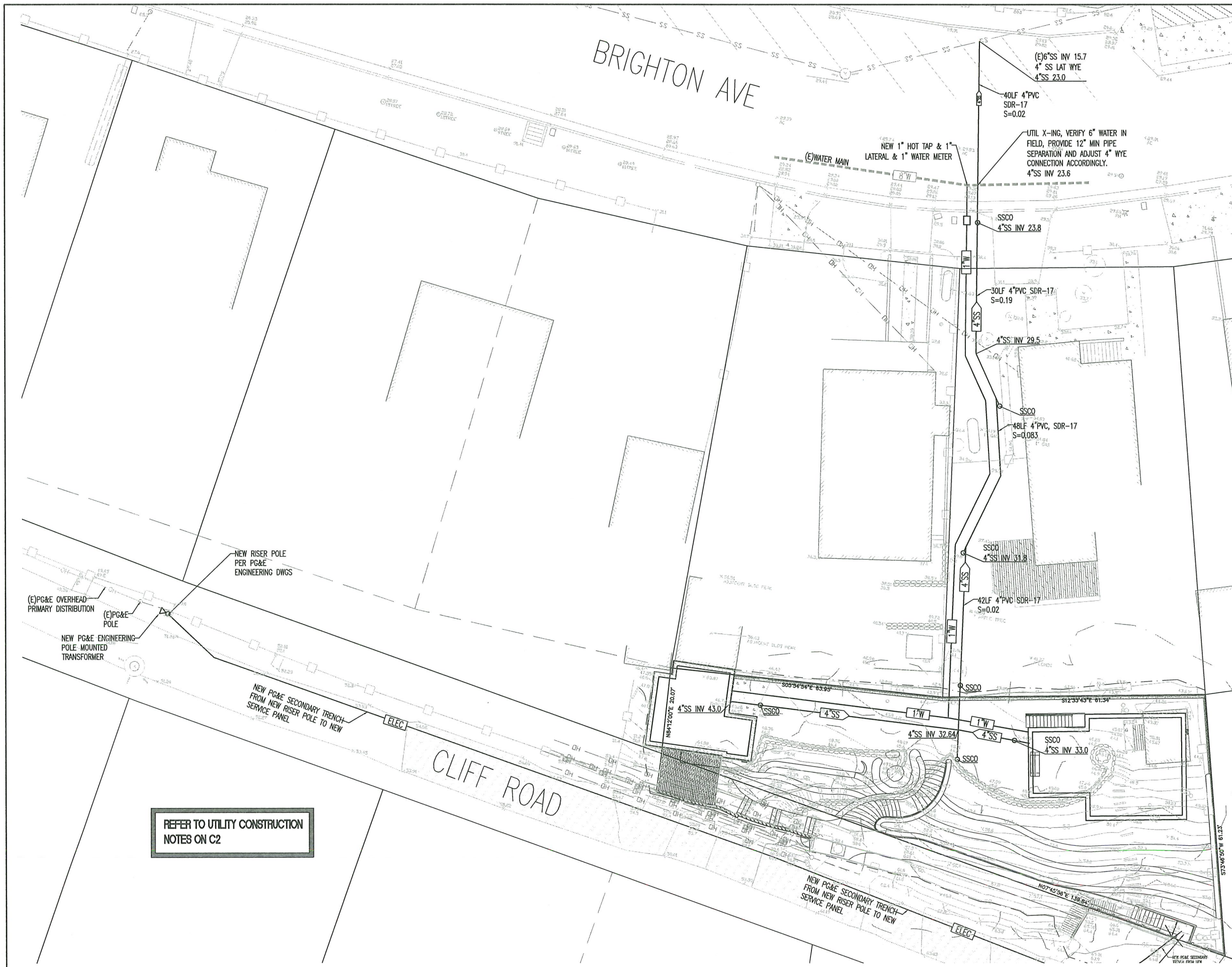
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SHEET

C3

OF 5 SHEETS





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40 CLIFF DRIVE - APN 193-114-02
BOLINAS, CALIFORNIA
IMPROVEMENT PLANS
OFFSITE UTILITY PLAN

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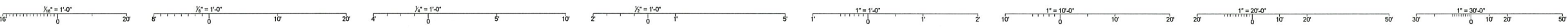
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SHEET

C4

OF 5 SHEETS

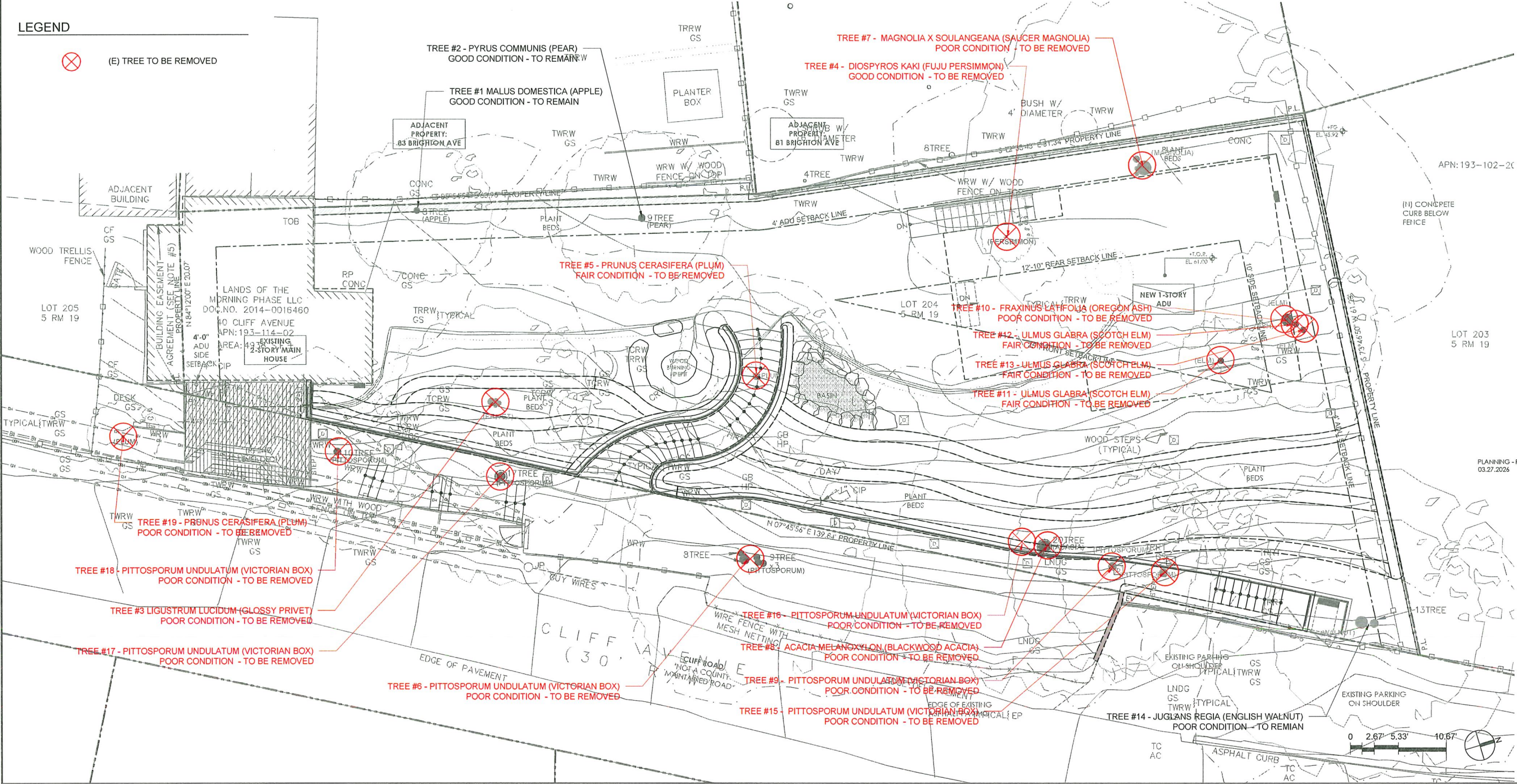


TREE PROTECTION & DEMOLITION NOTES

- STOCKPILE (E) TOPSOIL PER PLAN. TOPSOIL IS TO BE REDISTRIBUTED AS PART OF FINE GRADING.
- SEE PLANTING PLAN NOTES FOR SOIL AMENDMENT REQUIREMENTS.
- PROVIDE TREE PROTECTION FENCING AT LOCATIONS SHOWN PRIOR TO START OF CONSTRUCTION. FENCING SHALL REMAIN IN PLACE UNTIL SITE WORK IS COMPLETED AND ACCEPTED BY LANDSCAPE ARCHITECT.
- DO NOT USE HEAVY EQUIPMENT OR CONDUCT ANY ACTIVITY THAT WILL CAUSE COMPACTION UNDER THE DRIPLINE OF EXISTING TREES TO REMAIN. DO NOT STORE EQUIPMENT OR MATERIALS UNDER THE DRIP LINE OR BEHIND PROTECTIVE FENCES.
- PROVIDE PROTECTION FOR ROOTS CUT DURING CONSTRUCTION OPERATIONS. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING OUT. COVER WITH EARTH AS SOON AS POSSIBLE. SIMILARLY PROTECT SHRUB AND GROUND COVER AREAS TO REMAIN.
- AT NO COST TO THE PROJECT, CONTRACTOR SHALL REPAIR OR REPLACE ALL VEGETATION INDICATED AS "EXISTING TO REMAIN" THAT IS DAMAGED BY CONSTRUCTION OPERATIONS. LANDSCAPE ARCHITECT OR ARBORIST WILL MAKE SOLE DETERMINATION AS TO EXTENT OF DAMAGE. EMPLOY A LICENSED ARBORIST TO REPAIR ALL DAMAGE TO TREES TO REMAIN.
- PROTECT ALL EXISTING SITE IMPROVEMENTS FROM DAMAGE. RESTORE DAMAGED ELEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO THE OWNERS, AT NO COST TO THE PROJECT.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE OF FINISH GRADE AND PROVIDE EROSION CONTROL MEASURES AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KNOWLEDGE OF ALL UNDERGROUND IMPROVEMENTS TO BE PROTECTED AND TAKE SOLE RESPONSIBILITY FOR DAMAGE TO ALL SUCH ITEMS. RESTORE DAMAGED UTILITIES TO ORIGINAL CONDITION, AS ACCEPTABLE TO GOVERNING AGENCIES, WHERE REQUIRED BY CODE.
- ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED ON A WEEKLY BASIS AND LEGALLY DISPOSED OF OFF-SITE, INCLUDING ALL MATERIAL FROM VEGETATION REMOVAL. THERE SHALL BE NO ON-SITE BURNING PERMITTED.
- PLANTS TO BE RELOCATED SHALL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL IMMEDIATELY TRANSPLANT TREES DUG FOR RELOCATION, WATER AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE MORTALITY AND REPLACE FAILED TREES AT NO COST TO CLIENT.
- ON-SITE STORAGE OF EQUIPMENT AND MACHINERY BY THE CONTRACTOR SHALL BE LIMITED TO DESIGNATED AREAS ACCEPTABLE TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL TAKE EXTREME CARE AT ALL TIMES NOT TO BRING ONTO THE SITE ANY SOIL, VEGETATION OR OTHER MATERIAL THAT POSES A CONTAMINATION HAZARD TO EXISTING PLANT MATERIALS. ALL TRUCKS AND ALL EQUIPMENT USED SHALL BE CLEAN OF ALL MUD, DIRT OR TOXIC SUBSTANCES WHEN BROUGHT ONTO AND USED ON THE SITE.
- SHRUBS TO REMAIN OR TO BE TRANSPLANTED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. SHRUBS TO REMAIN SHALL BE PROTECTED WITH FENCING SIMILAR TO THE TREE PROTECTION FENCING.
- TRANSPLANTED TREES AND SHRUBS SHALL BE PROVIDED WITH IRRIGATION AND PART SHADE DURING SUMMER MONTHS. TRANSPLANTS TO BE IRRIGATED WEEKLY AT A MINIMUM BY THOROUGHLY SOAKING THE ROOTBALL. ARBORIST MAY INCREASE IRRIGATION SCHEDULE AS NEEDED.
- ALL EXISTING CONCRETE, ROCK OR AC PAVING THAT IS APPROVED BY ENGINEER FOR FILL OR BASE ROCK OF FUTURE CONSTRUCTION SHALL BE KEPT AND STORED ON SITE UNTIL NEEDED; PROTECT FROM CONTAMINATION.
- ALL RETAINING WALLS IDENTIFIED FOR DEMOLITION SHALL INCLUDE REMOVAL OF FOOTINGS.
- TREE REMOVAL SHALL INCLUDE STUMP GRINDING AND REMOVAL OF MAJOR ROOT SYSTEMS.
- IRRIGATION DEMOLITION:
 - REMOVE (E) IRRIGATION VALVES AND VALVE BOXES (DO NOT BURY).
 - DISCONNECT MAIN LINE FROM WATER SERVICE. IF DEEPER THAN 12", BURY. IF SHALLOWER THAN 12", REMOVE.
 - REMOVE ALL SPRINKLER HEADS AND RISERS; REMOVE LATERAL LINES.
 - REMOVE QUICK COUPLERS AND HOSE BIBS - RECYCLE IF POSSIBLE.
- DEMOLITION OF ALL STRUCTURES IS NOT INCLUDED IN LANDSCAPE SCOPE OF WORK. DEMOLITION OF ALL STRUCTURES SHALL BE BY OTHERS AS DETERMINED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ALL STRUCTURES, SECURE TERMINATION AND DISCONNECTION OF ALL UTILITIES AND SECURE NECESSARY CITY PERMITS.
- DEMOLITION OF STRUCTURES INCLUDES REMOVAL OF FOUNDATIONS AND BASEMENT WALLS UNLESS DETERMINED OTHERWISE BY GEOTECHNICAL ENGINEER. ELEMENTS DETERMINED TO BE LEFT IN SITU SHALL NOT CONFLICT WITH PROPOSED NEW SITE DEVELOPMENT WORK DEPICTED WITHIN THIS SET OF PLANS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.

LEGEND

(E) TREE TO BE REMOVED



Revisions

No.	Description

40 CLIFF RD
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LANDSCAPE ARCHITECTURE & DESIGN
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SCALE 3/16" = 1'-0"

DATE 27 MAR 2026 PROJECT # 2220

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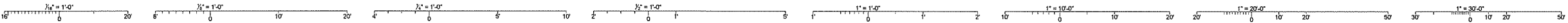
ISSUE PERMIT SET

SHEET **L0.1**

TREE PROTECTION & REMOVAL PLAN

7 NOV 2025 - PERMIT SET - NOT FOR CONSTRUCTION

PLANNING R 03.27.2026



LAYOUT LEGEND

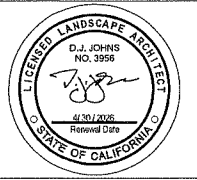
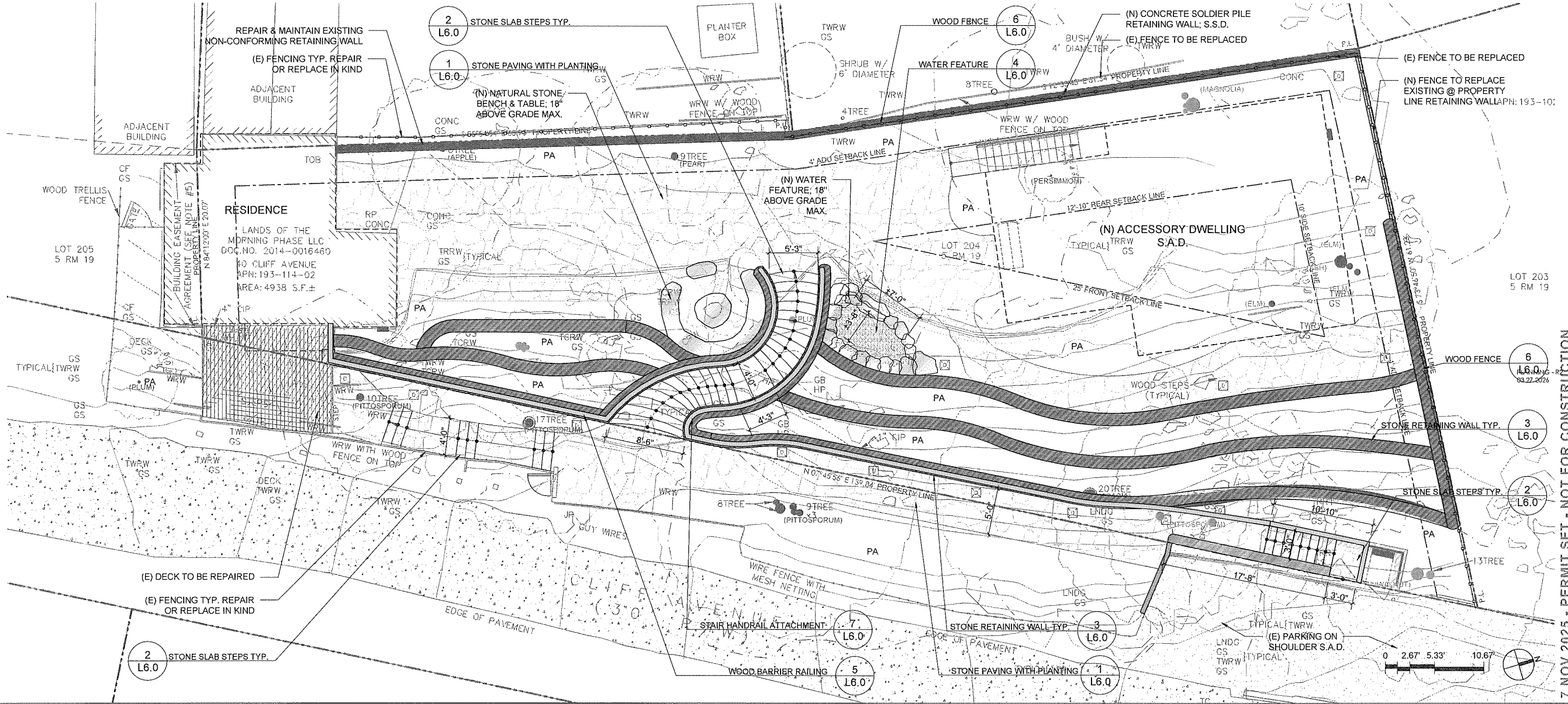
(E)	EXISTING	ALIGN	↑
(N)	NEW	ALIGN	↓
CB	CATCH BASIN	⊕	CENTERLINE
CL	CLEAR	⊕	EXPANSION JOINT
DN	DOWN	⊕	AREA DRAIN IN PLANTING
EJ	EXPANSION JOINT	2%	SLOPE DIRECTION AND GRADE
EQ	EQUAL	---	PROPERTY LINE
FOB	FACE OF BUILDING	---	SETBACK LINE
LA	LANDSCAPE ARCHITECT	---	EXISTING TREE CANOPY DRIP LINE
PA	PLANTING AREA	---	CENTER LINE
r	PROPERTY LINE	---	EXISTING FENCE
POB	POINT OF BEGINNING	---	NEW FENCE
SAD	SEE ARCHITECTURAL DRAWINGS	---	NEW FENCE - SQUARE POST
SSD	SEE STRUCTURAL DRAWINGS	---	NEW FENCE - CENTER POST
SCD	SEE CIVIL DRAWINGS	---	SLOT DRAIN
SYM	SYMMETRICAL	---	WATER LINE
TBD	TO BE DETERMINED	---	SHEET MATCH LINE
TYP	TYPICAL		
VIF	VERIFY IN FIELD		
DBH	DIAMETER AT BREAST HEIGHT		

MATERIALS SCHEDULE

MATERIAL	MANUFACTURER/SUPPLIER	STYLE/COLOR	FINISH/SIZE	NOTES/CONTACT
PERVIOUS STONE PAVING	WHEELER ZAMARONI	STONE / OJAI SANDSTONE	NATURAL / 12-36" PIECES	WWW.WZSUPPLY.COM
STONE WALLS	WHEELER ZAMARONI	FIELDSTONE / OJAI SANDSTONE	NATURAL / 12-36" PIECES	
STONE SLAB STEPS	WHEELER ZAMARONI	STONE SLABS / OJAI SANDSTONE	NATURAL / 18"D X 48"L X 7"H	
WOOD RAILING	CUSTOM	WOOD	ORGANIC BRANCHES / ±2"Ø	SEE PLAN & DETAIL
HANDRAIL	CUSTOM	METAL HANDRAIL / COLOR TBD.	COATED / 1.5"Ø	SEE PLAN & DETAIL
VEGETABLE BEDS	CUSTOM	NATURAL WOVEN BRANCHES	NATURAL BARK	
WOOD BURNING FIREPIT	CUSTOM	STONE FIRE BOWL / COLOR TBD.	TBD. / 48" DIAMETER	
FIREPIT SEATING	TBD.	NATURAL BOULDERS / COLOR TBD.	NATURAL / 18" HEIGHT	

LAYOUT NOTES

- VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES, LIGHTING AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
- WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERING DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCH MARKS AND BUILDING SETBACKS.
- TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS "EQUAL" (EQ) SHALL BE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
- ALL ITEMS DESIGNATED AS "SIMILAR" OR "TYPICAL" (TYP) SHALL BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
- ALL ANGLES SHALL BE 90 DEGREES AND ALL LINES SHALL BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
- ON FLAGSTONE PAVING, ALL ANGLES SHALL BE GREATER THAN 110 DEGREES (AVOID SHARP POINTS). SMALLEST SIZE STONE SHALL BE 1/2 THE LARGEST SIZE, OR 12"x12", WHICHEVER IS LARGER. MORTAR JOINTS SHALL BE NO LARGER THAN 3/4" UNLESS NOTED OTHERWISE. SPACE BETWEEN STEPPING STONES SHOULD BE 3"-6", UNLESS NOTED OTHERWISE. DO NOT ALIGN JOINTS FOR MORE THAN TWO STONES, AND NO MORE THAN TWO CORNERS SHOULD MEET TOGETHER. DISTRIBUTE COLOR AND TEXTURE EVENLY THROUGHOUT PAVING AREA.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
- INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.
- ALL WORK PERFORMED WITHIN THE TREE PROTECTION ZONE AND/OR THE DRIP LINE OF TREES DESIGNATED AS "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. NO ROOTS TWO INCHES OR LARGER IN CALIPER SHALL BE SEVERED WITHOUT REVIEW AND ACCEPTANCE BY ARBORIST.



Revisions

No.	Description

40 CLIFF RD
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LANDSCAPE ARCHITECTURE & DESIGN
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SCALE
3/16" = 1'-0"

DATE
27 MAR 2025

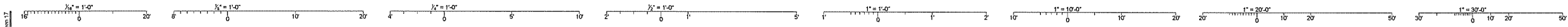
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ISSUE
PERMIT SET

SHEET

L1.0
LAYOUT PLAN & NOTES

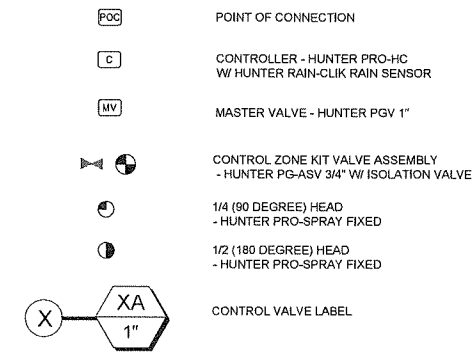
7 NOV 2025 - PERMIT SET - NOT FOR CONSTRUCTION



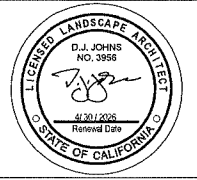
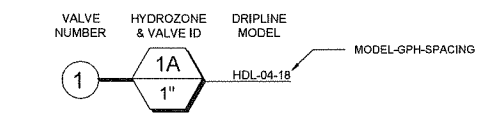
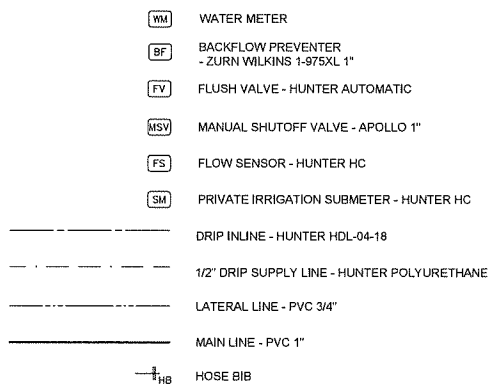
IRRIGATION SPECIFICATIONS

- ALL VALVES SHALL BE MOUNTED UNDERGROUND IN BROOKS BOX 1324 O.A.E. BLACK COLOR ONLY, CONFIRM ALL LOCATIONS W/L.A. PRIOR TO INSTALLATION
- CONTRACTOR SHALL LAYOUT ALL WORK AS ACCURATELY AS POSSIBLE AND NOTIFY L.A. OR OWNER FOR FIELD REVIEW. NOTIFY L.A. IMMEDIATELY OF ANY DISCREPANCIES.
- LOCATION OF CONTROLLER, P.O.C., BACKFLOW PREVENTER, ETC. SHALL BE APPROVED BY L.A. PRIOR TO INSTALLATION.
- CONTRACTOR SHALL CONFORM TO ALL LOCAL BUILDING AND PLUMBING CODES.
- ALL TUBING SHALL BE STAKED.
- EACH DRIP VALVE SHALL HAVE A FILTER AND A PRESSURE REDUCER IF IT IS ON A MAINLINE THAT DOES NOT HAVE A SYSTEM FILTER AND PRESSURE REDUCER.
- VERIFY LOCATION OF HOSE BIBS IF APPROPRIATE WITH L.A. AND OWNER IN FIELD PRIOR TO INSTALLATION.
- TRENCHING FOR IRRIGATION, DRAINAGE, ETC. SHALL BE DONE IN SUCH A WAY AS TO MINIMIZE DAMAGE TO ROOTS. THIS CAN BE DONE BY USING AN AIR SPADE AND GOING AROUND OR UNDER ROOTS INSTEAD OF CUTTING THEM, OR KEEPING ALL TRENCHING OUTSIDE THE DRIPLINE.
- ALL IRRIGATION SHALL BE KEPT A MINIMUM OF 10 FEET FROM EXISTING ROOT CROWNS OF ALL OAKS.
- FREEZE AND/OR VANDALISM PROTECTION SHALL BE PROVIDED AT BACKFLOW PREVENTER BY MEANS OF A MANUFACTURED ENCLOSURE OR BLANKET.
- IT IS UNDERSTOOD THAT THIS PLAN IS CONCEPTUAL IN NATURE AND MEANT AS A GUIDE TO INSTALLATION OF AN IRRIGATION SYSTEM APPROPRIATE FOR THE ACCOMPANYING CORRESPONDING PLANTING PLAN. SPECIFIC INSTALLATION OF THE SYSTEM SHOULD INCLUDE ADAPTATIONS OR REVISIONS TO ALLOW FOR SITE CONDITIONS THAT MAY PROVE DIFFERENT THAN ANTICIPATED AT THE TIME THIS PLAN WAS CONCEIVED. EXACT LOCATION OF LAWN SPRINKLERS, VALVES, SLEEVES, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED WITH L.A. PRIOR TO INSTALLATION.
- EACH HYDROZONE SHALL EMPLOY A CHECK VALVE TO PREVENT LOW - HEAD DRAINAGE.
- PRESSURE REGULATION SHALL BE VERIFIED SO THAT ALL COMPONENTS OPERATE AT MANUFACTURER'S RECOMMENDED PRESSURE.

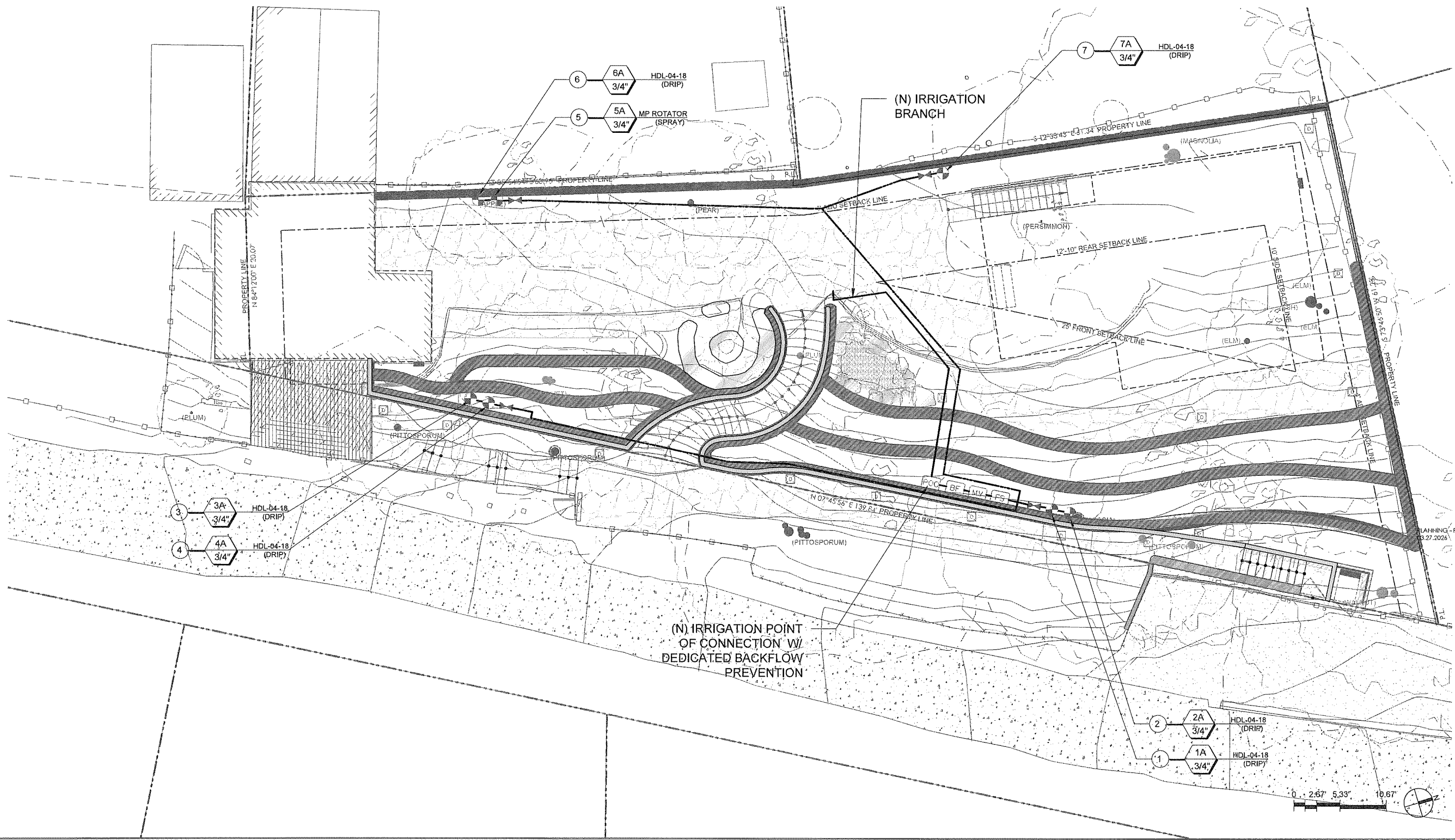
EQUIPMENT LEGEND



VALVE LEGEND



Revisions



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SCALE
3/16" = 1'-0"

DATE
27 MAR 2025

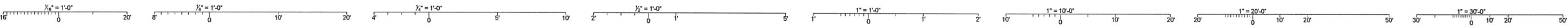
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SHEET

PROJECT #
2220

L4.0
IRRIGATION PLAN



LIGHTING LEGEND

SYMBOL	QTY	TYPE	VENDOR	MODEL	LAMP	FINISH	NOTES/ACCESSORIES
⊕	20	PATH LIGHT	SPJ LIGHTING	SPJ-DS24S	LED, 125 LUMENS, 2700K	ANTIQUE BRONZE	SPJ CONTACT: BOB KLADMAN 818-735-0564
⊖	28	POST / STEP LIGHT	FX LUMINAIRE	MO - ZD - 3LED - RD - AB	LED, 160 LUMENS, 2700K	ANTIQUE BRONZE	FX CONTACT: CHRIS OLSEN 916-436-6764
⊙	11	MOONLIGHT	SPJ LIGHTING	SPJ18-20	LED, 200 LUMENS, 2700K	ANTIQUE BRONZE	
⊕	5	UPLIGHT	FX LUMINAIRE	NP - ZD - 3LED - BZ	LED, 280 LUMENS, 2700K	BRONZE POWDER COAT	
⊕	3	KITCHEN PENDANT	SPJ LIGHTING	SPJ-HSN5	LED, 200 LUMENS, 2700K	ANTIQUE BRONZE	
⊕	3	DINING PENDANT	FX LUMINAIRE	VE - ZD - 3LED - PS - AB	LED, 220 LUMENS, 2700K	ANTIQUE BRONZE	PERFORATED SLEEVE
⊕	2	UNDERWATER LIGHT	FX LUMINAIRE	LP - 3LED - HZ - 30 - BS	LED 170 LUMENS, 2700K	BRASS	
⊕G		GFCI OUTLET	TBD.	TBD.	NA	ANTIQUE BRONZE	
T	1	LUXOR TRANSFORMER	FX LUMINAIRE	LUX - 300 - SS	NA	STAINLESS STEEL	

LIGHTING SPECIFICATIONS

Forever Bright

Discreet Path Light

Model: SPJ-DS24S
Finish: Antique Bronze
Voltage: 120V
Wattage: 12.5W
Lumen: 125
Color Temp: 2700K

FXLuminaire

MO Recessed Wall Light

Model: MO-ZD-3LED-RD-AB
Finish: Antique Bronze
Voltage: 120V
Wattage: 160W
Lumen: 160
Color Temp: 2700K

Forever Bright

Hanging Light

Model: SPJ-HSN5
Finish: Antique Bronze
Voltage: 120V
Wattage: 200W
Lumen: 200
Color Temp: 2700K

FXLuminaire

VE LED Down Light

Model: VE-ZD-3LED-PS-AB
Finish: Antique Bronze
Voltage: 120V
Wattage: 220W
Lumen: 220
Color Temp: 2700K

FXLuminaire

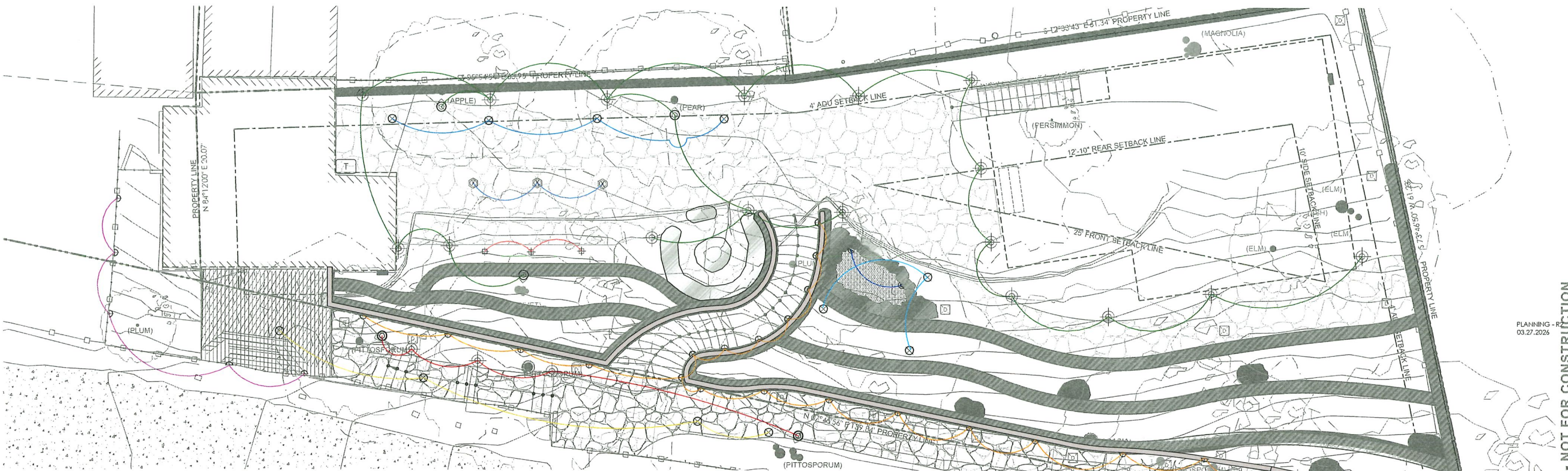
NP LED Up Light

Model: NP-ZD-3LED-BZ
Finish: Bronze Powder Coat
Voltage: 120V
Wattage: 280W
Lumen: 280
Color Temp: 2700K

FXLuminaire

LP LED Underwater Light

Model: LP-3LED-HZ-30-BS
Finish: Brass
Voltage: 120V
Wattage: 170W
Lumen: 170
Color Temp: 2700K



LIGHTING NOTES

- GENERAL CONTRACTOR TO PROVIDE INTERIOR SWITCHING AND POWER STUBOUTS TO 2' FROM FACE OF BUILDING. LANDSCAPE CONTRACTOR TO PROVIDE TRANSFORMERS, LIGHTS, CONNECTIONS, AND INSTALLATION.
- THIS DRAWING IS PROVIDED FOR INFORMATION ON LOCATION OF FIXTURES ON SITE ONLY. ALL ADDITIONAL EQUIPMENT, TRANSFORMERS, VAULTS, CONDUIT, SLEEVING, WIRING, JUNCTION BOXES, PANEL BOARDS, BREAKERS AND SCHEDULES TO BE PROVIDED & INSTALLED BY CONTRACTOR AS NEEDED.
- ALL WIRING UNDER PAVING TO BE SLEEVED IN 2" SCH. 40 PVC (NOT SHOWN ON PLAN).
- LIGHT FIXTURES ON PLAN ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. ACTUAL LOCATIONS SHALL BE VERIFIED IN FIELD WITH LANDSCAPE ARCHITECT.
- FLOOD LIGHTING OR UPLIGHTING PLACED ALONG WALLS SHALL BE SPACED EQUALLY AND ADJUSTED TO PREVENT "SCALLOPING." PRELIMINARY PLACEMENT SHALL BE ACCEPTED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION OF FIXTURES.
- INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
- COORDINATE INSTALLATION OF TREE UPLIGHTS WITH TREE PLANTING WORK UNDER THE PLANTING SECTION. ALL TREE UPLIGHTS SHALL BE ADJUSTED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL LIGHTING SHALL BE UL APPROVED. ALL LIGHTING DESIGNATED FOR UNDERWATER USE SHALL BE WATERPROOF.
- ALL POLE- AND RISER-MOUNTED LIGHTING SHALL BE INSTALLED PLUMB. ALL WALL-MOUNTED LIGHT FIXTURES SHALL BE INSTALLED HORIZONTALLY REGARDLESS OF SLOPE OF ADJACENT WALLS OR SURFACES.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.
- COORDINATE ALL SWITCHING WITH LANDSCAPE ARCHITECT, OWNER, LIGHTING DESIGNER AND GENERAL CONTRACTOR.
- ALL EXTERIOR ELECTRICAL WORK TO CONFORM WITH CURRENT ELECTRICAL CODE(S).
- ALL LOADS TO HAVE DIMMERS.
- CONFIRM LOCATION OF ALL TRANSFORMERS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SUBMIT A PLAN FOR APPROVAL SHOWING LOCATIONS FOR ALL TRANSFORMERS PRIOR TO INSTALLATION.
- COORDINATE SWITCHING WITH LANDSCAPE ARCHITECT AND OWNER PRIOR TO RUNNING WIRE.



Revisions

No.	Description

40 CLIFF RD
BOLINAS, CA 94924

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LANDSCAPE ARCHITECTURE & DESIGN
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SCALE: 3/16" = 1'-0"

DATE: 27 MAR 2025 PROJECT #: 2220

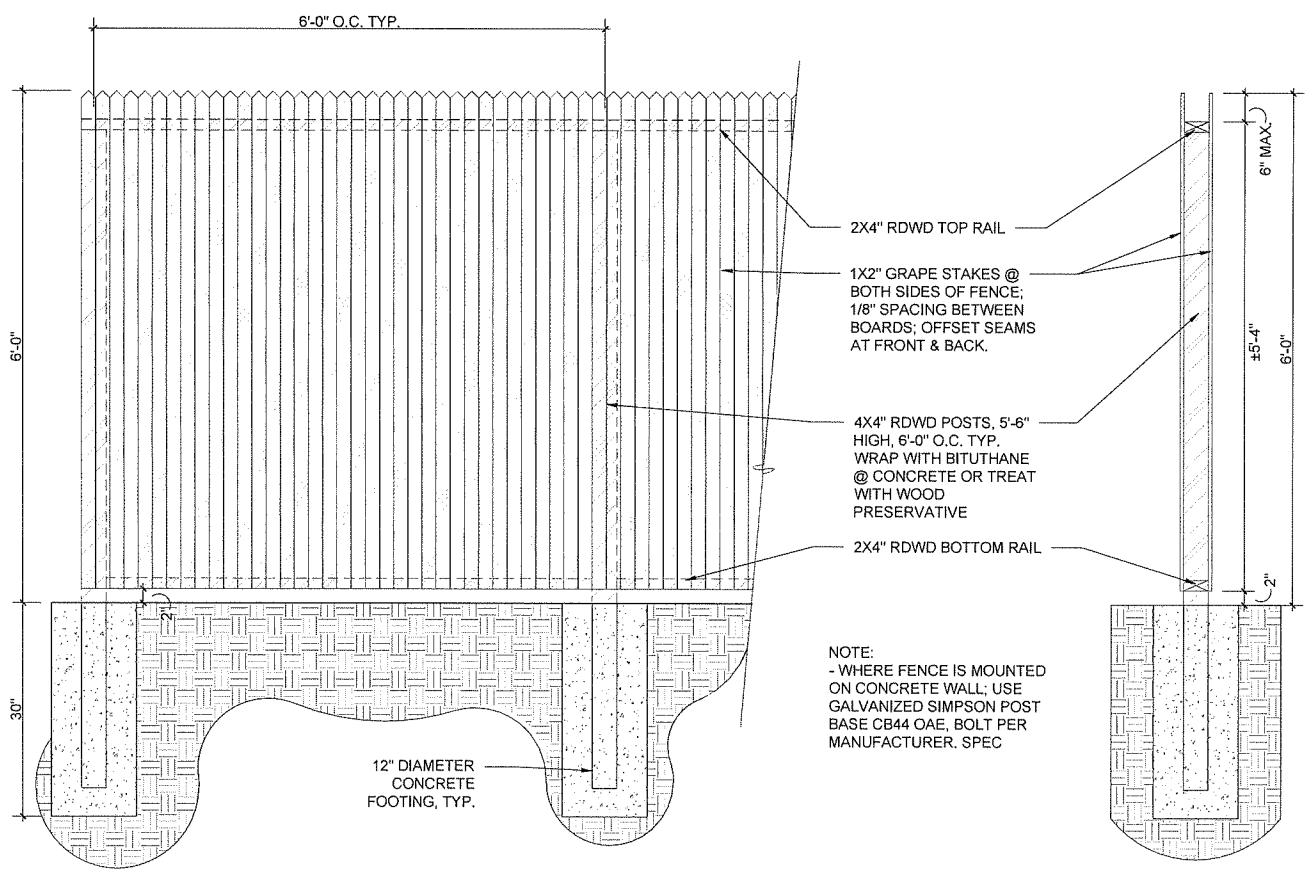
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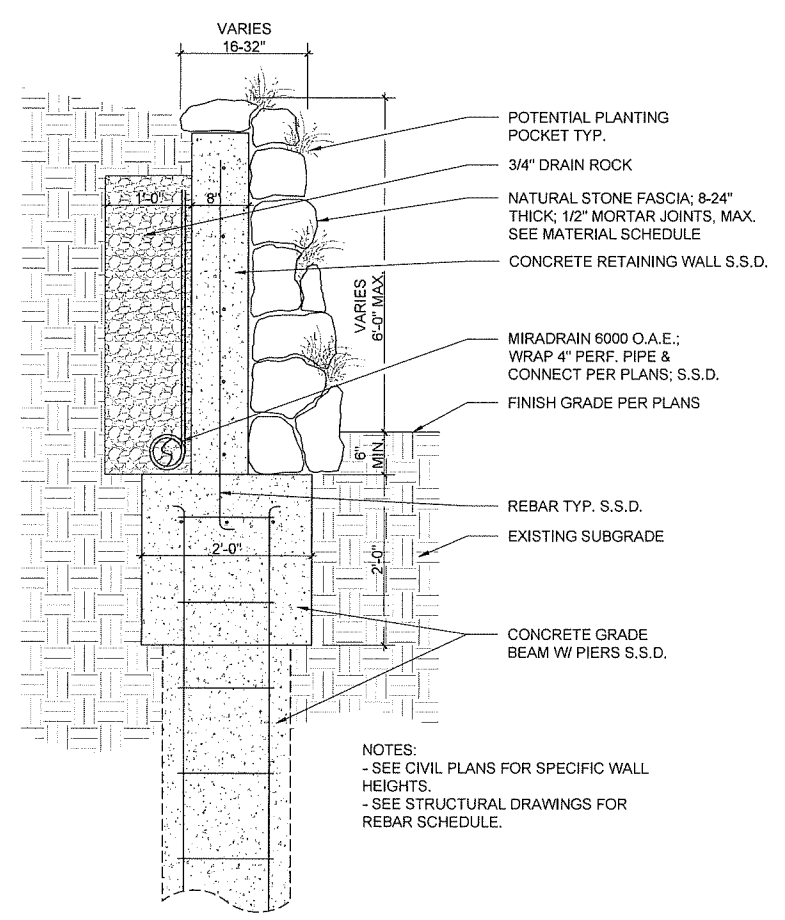
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LIGHTING PLAN

7 NOV 2025 - PERMIT SET - NOT FOR CONSTRUCTION

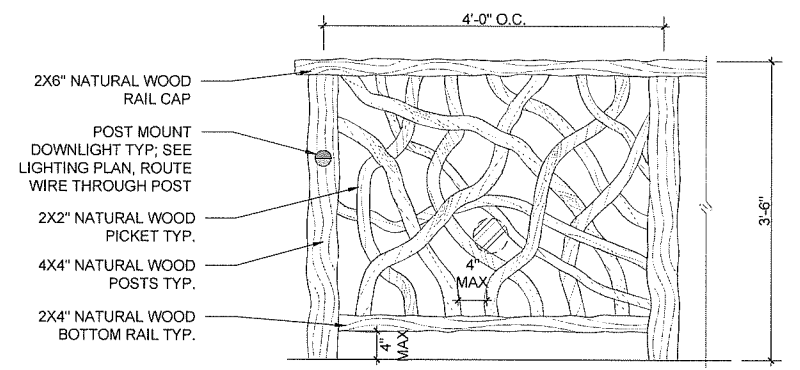
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03.27.2025



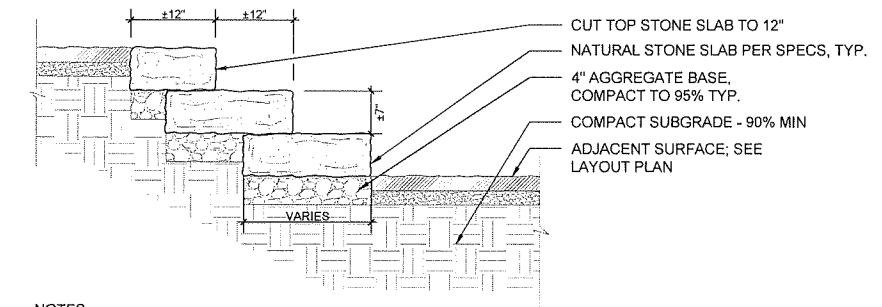
6 WOOD FENCE
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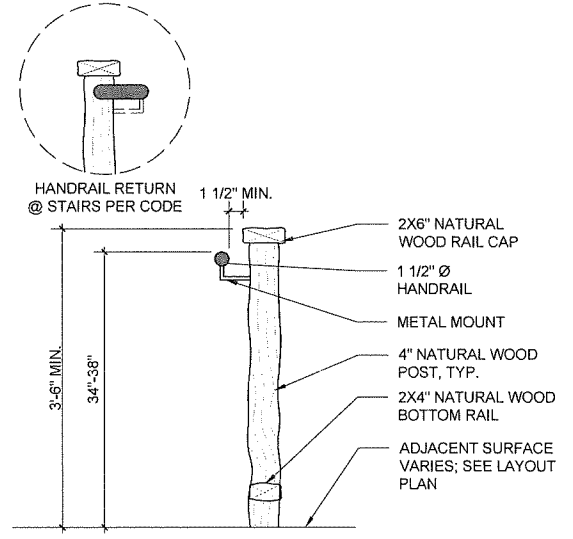
3 STONE RETAINING WALL TYP.
SCALE: 1" = 1'-0"



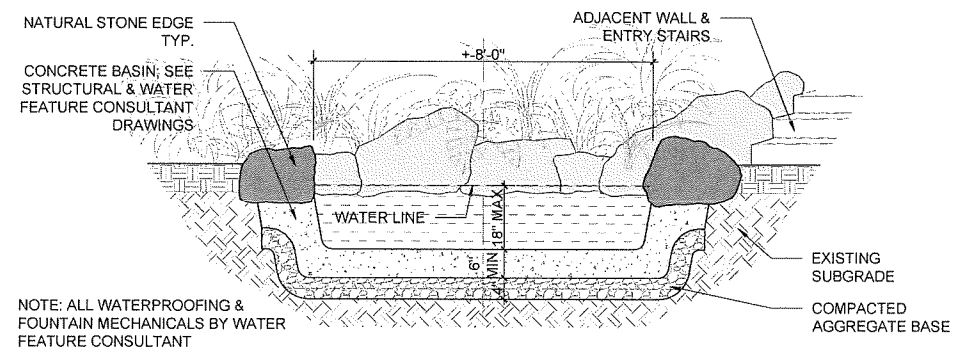
5 WOOD BARRIER RAILING
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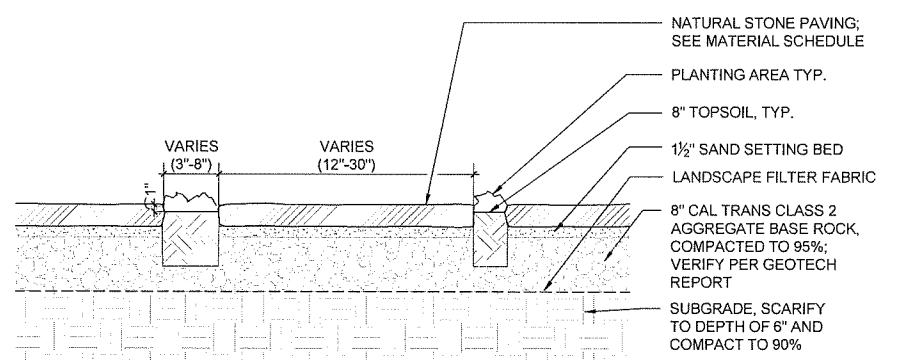
2 STONE SLAB STEPS TYP.
SCALE: 1" = 1'-0"



7 STAIR HANDRAIL ATTACHMENT
SCALE: 1" = 1'-0"



4 WATER FEATURE
SCALE: 1/2" = 1'-0"



1 STONE PAVING WITH PLANTING
SCALE: 1" = 1'-0"



Revisions

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DATE	27 MAR 2025
PROJECT #	2220
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L6.0
DETAILS