

ZONING & PROJECT DATA

AP# 075-162-02
Zoning: C-RSP-1
Lot Size: 23,404 sq. ft.
Latitude: 37° 56' 40.65" N
Longitude: 122° 33' 7.8048" W

	EXISTING	PROPOSED	REQUIRED
FAR	9.1%	14.8 %	30% Max.
FLOOR AREA IN SQUARE FEET:			
MAIN LEVEL FLOOR AREA	1,995	2,505	
LOWER LEVEL FLOOR AREA	0	947	
ADU MAIN FLOOR		479	
ADU LOWER FLOOR		321	
GARAGE	683	683	
GARAGE FLOOR AREA EXCLUSION (540)		(540)	
TOTAL FLOOR AREA	2,138	3,595	
TOTAL BUILDING AREA		2,505	

LOT COVERAGE - IMPERVIOUS:		
MAIN RESIDENCE	3,063	4,148
ADU	0	800
DRIVEWAY	2,137	0
PATIOS AND WALKWAYS	1,456	490
TOTAL	6,656	5,438

LOT COVERAGE - PERVIOUS		
DRIVEWAY AND PARKING	0	2,417

GRADING		
CUT	-	485 cu. yd.
FILL	-	100 cu. yd.
OFF HAUL	-	385 cu. yd.

PARKING	2 Resident	2 Resident + 2 Guest
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PRIMARY BUILDING DATA		
MAXIMUM BUILDING HEIGHT	17'-6"	26'-6"
SETBACK DISTANCE -		
FRONT SETBACK	15'	15'
LEFT SETBACK	23'	23'
RIGHT SETBACK	43'	43'
REAR SETBACK	104'	86'

EXTERIOR LIGHTING LEGEND
Wall Mount: BK Catskill-LED downlight BZW Bronze finish
Recessed Ceiling: BK Square Versa Star-Bronze LED, BZW Bronze finish

- finish
- Path Lights: BK Litestick, 18" above ground, Coned downlight, LED, BZW Bronze finish
 - Step Lights: BK louvered Brick Star, recessed in risers, LED, BZW Bronze finish
 - Pool Lights: LED Savi Blanco Pro (MBPRO-100)

LIGHTING NOTES:

1. See sheet 3 for fixture legend
2. See plans, sheets 2 & 3 for larger scale depiction of fixtures & locations

STORY POLE LEGEND

1. EL. 549.5' - 10.25' FROM GRADE
2. EL. 549.5' - 20.75' FROM GRADE
3. EL. 549.5' - 27.6' FROM GRADE
4. EL. 549.5' - 28.6' FROM GRADE
5. EL. 549.5' - 10.25' FROM GRADE
6. EL. 550.8' - 21.9' FROM GRADE
7. EL. 551.5' - 12.2' FROM GRADE
8. EL. 551.5' - 12.2' FROM GRADE
9. EL. 551.5' - 12.2' FROM GRADE
10. EL. 554.26' - 15.0' FROM GRADE
11. EL. 554.26' - 15.0' FROM GRADE
12. EL. 554.26' - 15.0' FROM GRADE
13. EL. 554.26' - 15.0' FROM GRADE
14. EL. 555.0' - 15.75' FROM GRADE

Existing Main Floor Area	1,998	ADU	
Main Floor Area Addition	507	MAIN FLOOR	479 sq. ft.
Lower Floor Area Addition	947	LOWER FLOOR	321 sq. ft.
Floor Area	3,445 sq. ft.		
Existing Garage	683		
Garage Exclusion (540)			
TOTAL FLOOR AREA	3,595 sq. ft.		

PROJECT DESCRIPTION

To remodel the existing 1,995 sq. ft. residence at 129 Crown Road, 94904, A.P. #075-162-02, with additions of 1,340 square feet, and add an 800 sq. ft. ADU.

OWNER

Ryan Busalacchi
129 Crown Road
Kentfield, CA. 94904
(415) 939-0777
email: busalacchi@icloud.com

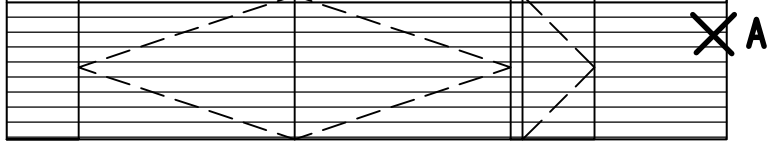
ARCHITECT OF RECORD

Steve Wisenbaker AIA
300 Tamal Plaza, #200
Corte Madera, CA
94925

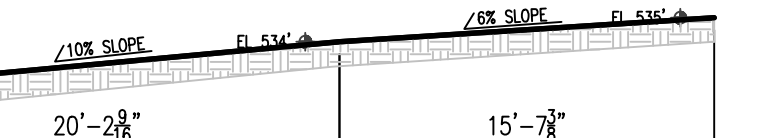
INDEX TO DRAWINGS

1. Site Plan, Project Information
2. Main Level Plan
3. Ground Level Plan
4. Elevations
5. Sections
6. ADU Plans, Section, Elevations
7. Landscape and Exterior Lighting Plan
- D Demolition Diagram
- C1 Partial Topographic Survey
- C2 Preliminary Grading and Drainage Plan
- C3 Preliminary Utility Plan
- AX-101 Existing Lower Floor
- AX-102 Existing Main Floor
- AX-201 Existing Elevations
- AX-202 Existing Elevations

30' FRONT SETBACK LINE



VEHICULAR AND MAN GATE



DRIVEWAY CROSS SECTION

TREE REMOVAL SCHEDULE

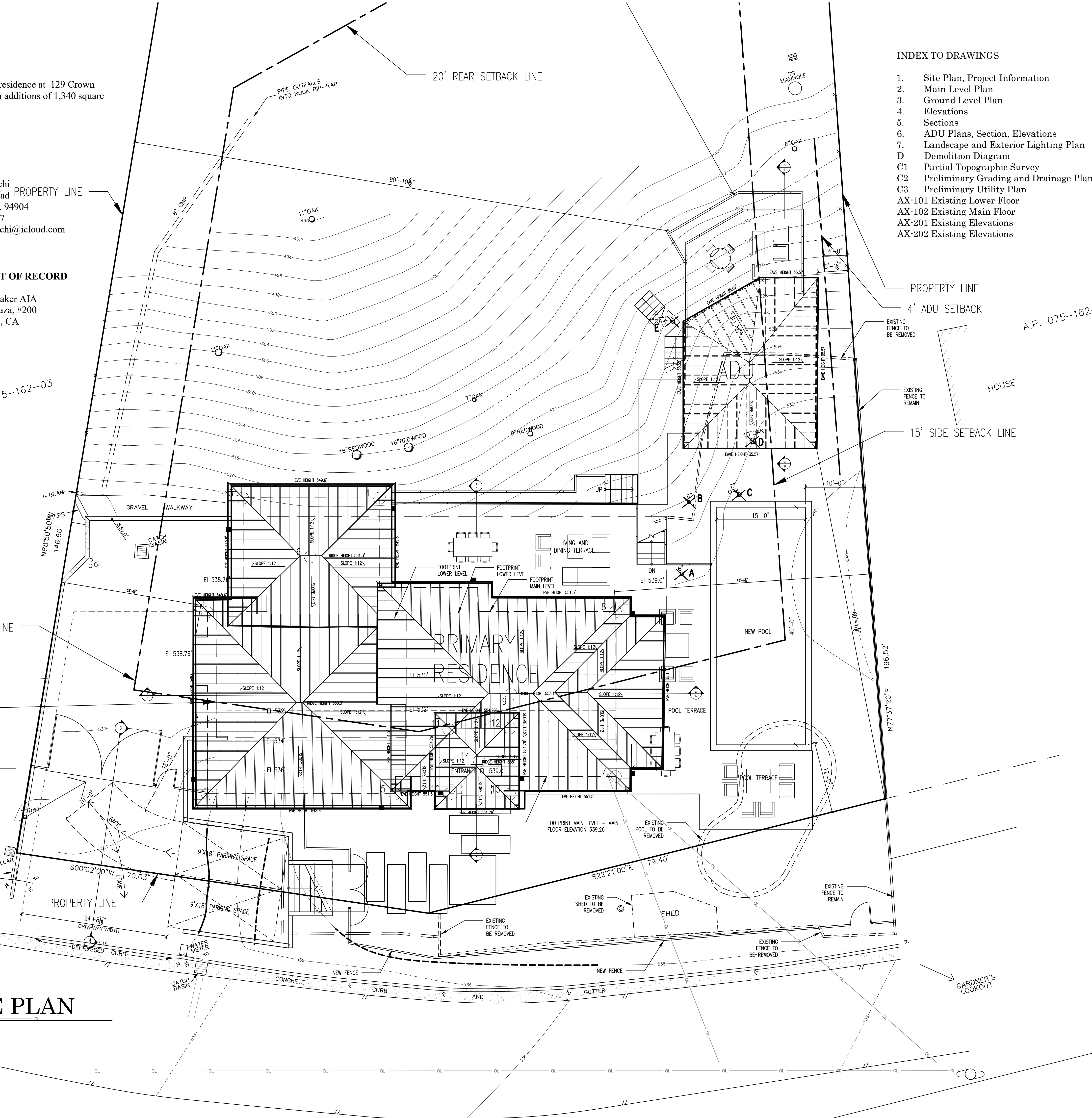
- A - 6" Oak
- B - 6" Oak
- C - 7" Oak
- D - 10" Oak
- E - 8" Oak



TRUE NORTH

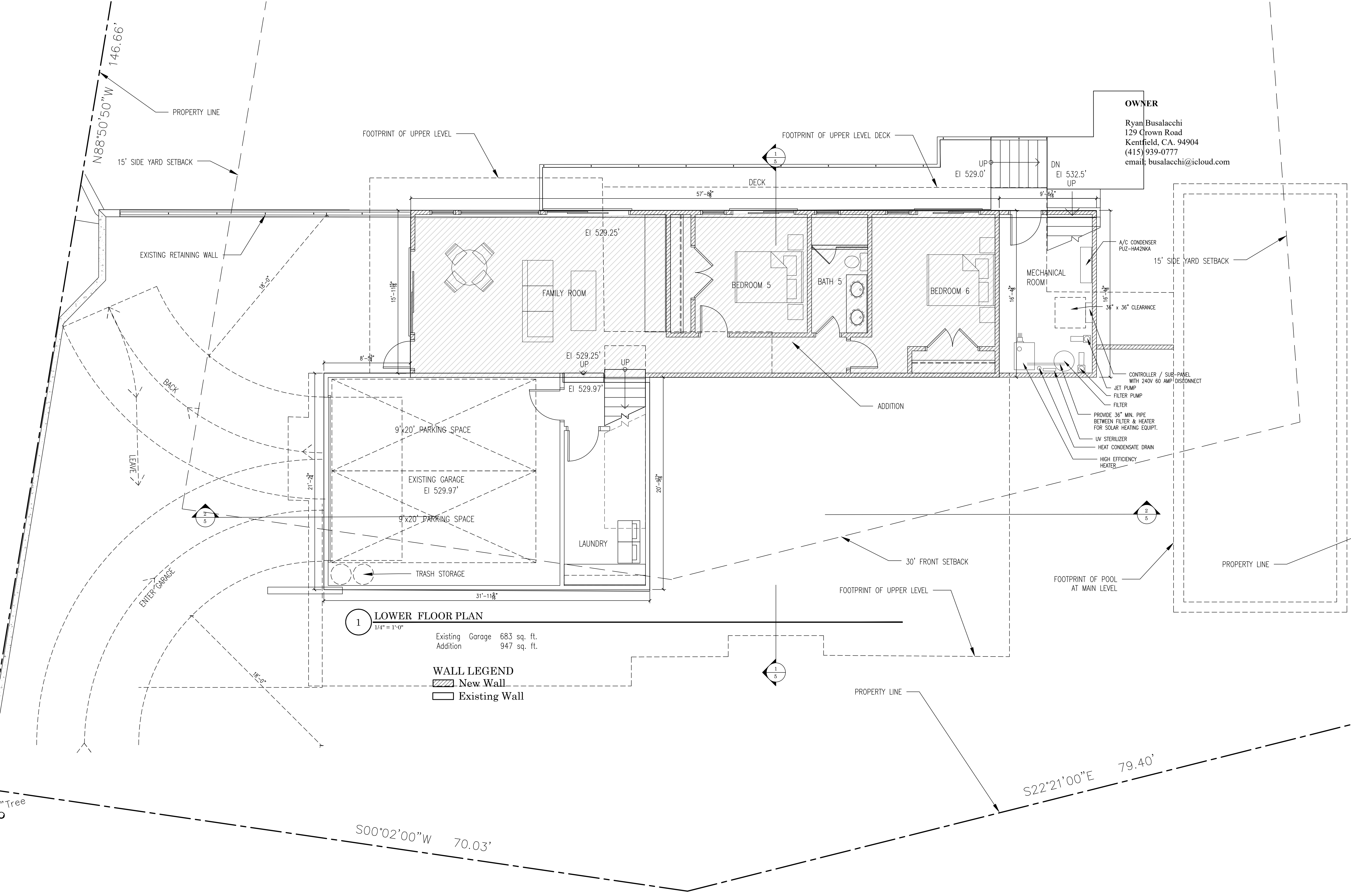
PROPOSED ROOF & SITE PLAN

1/8"= 1'-0" ■ DOWNSPOUT LOCATION



STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925
415-947-1020

BUSALACCHI RESIDENCE
129 CROWN ROAD, KENTFIELD, CA. 94904
January 5, 2026
Scale: 1/8" = 1'-0"
Feet: 0, 5, 10.6
North Arrow



1 LOWER FLOOR PLAN
1/4" = 1'-0"

Existing	Garage	683 sq. ft.
Addition		947 sq. ft.

WALL LEGEND
[Hatched Box] New Wall
[Outline Box] Existing Wall

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3

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
300 TAMM PLAZA SUITE 200 CORTE MARCA CA 94925
415-924-1020

January 5, 2026

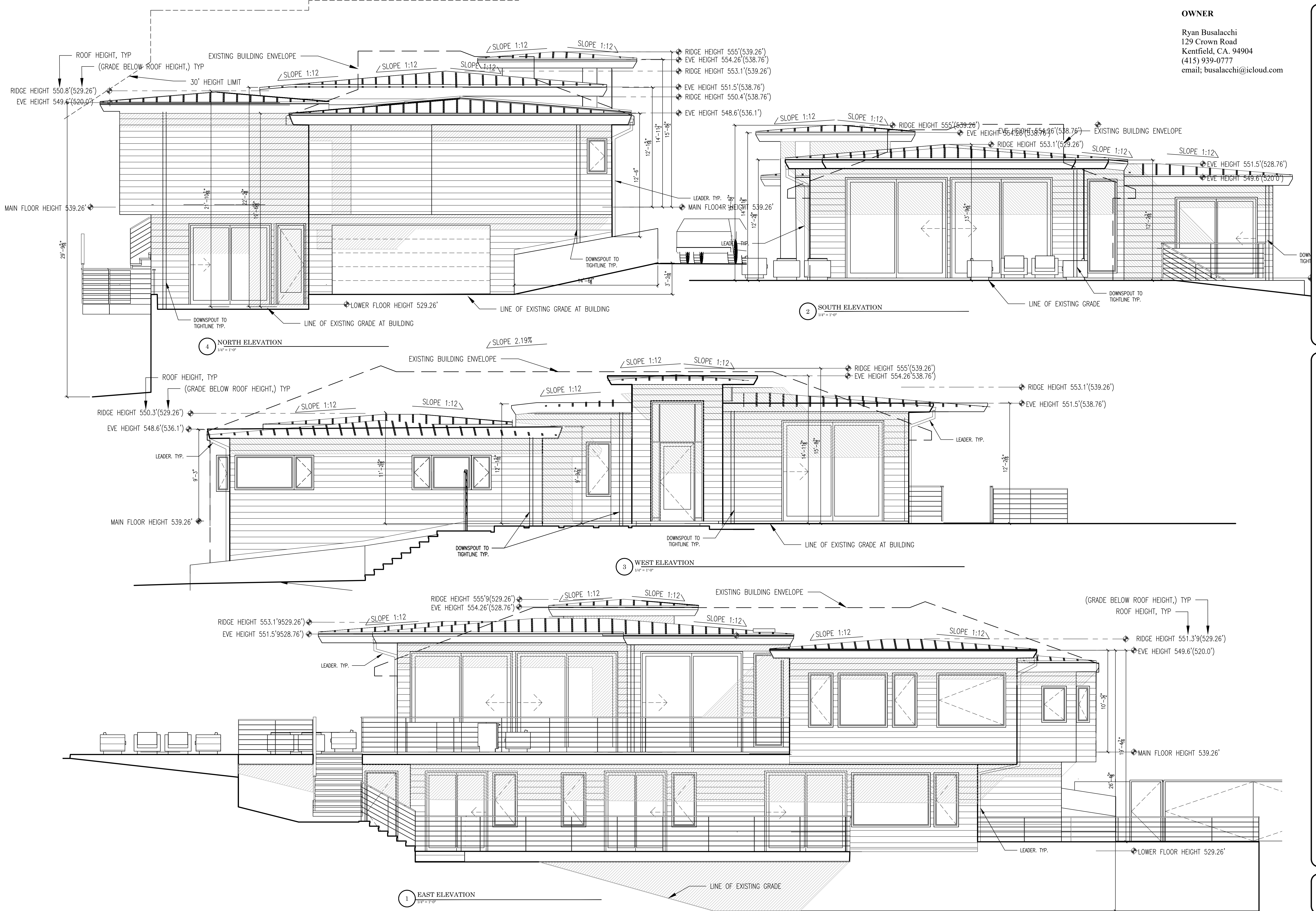
BUSALACCHI RESIDENCE
129 CROWN ROAD, KENTFIELD, CA. 94904

Scale
In
Feet
0 4 8 20

Refer
North

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15° 37' 20" E 196.52'



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300 TANK PLAZA SUITE 200 CORTE MARA CA 94025 415.924.1020

January 5, 2026

BUSALACCHI RESIDENCE
129 CROWN ROAD, KENTFIELD, CA.



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MATERIALS OF CONSTRUCTION

ROOF: Standing seam metal roofing (low slope)- see details. Taylor 0.032"
Aluminum:
Color to be "Charcoal Grey"

GUTTERS & DOWNSPOUTS: 16 oz. Copper; 6" Ogee shape gutters
with 3" rectangular downspouts

MISC FLASHING AND SHEET METAL: Where copper is not used,
paint to match surrounding material

WALLS: 1x6 (11/16"x5 1/2" actual) Boral "Nickel Gap Side" composite siding (paint)
with 5/64" square gap - match Dunne Edwards "Foil" DE 6360

WINDOWS & EXT. DOORS: Loewen aluminum clad wood, "Charcoal" color

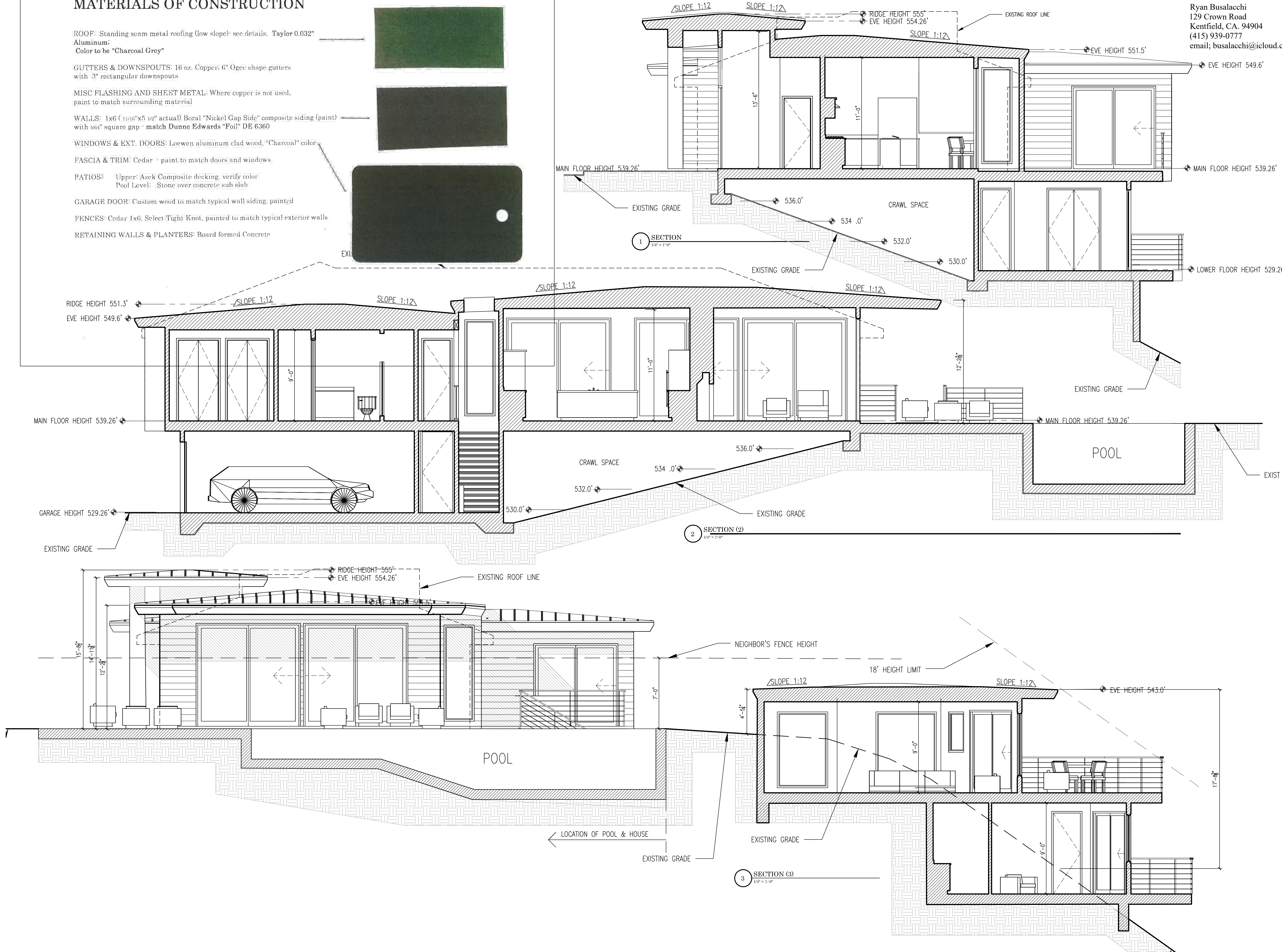
FASCIA & TRIM: Cedar - paint to match doors and windows

PATIOS: Upper: Azek Composite decking, verify color
Pool Level: Stone over concrete sub slab

GARAGE DOOR: Custom wood to match typical wall siding, painted

FENCES: Cedar 1x6, Select/Tight Knot, painted to match typical exterior walls

RETAINING WALLS & PLANTERS: Board formed Concrete



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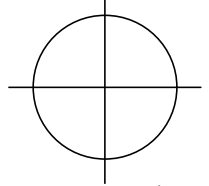
STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS

300 TAMAL PUEBLO SUITE 200 CORTI MADRA CA 94015 415.924.1020

January 2026

BUSALACCHI RESIDENCE
129 CROWN ROAD, KENTFIELD, CA.

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DECK ABOVE

DECK

90° 11" to PL

SPLIT SYSTEM CONDENSER UNDER DECK

8" OAK

14'-2 7/8"

EI 522.75 UP

12'-0 1/8"

520

BEDROOM

9'-0 8/16"

5'-11 1/2"

4'-0"

20'-2 3/8"

2'-6"

5'-10 1/8"

BATHROOM

19'-5 1/2"

1

ADU LOWER FLOOR PLAN

1/4" = 1'-0"

4' ADU SETBACK

PROPERTY LINE

16'-8"

10" OAK

ADU UPPER LEVEL FOOTPRINT

7" OAK

6"

10 PL

ADU MAIN FLOOR PLAN

1/4" = 1'-0"

MAIN FLOOR	479 sq. ft.
LOWER FLOOR	321 sq. ft.
Total	800 sq. ft.

EXISTING FENCE TO BE REMOVED

EXISTING FENCE TO REMAIN

18' HEIGHT LIMIT

PROPERTY LINE

4' ADU SETBACK

DN EI 532.5' UP

DN EI 532.75'

ADU LOWER FOOTPRINT

DECK

ROOF OVERHANG

LIVING

DINING

KITCHEN

Dimensions: 90'11" x 16' PL, 8'15", 3'6", 4'-0", 5'-0", 13'-11", 16'-9", 6'-0", 15'-3", 10'-4", 7'-8", 3'-11", 18'-0", 20'-2", 6'-2-3/8", 9'-10", 2'-6", 5'-11", 16'-9", 4'-0", 5'-0".

129 Crown Road, Kellfield, CA. 94904

LICENSED ARCHITECT
 STEVEN WILLE WISENBAKER
 No. C-8260
 REN. 08/31/2023
 STATE OF CALIFORNIA

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300 TAMAL PLAZA SUITE 200 CORTE MUJER CA 94925
415.924.1020



M

1

Landscape Notes;
3" of mulch to be added in all planting areas not within 5' of house footprint.
Non-combustible gravel will be used within 5' of house footprint per
recommendations from local and state fire agencies.

Lighting:

-  A Path Lighting B-K LIGHTING, LIGHTSTICK, C CAP
 B RECESSED DOWNCAN (CEILING)
 OWNER TO VERIFY ALL LOCATIONS
 C SURFACE MOUNTED FIXTURE (WALL)



BUSALACCHI RESIDENCE
129 CROWN ROAD, KENTFIELD, CA. 94904

129 CROWN ROAD, KENTFIELD, CA. 94904

[REDACTED]

[illegible]

Refer.	North
40	
16	
8	
0	

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January 5, 2026



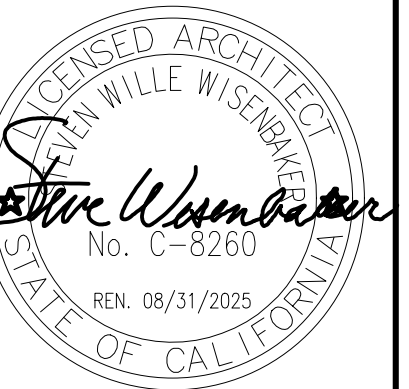
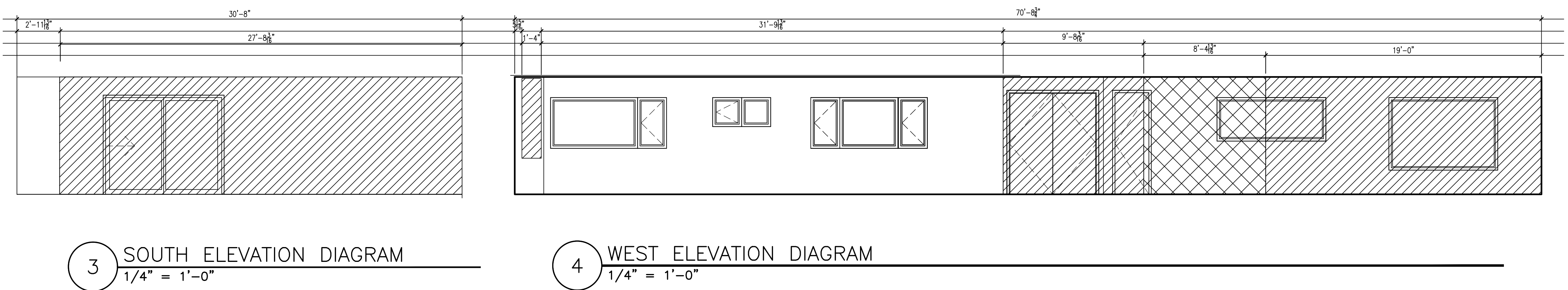
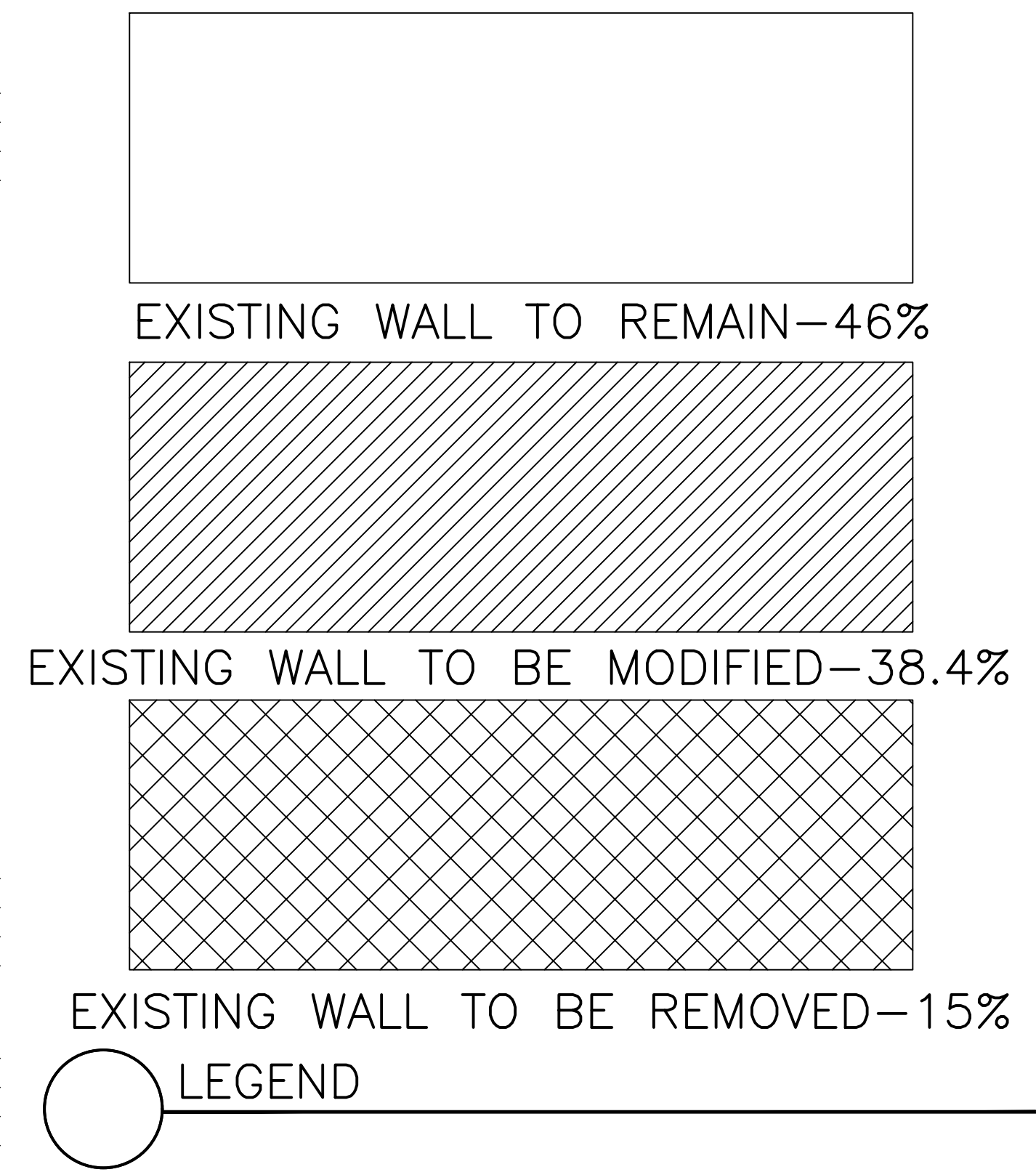
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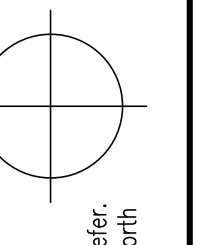
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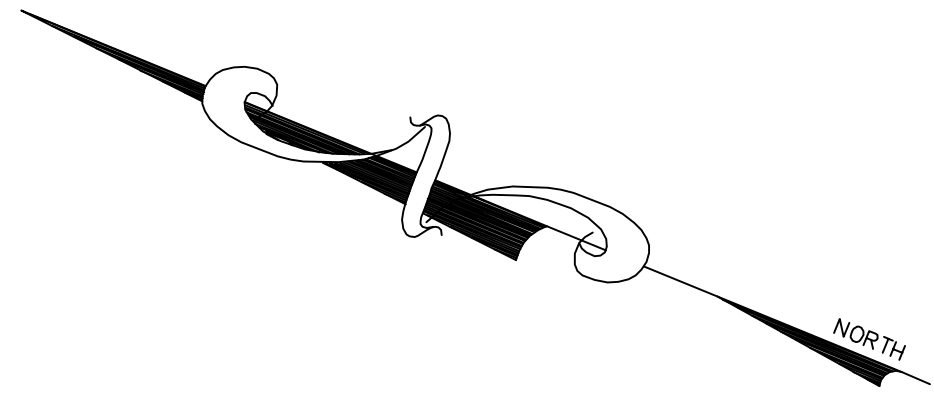
2



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0 4 8 20
Feet



A.P. 075-162-03

HOUSE

A.P. 075-162-08

HOUSE

HOUSE

- LEGEND
- TREE (AS INDICATED)
 - TOP OF WALL ELEVATION
 - BRICK PATIO
 - CONCRETE
 - GRADE BREAK
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF PAVEMENT
 - SURVEY CONTROL POINT
 - JOINT POLE
 - CONCRETE WALL
 - ROCK WALL
 - ROCK BORDER
 - ELECTRIC / GAS METER
 - OVERHEAD LINES
 - C.O. CLEAN-OUT
 - SEWER BOX
 - TC TOP OF CURB

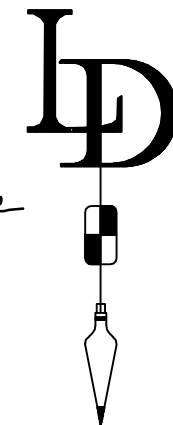
NOTES

- ONLY SIGNIFICANT TREES SHOWN
- EASEMENTS SHOWN ARE PER FIDELITY NATIONAL TITLE COMPANY, REPORT NO. FMNA-6012600047 DATED: JANUARY 7, 2026
- DATUM IS PER MARIN GIS MAPPING
- BOUNDARY IS LOT 427 PER 8 R.M. 91
- FIELD SURVEY PERFORMED IN AUGUST OF 2024

PARTIAL TOPOGRAPHIC SURVEY
129 CROWN ROAD / A.P. 075-162-02
KENTFIELD MARIN COUNTY CALIFORNIA

SCALE: 1" = 10'
DATE: 2/19/26
DRAWN BY: SHEET 1 OF 1
LAWRENCE P. DOYLE
LAND SURVEYOR/CIVIL ENGINEER
100 HELENS LANE MILL VALLEY, CA 94941 (415) 388-9585
DRAWING NO. 3096

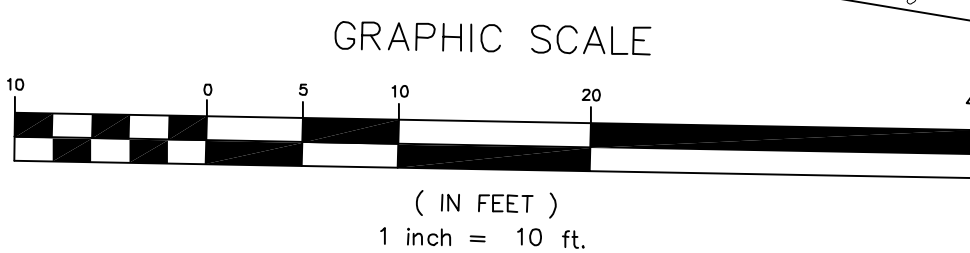
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GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



NOTE: 1. POOL DRAINAGE TO BE DISPERSED ONTO LANDSCAPE AREAS
2. ADU'S DRAINAGE BE DRAIN INTO A BIORETENTION PLANTER

NOTES

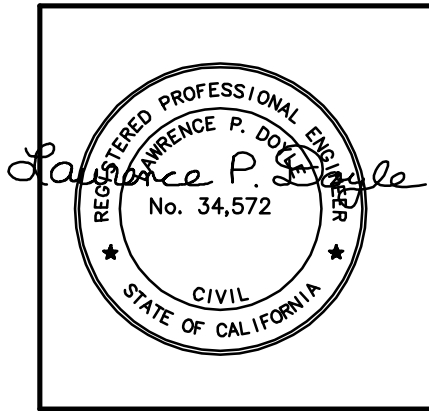
EARTH WORK
CUT 485
FILL 100

A. QUANTITIES ARE FOR PLANNING PURPOSE ONLY
B. THIS QUANTITIES ARE NOT FOR BIDDING PURPOSE
C. THESE QUANTITIES DO NOT INCLUDE FOLLOWING
1. DEMOLITION
2. FOUNDATIONS
3. CONSTRUCTION METHODS
D. OFF-HAUL SHALL BE TAKEN TO AN APPROVED SITE AND
DISPOSED OF IN A LEGAL MANNER

<u>LEGEND</u>		
C.B.	CATCH BASIN	— xxx —
B.M.	BENCH MARK	— (xxx) —
EP	EDGE OF PAVEMENT	▬
→	FLOW LINE	S.G.
Q	JOINT POLE	A.S.G.
M.H.	MANHOLE	⊙ P.D.
P.V.C.	POLYVINYL CHLORIDE PIPE	⊙
MON.	MONUMENT	— SB —
R.C.P.	REINFORCED CONCRETE PIPE	— SSB —
S.W.	SIDEWALK	xxx
T.C.	TOP OF CURB	+ xxx
T.S.	TURNING STRUCTURE	o
	STORM DRAIN (4" MIN.)	— — — —
A.B.	AGGREGATE BASE	— x —
A.C.	ASPHALT CONCRETE	— — — —
✕	TREE TO BE REMOVED	— W —
✕	FIRE HYDRANT	— JT —
⊞	ROOF DRAIN	— SS —
PA	PLANTER	(N)
SB	SPLASH BLOCK	(E)
UCS	MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS	(X)
L	LAWN	TW
⊗	EROSION CONTROL MEASURE	BW
∞	ROCK RIP-RAP	⊙
		POP-UP EMITTER
		VIF
		VIF IN FIELD
		EXISTING CONTOUR
		PROPOSED CONTOUR
		CATCH BASIN
		STEEL GRATE
		ATRIUM GRADE
		PATIO DRAIN
		CLEANOUT
		SUBDRAIN (PERFORATED)
		SUBDRAIN (SOLID)
		SLOPE (MIN. 2%)
		SPOT ELEVATION
		TREE (AS INDICATED)
		GRADE BREAK
		FENCE LINE
		EDGE OF PAVEMENT
		WATER LINE
		JOINT TRENCH
		SANITARY SEWER
		NEW
		EXISTING
		HEIGHT OF WALL
		TOP OF WALL ELEVATION
		BOTTOM OF WALL
		POP-UP EMITTER
		VIF
		VIF IN FIELD

LAND SURVEYOR
CIVIL ENGINEER
100 HELENS LANE
MILL VALLEY, CA 9494
415 388 9585 F 415 388 0412

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129 CROWN ROAD
KENTFIELD CALIFORNIA

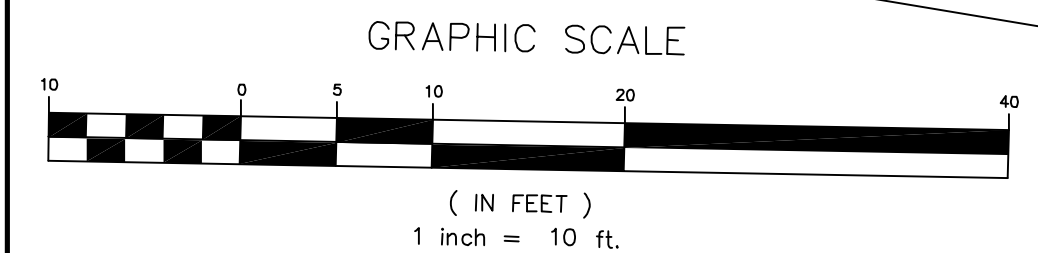
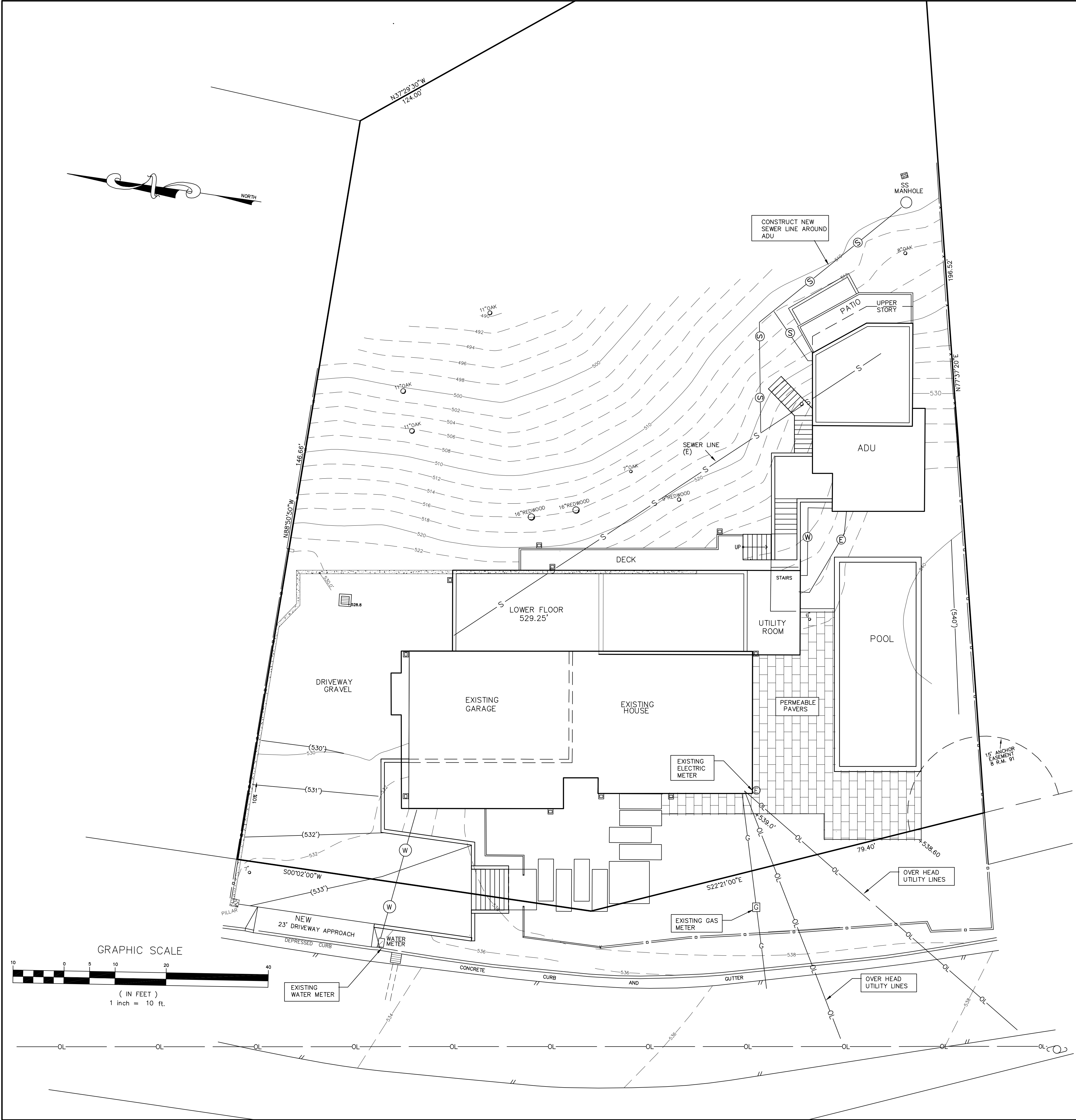
PRELIMINARY
GRADING &
DRAINAGE
PLAN

DRAWN BY: CPD

DATE:	ISSUE:
<u>3/30/26</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

C-2

DRAWING NUMBER: 3090



<u>LEGEND</u>			
C.B.	CATCH BASIN	— xxx —	EXISTING CONTOUR
B.M.	BENCH MARK	— (xxx) —	PROPOSED CONTOUR
EP	EDGE OF PAVEMENT	■	AREA DRAIN (UNLESS SPECIFIED)
→	FLOW LINE	S.G.	STEEL GRATE
⊕	JOINT POLE	A.G. ⊕	ATRIUM GRATE
M.H.	MANHOLE	⊕ P.D.	PATIO DRAIN
P.V.C.	POLYVINYL CHLORIDE PIPE	⊙	CLEANOUT
MON.	MONUMENT	— SB —	SUBDRAIN (PERFORATED)
R.C.P.	REINFORCED CONCRETE PIPE	— SSB —	SUBDRAIN (SOLID)
S.W.	SIDEWALK	xxx →	SLOPE (MIN. 2%)
T.C.	TOP OF CURB	+ xxx	SPOT ELEVATION
T.S.	TURNING STRUCTURE	○	TREE (AS INDICATED)
STORM DRAIN (4" MIN.)		— — —	GRADE BREAK
A.B.	AGGREGATE BASE	— x —	WIRE FENCE LINE
A.C.	ASPHALT CONCRETE	///	EDGE OF PAVEMENT
✕	TREE TO BE REMOVED	— W —	WATER LINE
⊕	FIRE HYDRANT	— JT —	JOINT TRENCH
⊕	ROOF DRAIN	— SS —	SANITARY SEWER
PA	PLANTER	(N)	NEW
SB	SPLASH BLOCK	(E)	EXISTING
UCS	MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS	(X)	HEIGHT OF WALL
L	LAWN	TW	TOP OF WALL ELEVATION
⊕	EROSION CONTROL MEASURE	BW	BOTTOM OF WALL
∞	ROCK RIP-RAP	⊙	POP-UP EMITTER
		VIF	VIF IN FIELD
<u>UTILITY LINES</u>			
EXISTING		NEW	
— S —	SEWER LINE	— (S) —	
— OL —	OVER HEAD UTILITY LINE	— (W) —	
— W —	WATER LINE	— (E) —	
— G —	ELECTRIC LINE		
	GAS LINE		

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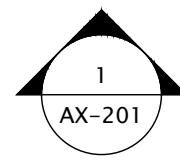
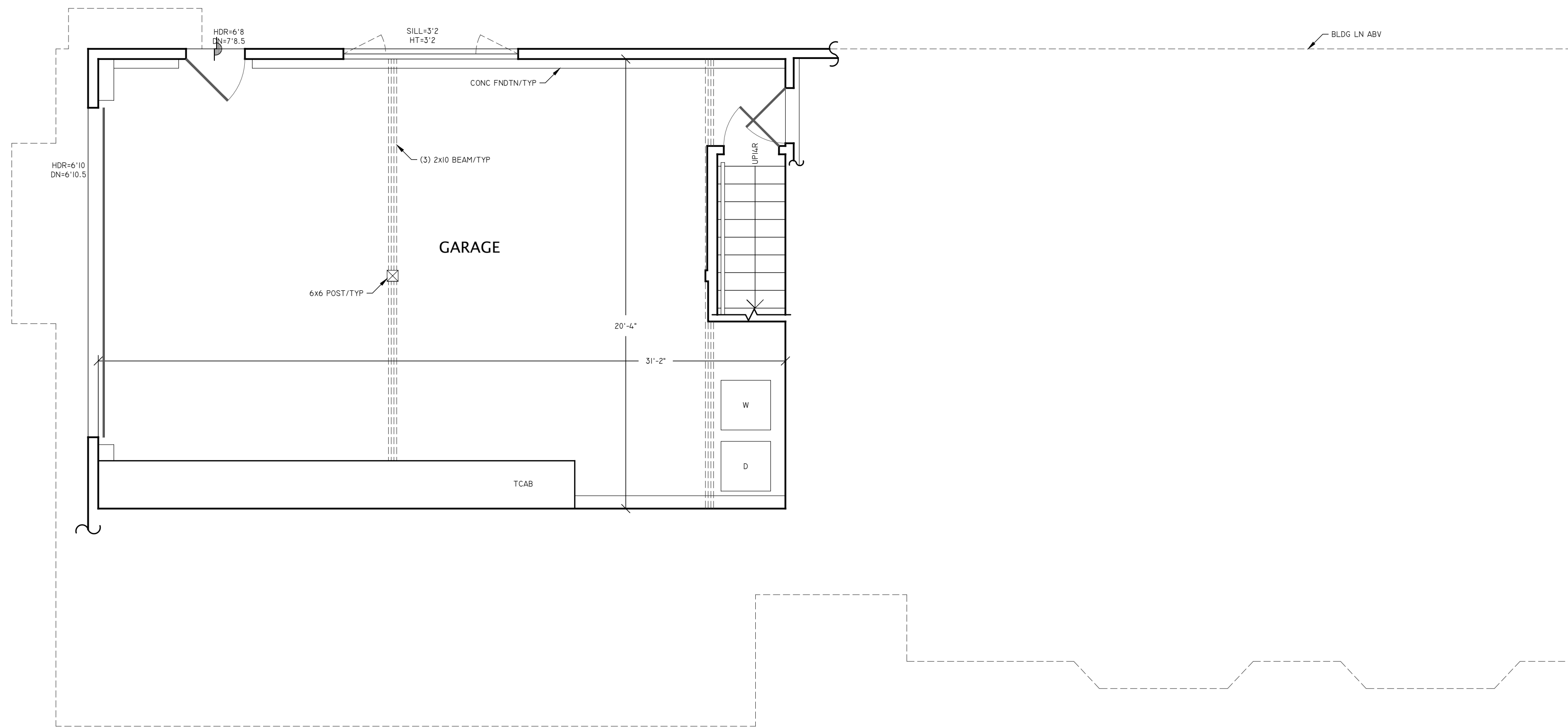
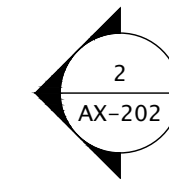
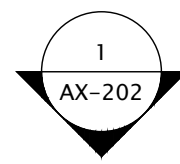
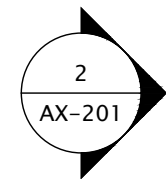
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129 CROWN ROAD
KENTFIELD CALIFORNIA

PRELIMINARY
UTILITY
PLAN

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DATE: 3/30/26
ISSUE: _____

C-3
DRAWING NUMBER: 3096



1 EXISTING GARAGE LEVEL FLOOR PLAN
657 SQFT GROSS MEASURED AREA

129 CROWN ROAD
KENTFIELD, CA 94904

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EXTERIOR ELEMENTS HAVE BEEN MEASURED AND DRAFTED FOR REFERENCE ONLY - THIS IS NOT A SURVEY.

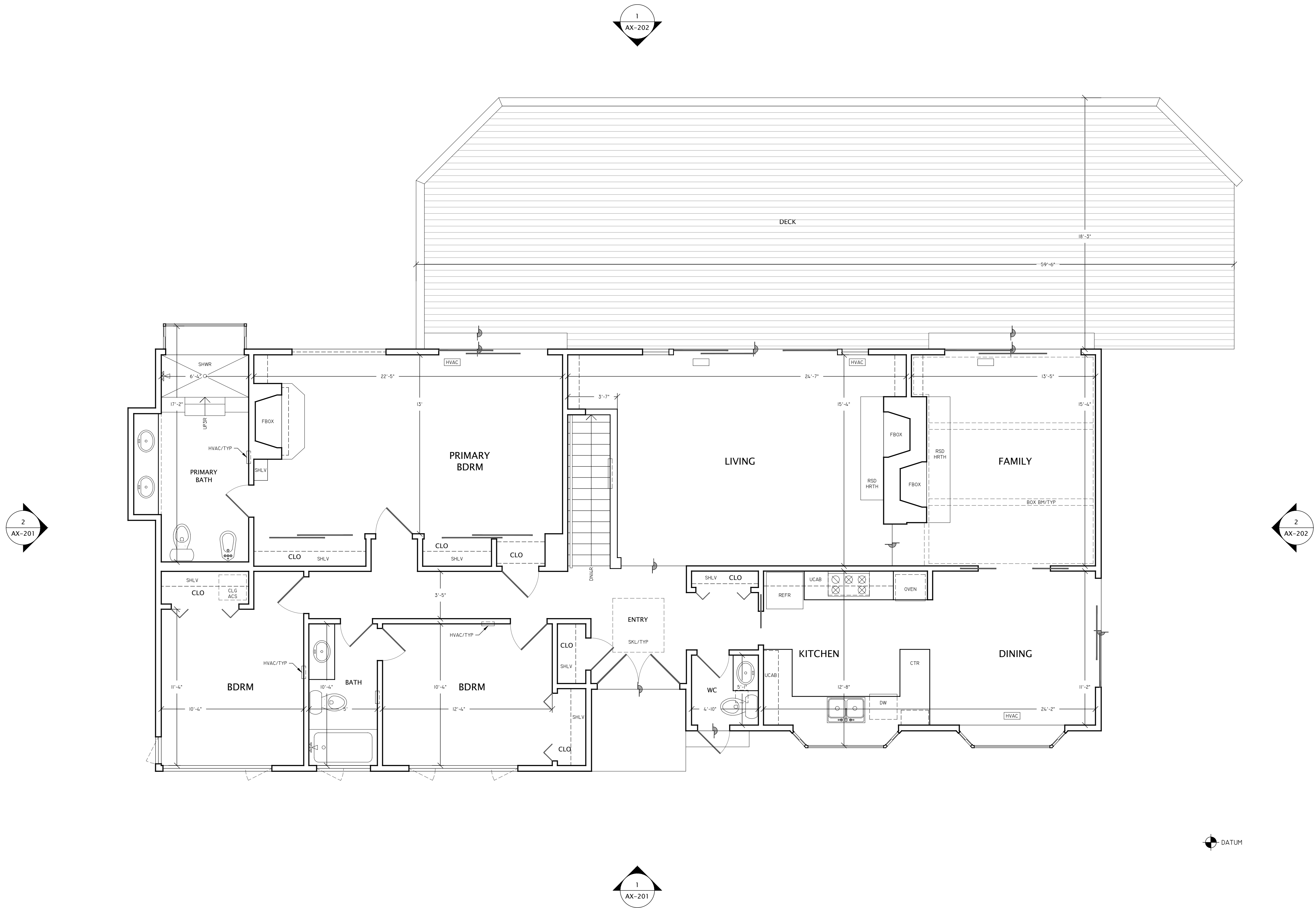


EXISTING FLOOR PLAN

REF: 129sf_kentfield_sfd rev0
REV: 0
DRAWN BY: RJ
AUDITED BY: TL

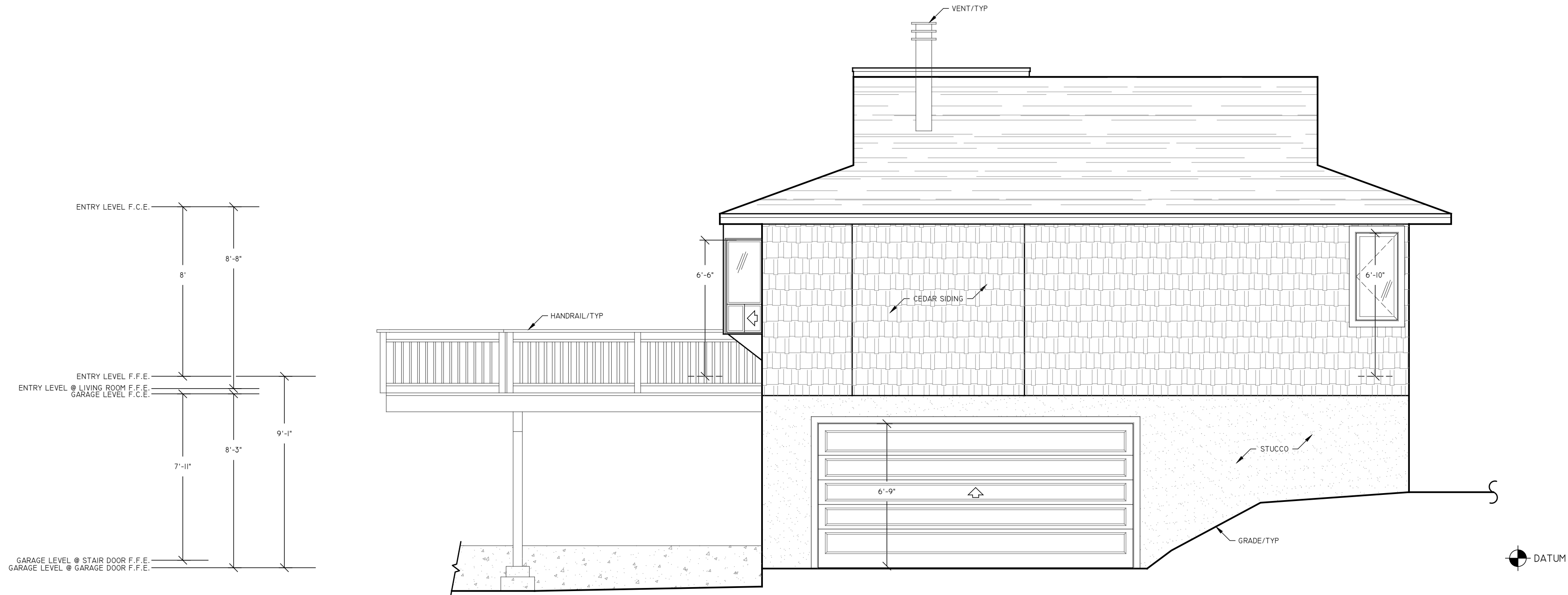
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SCALE: 1/4"=1'-0"
FIELD MEASURE:
03/29/2024

AX-101
1 OF 4

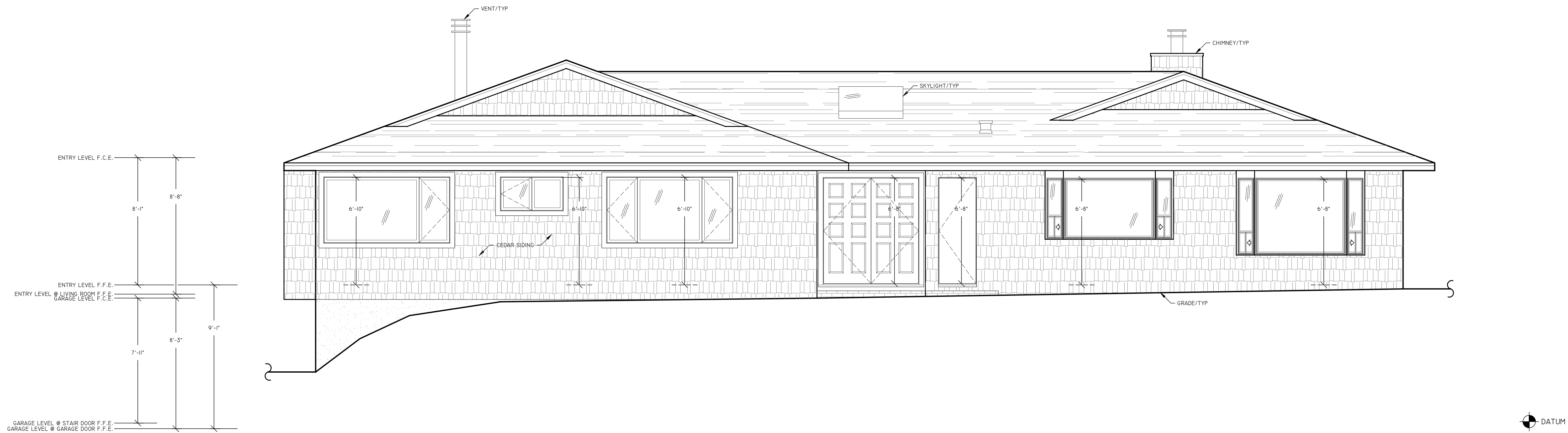


1 EXISTING ENTRY LEVEL FLOOR PLAN
2,023 SQFT GROSS MEASURED AREA
1,099 SQFT MEASURED EXTERIOR SURFACES

129 CROWN ROAD KENTFIELD, CA 94904		
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 FOR THE RECORD SINCE 1990 1-800-318-0099 ASBUILTSERVICES.COM		
EXISTING FLOOR PLAN		
REF: 129sf_kentfield_sfd rev0 REV: 0 DRAWN BY: RJ AUDITED BY: TL	SHEET SIZE: 24x36 SCALE: 1/4"=1'-0" FIELD MEASURE: 03/29/2024	AX-102 2 OF 4



② EXISTING NORTH ELEVATION



① EXISTING WEST ELEVATION

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KENTFIELD, CA 94904

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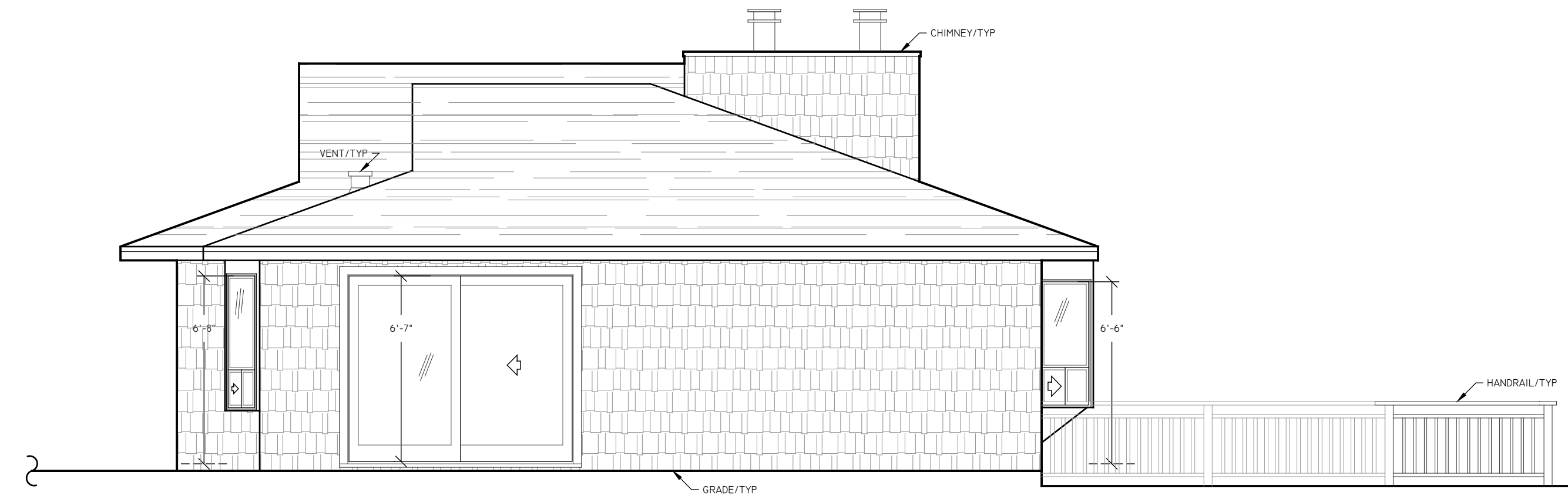
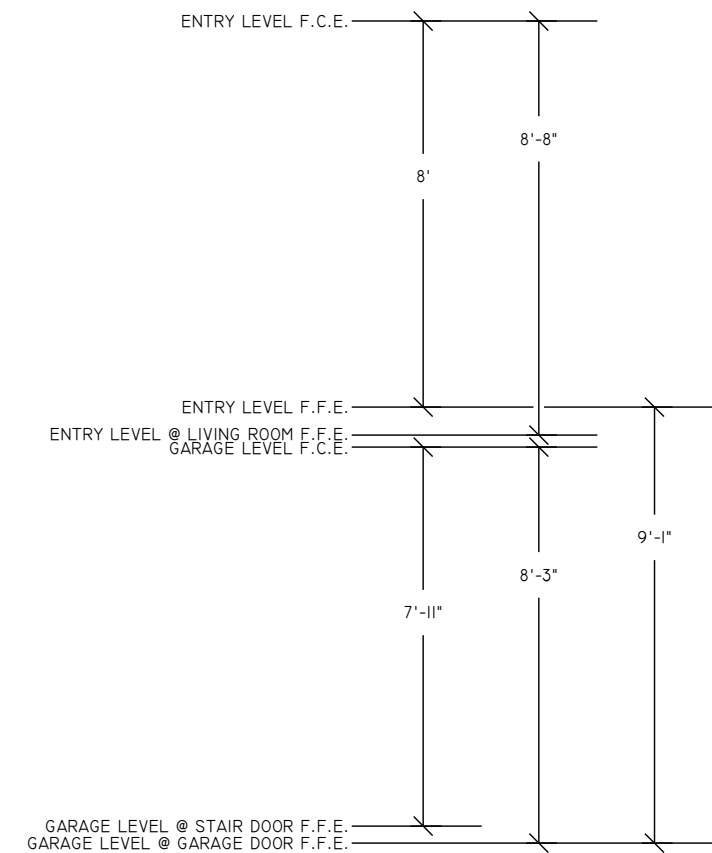
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SERVICES
FOR THE RECORD SINCE 1990
1-800-318-0099 ASBUILTSERVICES.COM

EXISTING EXTERIOR ELEVATIONS

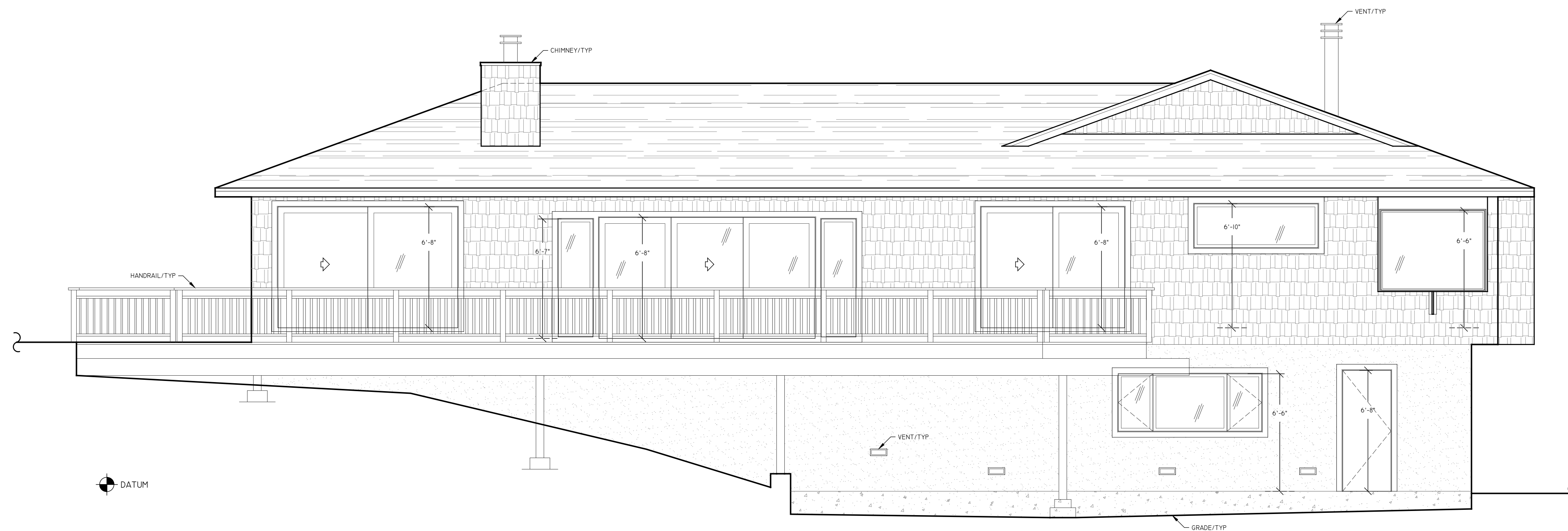
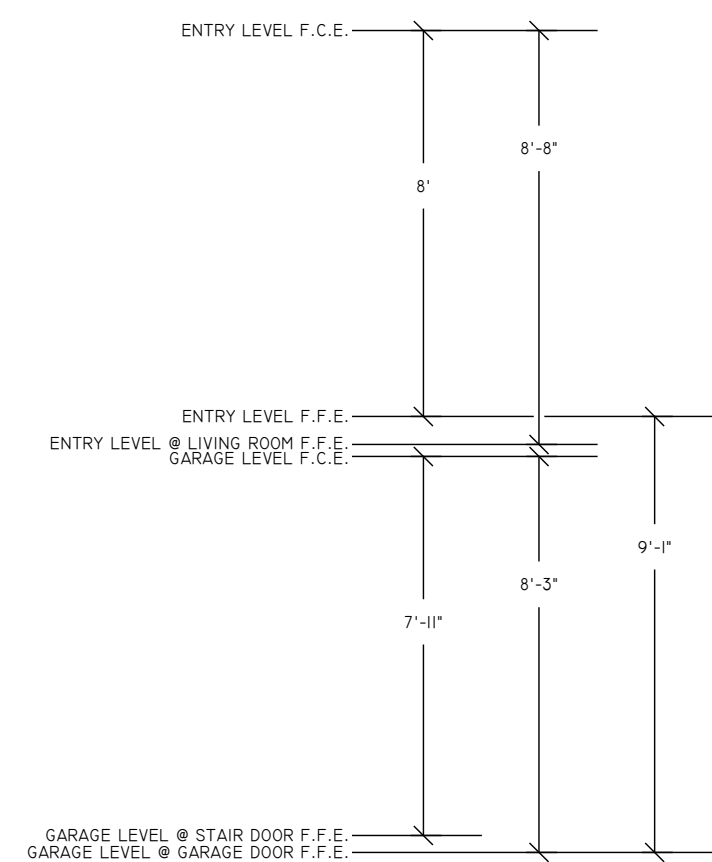
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REV: 0
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2 EXISTING SOUTH ELEVATION



1 EXISTING EAST ELEVATION

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KENTFIELD, CA 94904

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EXISTING EXTERIOR ELEVATIONS

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REV: 0
DRAWN BY: RJ
AUDITED BY: TL

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FIELD MEASURE:
03/29/2024

AX-202
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