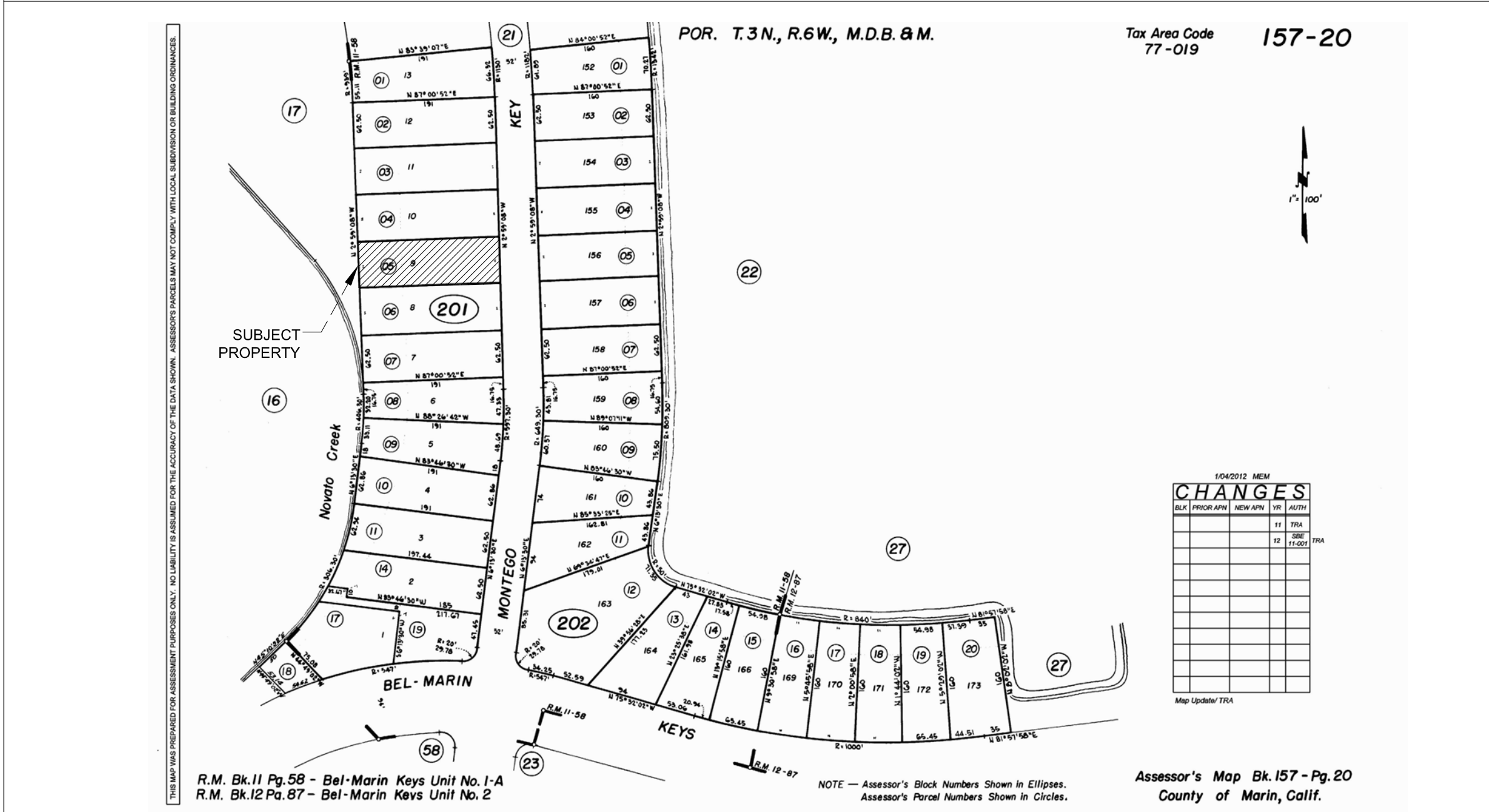
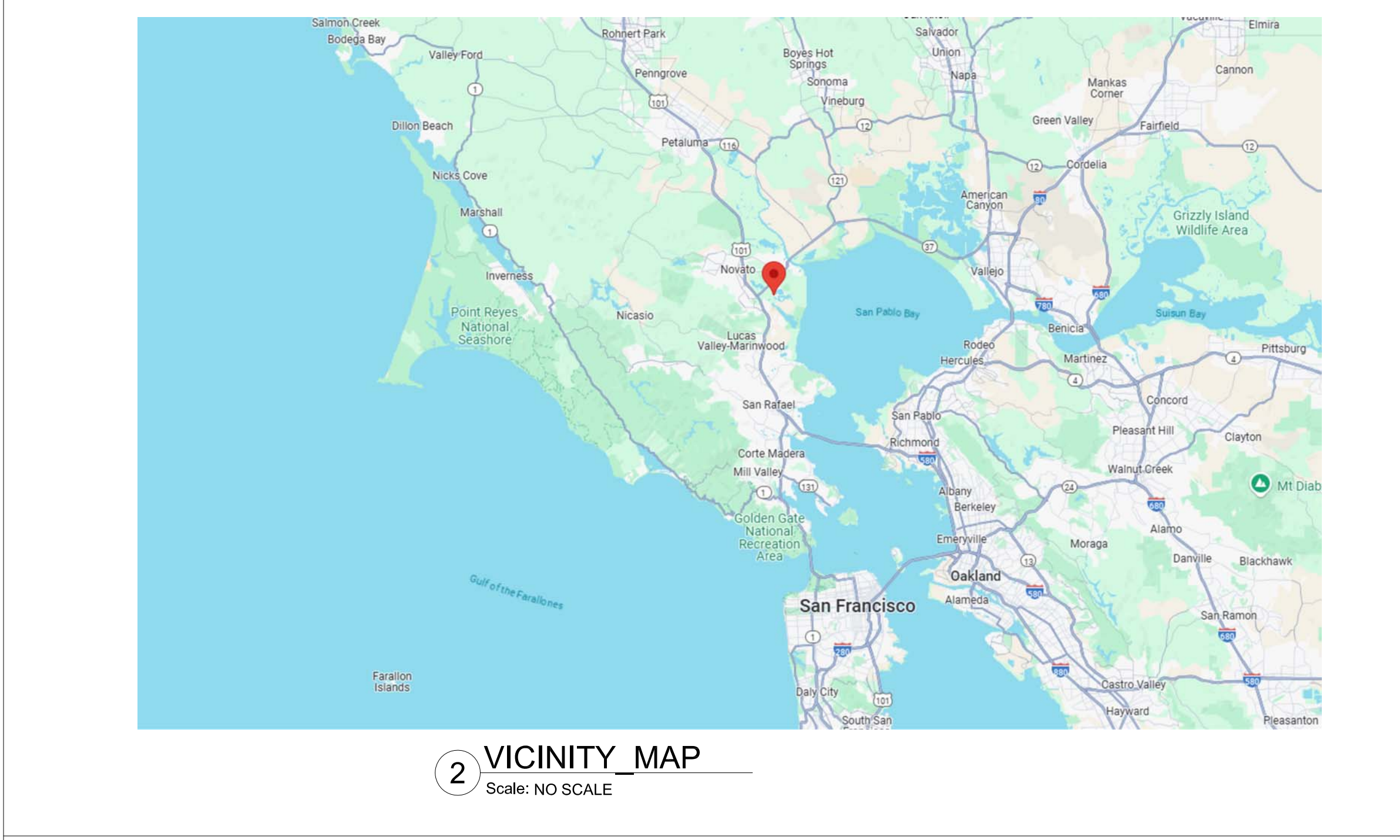


33 MONTEGO KEY KITCHEN REMODEL AND LIVING ROOM ADDITION



1 PARCEL MAP
Scale: NO SCALE



2 VICINITY_MAP
Scale: NO SCALE

Abbreviations

[illegible]

General Notes

1. NEWLY INSTALLED PLUMBING FIXTURES SHALL BE WATER-CONSERVING IN COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING & PLUMBING CODES.
2. NEW WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
3. NEW SHOWERHEADS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE.
4. NEW LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE.
5. NEW KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE.
6. EXISTING PLUMBING FIXTURES NOT INCLUDED IN THE SCOPE OF
7. NEW WORK SHALL LIKEWISE BE REPLACED (IF NECESSARY) IN ORDER TO COMPLY AS FOLLOWS: WATER CLOSETS AT 1.6 GALLONS PER FLUSH, SHOWERHEADS AT 2.5 GALLONS PER MINUTE, AND LAVATORY AND KITCHEN FAUCETS AT 2.2 GALLONS PER MINUTE.
8. WHEN A PERMIT IS REQUIRED, SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH SLEEPING ROOM AT THE HIGHEST POINT OF THE CEILING, CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA, AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SEE THE INSTALLATION INSTRUCTIONS FOR OTHER LOCATIONS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN BUILDINGS EQUIPPED WITH GAS APPLIANCES AND SHALL BE INSTALLED OUTSIDE SLEEPING AREAS AND ON EACH FLOOR LEVEL, INCLUDING BASEMENTS. SMOKE AND CO DETECTORS ARE REQUIRED TO BE SUPPLIED BY 110V POWER IF THE BUILDING HAS ACCESSIBLE UNDERFLOOR AND/OR ATTIC SPACES. IF POSSIBLE, MULTIPLE 110V ALARMS SHALL BE INTERCONNECTED SUCH THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE DWELLING UNIT. BATTERY-POWERED UNITS ARE ALLOWED IN SOME CIRCUMSTANCES.
9. WHEN A PERMITTED PROJECT IS A NEW BUILDING OR A STRUCTURAL REMODEL OF A BUILDING WHICH IS SERVED BY NATURAL OR PROPANE GAS, OR IS A PLUMBING OR MECHANICAL PERMIT FOR THE INSTALLATION OR ALTERATION OF A GAS LINE FOR THE INSTALLATION OR RELOCATION OF A GAS APPLIANCE OR ANY NEW GAS PIPING, A SEISMIC GAS SHUT-OFF VALVE (OR EXCESS FLOW VALVES) LISTED BY THE STATE OF CALIFORNIA SHALL BE INSTALLED TO PROTECT THE BUILDING AT THE POINT THE GAS PIPING ENTERS THE BUILDING PRIOR TO FINAL.
10. ALL NEW/REPLACEMENT EXTERIOR EGRESS DOORWAYS SHALL BE PROVIDED WITH LEVEL LANDINGS ON BOTH SIDES OF EACH DOORWAY AND WITH THRESHOLDS WHICH DO NOT EXCEED 1 1/2" IN HEIGHT FOR OUT-SWINGING DOORS, 7 3/4" FOR IN-SWINGING DOORS. OTHER EXTERIOR DOORS MAY HAVE NO MORE THAN TWO STEPS UP TO AN IN-SWINGING DOOR WITH A MAXIMUM OF 7 3/4" HEIGHT IN VERTICAL RISE. OTHER OUT-SWINGING EXTERIOR DOORS MAY SWING OVER A LANDING WHICH IS A MAXIMUM OF 7 3/4" IN HEIGHT FROM THE TOP OF THE THRESHOLD TO THE TOP OF A LANDING. RESIDENTIAL LANDINGS MUST BE AT LEAST 36"X 36", OR THE WIDTH OF THE DOOR, WHICHEVER IS GREATER.
11. EXTERIOR DOORS & LANDINGS SHALL BE PROVIDED WITH AN EXTERIOR LIGHT SWITCHED FROM THE INSIDE. SUCH LIGHTS SHALL EITHER BE FLUORESCENT, LED OR CONTROLLED BY A MOTION SENSITIVE, DAYLIGHT SENSING DEVICE. (DOWNWARD SHINING MAY BE REQUIRED.)
12. DWELLINGS SHALL BE POSTED WITH VISIBLE ADDRESS NUMERALS WITH A MINIMUM OF 4" IN HEIGHT AND A 1/2" WIDE STROKE. CHECK WITH THE LOCAL FIRE AUTHORITY FOR FURTHER REQUIREMENTS.
13. ALL NEW RESIDENTIAL 125 VOLT, 15 AND 20 AMP CIRCUITS NOT REQUIRED TO BE G.F.C.I. PROTECTED MUST BE A.F.C.I. PROTECTED. (EXCEPTION: GARBAGE DISPOSALS AND OTHER MOTORS.) ALSO, ALL NEW 125 VOLT, 15 AND 20 AMP RATED RECEPTACLES MUST BE OF THE TAMPER-RESISTANT TYPE.
14. LED LIGHTING PROPOSED TO MEET THE HIGH-EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A) REQUIREMENTS OF THE ENERGY CODE MUST COMPLY WITH TABLE 150.0-A. ALL JA8 HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR.
15. ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR IN CLOTHES CLOSETS, LINEN CLOSETS OR STORAGE ROOMS WITH EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS WHICH ARE NOT READILY ACCESSIBLE.
16. WHEN MECHANICAL EQUIPMENT IS NEWLY INSTALLED IN AN ATTIC SPACE, PROVIDE A MIN. ROUGH-FRAMED 22"x 30" ATTIC ACCESS, OR AN ACCESS SIZED FOR THE LARGEST COMPONENT OF THE EQUIPMENT, WHICHEVER IS GREATER. ACCESS THROUGH CEILINGS SHALL HAVE A MIN. 30" OF HEADROOM. AN ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IF NOT LOCATED WITHIN 12" OF THE SERVICE SIDE OF AN APPLIANCE, A MIN. 24" WIDE WALKWAY SHALL FOR PROVIDED TO A 30"x 30" SERVICE PLATFORM. A PERMANENT 120V RECEPTACLE AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGE WAY. CRC 807.1 & CMC 304.4.1-4
17. RECESSED LIGHT FIXTURES IN THE BUILDING ENVELOPE SHALL BE IC AND AIRTIGHT LISTED.
18. ALL RECEPTACLES SERVING ALL COUNTERTOP SURFACES IN KITCHENS AND DINING ROOMS SHALL HAVE GFCI PROTECTION.
19. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTER RECEPTACLES IN THE KITCHEN, PANTRY, BREAKFAST NOOK, DINING ROOM, AND PASS-THROUGHS.
20. WHERE SEPARATE CIRCUITS FOR THE GARBAGE DISPOSAL AND THE DISHWASHER ARE TERMINATED IN THE SAME BOX, THE RECEPTACLES SHALL BE LABELED AS TO WHICH APPLIANCE THEY SERVE, AND THE CIRCUIT BREAKERS SHALL HAVE A HANDLE TIE AT THE SERVICE PANEL. NO OTHER RECEPTACLE SHALL BE INSTALLED IN THIS BOX. THE DISHWASHER PLUG TO BE GFCI PROTECTED.
21. ALL LIGHTING SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL JA8 HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR.
22. COUNTERTOP RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE. ONE RECEPTACLE IS REQUIRED FOR PENINSULA COUNTERS OF ANY LENGTH IN ADDITION TO ANY RECEPTACLES INSTALLED IN THE ADJOINING WALL SPACE. AT LEAST ONE RECEPTACLE IS REQUIRED FOR ISLAND COUNTERS.
23. COUNTERTOP RECEPTACLES SHALL NOT BE INSTALLED IN A FACE UP POSITION AND NOT MORE THAN 20" ABOVE NOR MORE THAN 12" BELOW THE COUNTERTOP SURFACE.
24. SPRAY HEADS ATTACHED TO HOSES MUST BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION.
25. DISHWASHERS SHALL BE CONNECTED WITH APPROVED AIR GAP DEVICES LOCATED ABOVE THE FLOOD LEVEL OF THE SINK. DISHWASHER CIRCUITS SHALL BE GFCI PROTECTED.
26. HOT WATER LINES FROM WATER HEATERS TO KITCHEN SINKS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH WHERE THEY ARE EXPOSED IN UNCONDITIONED SPACE. (MINIMUM INSULATION THICKNESS IS 1" FOR 1/2" AND 3/4" PIPE, AND 1 1/2" FOR 1" AND LARGER.
27. NEW BUILDINGS OR 'SUBSTANTIAL REMODELS' MUST BE PROVIDED WITH A RANGE HOOD CAPABLE OF 100 C.F.M. WHICH VENTS TO THE EXTERIOR OF THE BUILDING.
28. WHEN NEW GAS PIPING IS INSTALLED OR THE EXISTING SYSTEM IS ALTERED OR A NEW GAS APPLIANCE IS INSTALLED, A SEISMIC GAS SHUT-OFF VALVE SHALL BE INSTALLED.
29. ALL LIGHTING IN EACH BATHROOM SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL JA8 HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR. A MINIMUM OF ONE FIXTURE SHALL BE CONTROLLED BY A MANUAL-ON VACANCY SENSOR.
30. ALL OUTLETS SHALL BE GFCI PROTECTED. AN OUTLET IS REQUIRED WITHIN 3 FEET OF EACH BASIN LOCATION.
31. BATHROOM ELECTRICAL EQUIPMENT REQUIRES A DEDICATED 20 AMP CIRCUIT FOR EACH BATHROOM. EXCEPTION: A SINGLE 20 AMP DEDICATED CIRCUIT MAY SUPPLY POWER TO ALL OF THE BATHROOM GFCI RECEPTACLES WITHIN A DWELLING PROVIDED THE CIRCUIT IS SIZED FOR THE LOAD.
32. LIGHT FIXTURES IN SHOWER ENCLOSURES SHALL BE APPROVED FOR "WET LOCATION".
33. WATER CLOSETS REQUIRE A MINIMUM 15" OF CLEARANCE FROM THE CENTER LINE OF THE BOWL TO EACH SIDE, 24" OF CLEARANCE IN FRONT FROM THE FRONT EDGE OF THE BOWL AND HAVE MAXIMUM FLOW OF 1.28 GPM.
34. WINDOWS WITH THE BOTTOM EDGE WITHIN 60" OF A DRAIN INLET OR STANDING SURFACE IN A SHOWER ENCLOSURE, OR AT WINDOWS ADJACENT TO A BATHTUB SHALL BE TEMPERED.
35. ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. THE CURB MAY ENCR OACH ON THESE SIZE REQUIREMENTS. ALL SURFACES SHALL BE WATERPROOF UP TO 72" ABOVE THE DRAIN INLET. THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22" CLEAR OPENING. SHOWER DOORS SHALL NOT SWING IN. NO WOODEN WINDOWS ARE ALLOWED WITHIN A SHOWER ENCLOSURE. GLASS SHOWER DOORS AND PARTITIONS SHALL BE TEMPERED OR SAFETY GLASS, AND SHALL BE PROPERLY SUPPORTED ON ALL EDGES.
36. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENT OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY. (CPC 408.9)
37. SHOWERS, TUB-SHOWER COMBINATIONS AND BATHTUBS SHALL BE PROVIDED WITH CONTROL VALVES WHICH WILL PROVIDE ANTI-SCALD PROTECTION. SUCH VALVES SHALL BE OF THE PRESSURE BALANCING AND/OR THERMOSTATICALLY CONTROLLED TYPE. HOT WATER HEATER THERMOSTATS ARE NOT ALLOWED TO BE USED TO CONTROL TEMPERATURE FOR THIS PURPOSE.
38. HAND-HELD SHOWERHEADS ATTACHED TO FLEXIBLE HOSES MUST BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION IF THE HEAD CAN BE PLACED BELOW THE FLOOD LEVEL.
39. SEPARATELY SWITCHED MECHANICAL VENTILATION SHALL BE PROVIDED IN ALL BATHROOMS (MINIMUM OF 50 C.F.M.) VENTED TO THE EXTERIOR. VENTS SHALL TERMINATE NOT LESS THAN 3 FEET IN ANY DIRECTION FROM ANY OPENABLE WINDOW. EXCEPTION: HALF BATHS (A TOILET AND LAVATORY ONLY) DO NOT REQUIRE MECHANICAL VENTILATION IF THEY ARE PROVIDED WITH AN OPENABLE WINDOW OF SUFFICIENT SIZE.
40. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN.
41. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

Project Directory

OWNER: VIVAN LUONG
33 MONTEGO KEY
NOVATO CA. 94949
PH: 415-300-6339
GIMMESTYLE1@GMAIL.COM

DESIGNER: ANGEL MORALES
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NOVATO, CA. 94947
PH: 415-497-0768

STRUCTURAL DOUBLED ENGINEERING

ENGINEER: DONALD DAVID
72 OTIS STREET
SAN FRANCISCO, CA. 94103
PH: 415-551-5150

Drawing Index

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A0.0	VICINITY MAP / TOPO MAP
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	PROPOSED CONSTRAINTS MAP

A1.3 CONSTRUCTION MANAGEMENT PLAN
A2.0 PROPOSED FOUNDATION PLAN

- A2.1 EXISTING FLOOR PLANS
- A2.2 PROPOSED FLOOR PLANS
- A2.3 ENLARGED FLOOR PLAN
- A2.4 ENLARGED REFLECTED CEILING PLAN
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- A3.0 EXISTING ELEVATIONS
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- A3.3 PROPOSED ELEVATIONS
- A4.0 PROPOSED SECTION
- A5.0 INTERIOR ELEVATIONS
- A6.0 TITLE 24
- A6.1 TITLE 24

Project Description

REAR ADDITION AND KITCHEN REMODEL.
UPDATED HOT WATER HEATER AND NEW
200 AMP ELECTRICAL PANEL.

Applicable Codes

THE PROPOSED PROJECT IS DESIGNED TO CONFORM TO THE FOLLOWING APPLICABLE BUILDING CODES: 2022 CRC AND ALL LOCAL CODES AND ORDINANCES, 2022 CALIF. BUILDING CODE, CALIF. PLUMBING CODE, CALIF. MECHANICAL CODE, CALIF. ELECTRICAL CODE & CALIF. 2022 ENERGY CODE.

Designer
Angel Morales
1775 Indian Valley Rd.
Novato Ca. 94947
Ph. 415-497-0768

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

DRAWN BY: AM

DATE: 12/01/2025

APN # 157-201-05

TITLE SHEET
DRAWING INDEX

T-1

ArcGIS Web Map



DIRECTIONS TO PROPERTY:
BEL MARIN KEYS BLVD, LEFT ON
MONTEGO KEY, PROPERTY IS
LOCATED ON THE LEFT SIDE OF
THE STREET. 33 MONTEGO KEY,
NOVATO CA. 94949.

PLANS PREPARED BY:

Designer
Angel Morales
1775 Indian Valley Rd.
Novato Ca. 94947
Ph. 415-497-0768

PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

DRAWN BY: AM

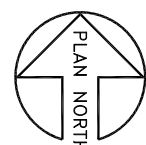
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APN # 157-201-05

VICINITY MAP
TOPO MAP

A0.0

1 VICINITY MAP
NO SCALE



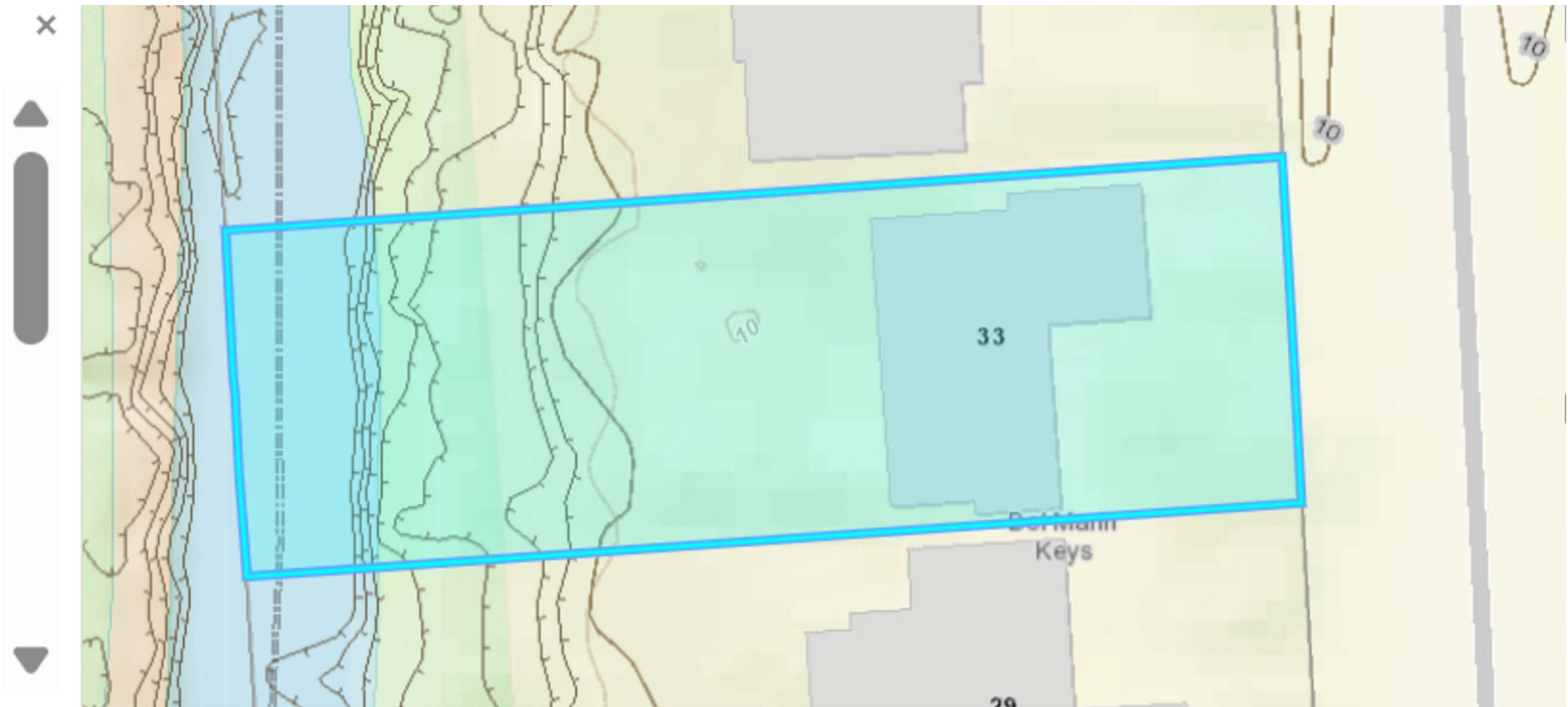
☆ Parcel 157-201-05

Parcel 157-201-05
Address: 33 MONTEGO KEY
Jurisdiction: Unincorporated
Zoning:
RSP-5.8,F1-BFC : Residential Single Family
Planned
Undesignated : Undesignated
Land Use: 11 -Single-Resid. - Improved
Units: 1

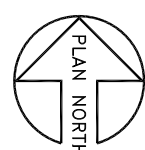
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Tax Rate Area: 077-019
[Street View](#)
[Run parcel report...](#)

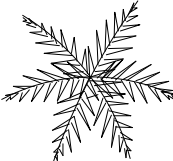
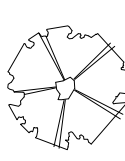
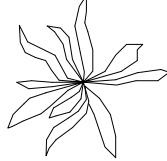
SupDistrict : [District 5 - Eric Lucan](#)
Tract:Block : 104300
WUI :

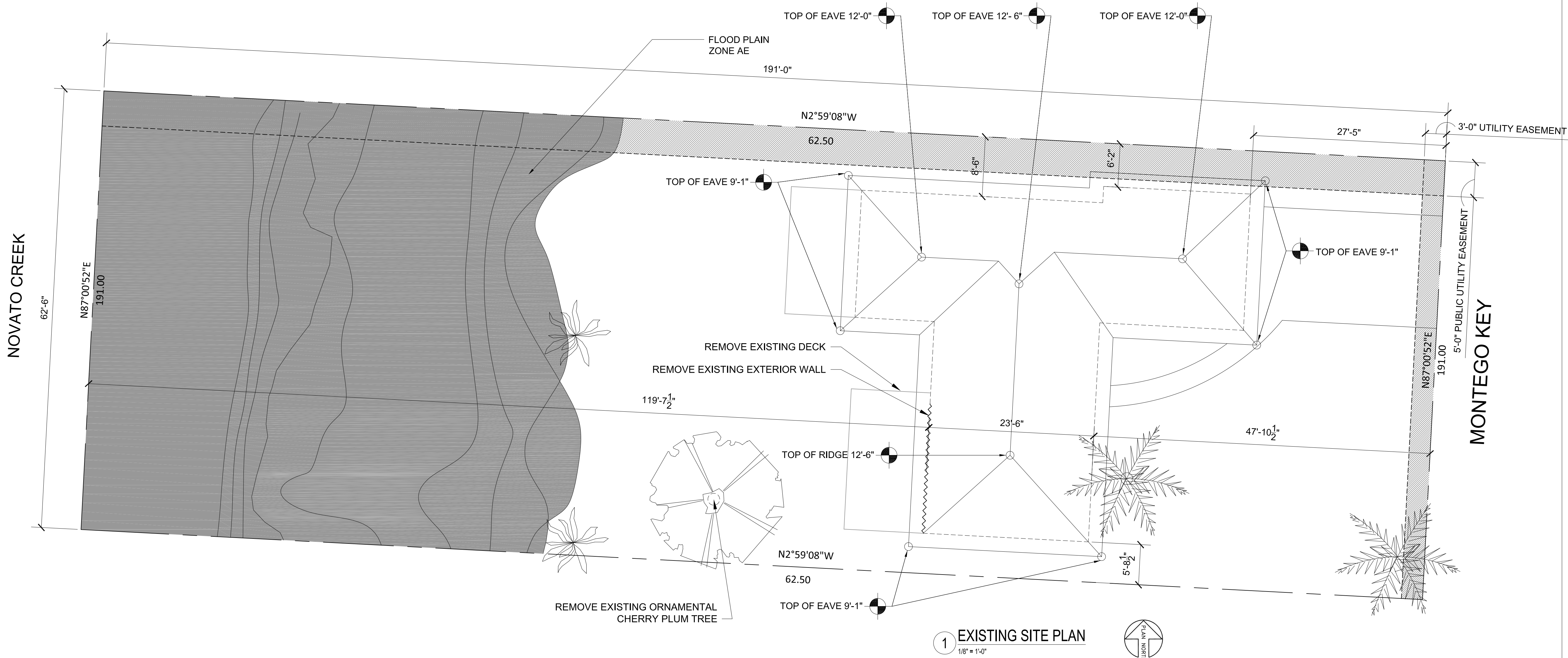
FloodZone : AE



2 TOPOGRAPHIC MAP
SCALE 1/16" = 1'-0"



LOT DEVELOPMENT DATA	EXISTING	PROPOSED	GENERAL NOTES
LOT AREA (SQUARE FEET)	10,890	10,890	
BUILDING AREA (SQUARE FEET)	1,717	2,095	
FLOOR AREA (SQUARE FEET)	1,244	1,594	1. ALL DIMENSIONS TO BE V.I.F. 2. CONTAIN AREA OF CONSTRUCTION BY HAY WATTLES OR OTHER METHOD OF CONTAINMENT TO PREVENT STORM RUNOFF OR OTHER CONSTRUCTION DEBRIS TO PREVENT CONTAMINATION OF NEIGHBORING PROPERTIES, STREETS AND STORM DRAINS. 3. ROOF SLOPE 3:12 TYPICAL
GARAGE (SQUARE FEET)	370	370	
AREA OF DISTURBANCE (SQUARE FEET)	0	378	
LOT COVERAGE - IMPERVIOUS (SQUARE FEET)	1,717	2,095	PROJECT INFORMATION
LOT COVERAGE - PERVIOUS (SQUARE FEET)	9,173	8,795	
GRADING - CUT (CUBIC YARDS)	0	0	
GRADING - FILL (CUBIC YARDS)	0	0	ASSESSOR'S PARCEL NO: 157-201-05 USE / OCCUPANCY: SFR / OWNER OCCUPIED ZONING: RSP-5.8-BFC TYPE OF CONSTRUCTION: VB
GRADING - OFF-HAUL (CUBIC YARDS)	0	0	
NUMBER OF PARKING SPACES	4	4	
PRIMARY BUILDING DATA	EXISTING	PROPOSED	TREE LEGEND
MAXIMUM BUILDING HEIGHT (FEET)	12'-6"	13'-9"	MEXICAN FAN PALM CHERRY PLUM TREE YUCCA
SETBACK DISTANCE - FRONT PROPERTY LINE (FEET)	27'-5"	27'-5"	
SETBACK DISTANCE - LEFT SIDE PROPERTY LINE (FEET)	5'-8 1/2"	5'-8 1/2"	
SETBACK DISTANCE - RIGHT SIDE PROPERTY LINE (FEET)	6'-2"	6'-2"	
SETBACK DISTANCE - REAR PROPERTY LINE (FEET)	119'-7 1/2"	99'-2"	



PLANS PREPARED BY:

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PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

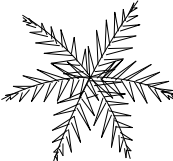
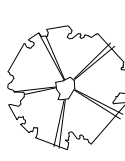
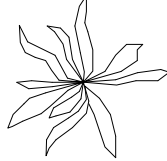
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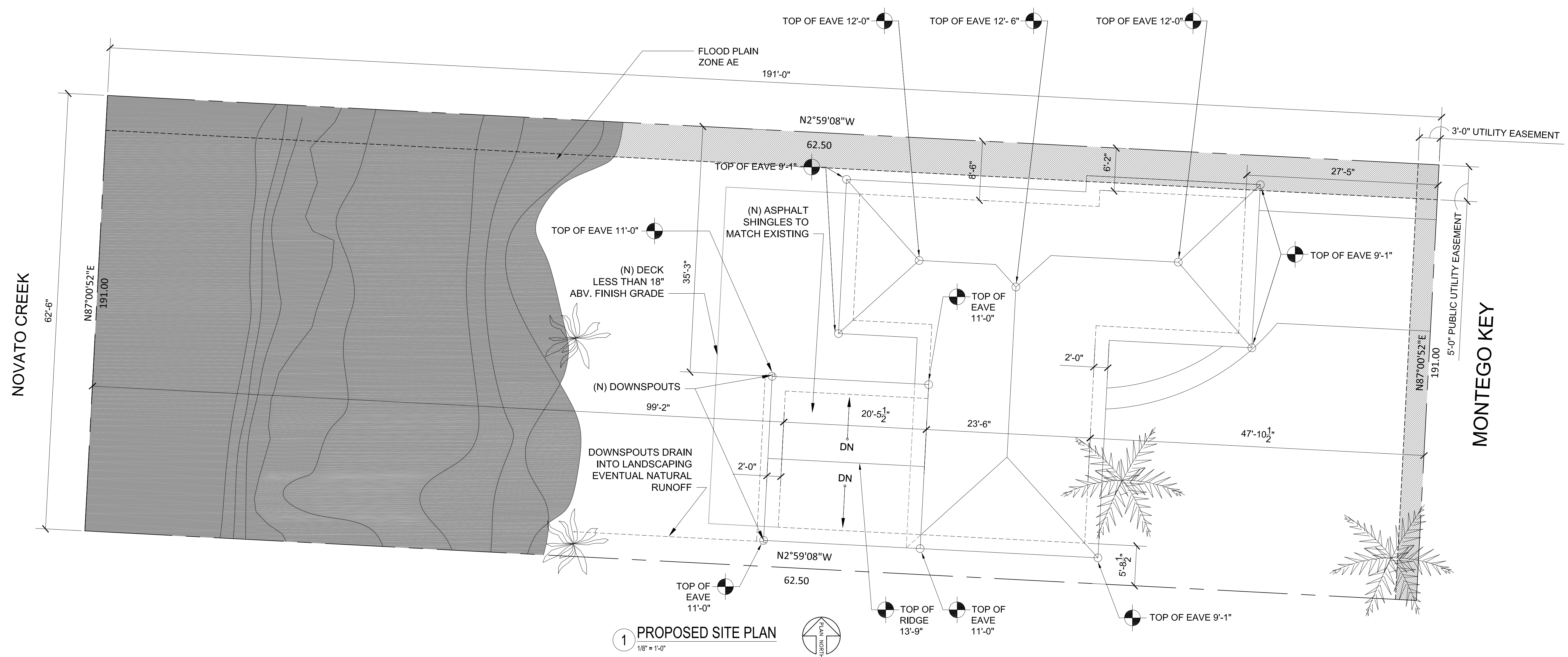
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APN # 157-201-05

EXISTING
SITE PLAN

A1.0

LOT DEVELOPMENT DATA			GENERAL NOTES		
LOT AREA (SQUARE FEET)	EXISTING	PROPOSED	1. ALL DIMENSIONS TO BE V.I.F. 2. CONTAIN AREA OF CONSTRUCTION BY HAY WATTLES OR OTHER METHOD OF CONTAINMENT TO PREVENT STORM RUNOFF OR OTHER CONSTRUCTION DEBRIS TO PREVENT CONTAMINATION OF NEIGHBORING PROPERTIES, STREETS AND STORM DRAINS. 3. ROOF SLOPE 3:12 TYPICAL		
BUILDING AREA (SQUARE FEET)	10,890 SQ.FT.	10,890 SQ.FT.			
FLOOR AREA (SQUARE FEET)	1,717	2,095			
GARAGE (SQUARE FEET)	1,244	1,594			
AREA OF DISTURBANCE (SQUARE FEET)	370	370			
LOT COVERAGE - IMPERVIOUS (SQUARE FEET)	0	378			
LOT COVERAGE - PERVIOUS (SQUARE FEET)	1,717	2,095			
LOT COVERAGE - PERVIOUS (SQUARE FEET)	9,173	8,795			
GRADING - CUT (CUBIC YARDS)	0	0			
GRADING - FILL (CUBIC YARDS)	0	0			
GRADING - OFF-HAUL (CUBIC YARDS)	0	0			
NUMBER OF PARKING SPACES	4	4			
NUMBER OF LOTS (SUBDIVISIONS ONLY)					
PRIMARY BUILDING DATA			PROJECT INFORMATION		
MAXIMUM BUILDING HEIGHT (FEET)	EXISTING	PROPOSED	ASSESSOR'S PARCEL NO: USE / OCCUPANCY: SFR / OWNER OCCUPIED ZONING: RSP-5.8-BFC TYPE OF CONSTRUCTION: 157-201-05		
SETBACK DISTANCE - FRONT PROPERTY LINE (FEET)	12'-6"	13'-9"			
SETBACK DISTANCE - LEFT SIDE PROPERTY LINE (FEET)	27'-5"	27'-5"			
SETBACK DISTANCE - RIGHT SIDE PROPERTY LINE (FEET)	5'-8 1/2"	5'-8 1/2"			
SETBACK DISTANCE - REAR PROPERTY LINE (FEET)	6'-2"	6'-2"			
SETBACK DISTANCE - REAR PROPERTY LINE (FEET)	119'-7 1/2"	99'-2"			
			TREE LEGEND		
					
			MEXICAN FAN PALM	CHERRY PLUM TREE	YUCCA



PLANS PREPARED BY:



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PERMIT SUBMITTAL: 12/01/2025

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REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

DRAWN BY: AM

DATE: 12/01/2025

APN # 157-201-05

PROPOSED
SITE PLAN

A1.1



GENERAL NOTES

1. ALL DIMENSIONS TO BE V.I.F.
2. CONTAIN AREA OF CONSTRUCTION BY HAY WATTLES OR OTHER METHOD OF CONTAINMENT TO PREVENT STORM RUNOFF OR OTHER CONSTRUCTION DEBRIS TO PREVENT CONTAMINATION OF NEIGHBORING PROPERTIES, STREETS AND STORM DRAINS.
3. ROOF SLOPE 3:12 TYPICAL

PROJECT INFORMATION

ASSESSOR'S PARCEL NO:
USE / OCCUPANCY: SFR / OWNER OCCUPIED
ZONING: RSP-5,8-BFC
TYPE OF CONSTRUCTION: 157-201-05

LEGEND

MEXICAN FAN PALM	CHERRY PLUM TREE	YUCCA	ROOF HATCH

PLANS PREPARED BY:

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PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

DRAWN BY: AM

DATE: 12/01/2025

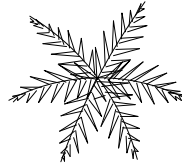
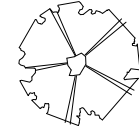
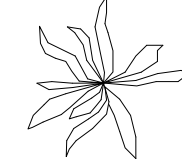
APN # 157-201-05

PROPOSED
SITE PLAN

A1.2

LOT DEVELOPMENT DATA	EXISTING	PROPOSED
LOT AREA (SQUARE FEET)	10,890	10,890
BUILDING AREA (SQUARE FEET)	1,717	2,095
FLOOR AREA (SQUARE FEET)	1,244	1,594
GARAGE (SQUARE FEET)	370	370
AREA OF DISTURBANCE (SQUARE FEET)	0	378
LOT COVERAGE - IMPERVIOUS (SQUARE FEET)	1,717	2,095
LOT COVERAGE - PERVIOUS (SQUARE FEET)	9,173	8,795
GRADING - CUT (CUBIC YARDS)	0	0
GRADING - FILL (CUBIC YARDS)	0	0
GRADING - OFF-HAUL (CUBIC YARDS)	0	0
NUMBER OF PARKING SPACES	4	4

PRIMARY BUILDING DATA	EXISTING	PROPOSED
MAXIMUM BUILDING HEIGHT (FEET)	12'-6"	13'-9"
SETBACK DISTANCE - FRONT PROPERTY LINE (FEET)	27'-5"	27'-5"
SETBACK DISTANCE - LEFT SIDE PROPERTY LINE (FEET)	5'-8 1/2"	5'-8 1/2"
SETBACK DISTANCE - RIGHT SIDE PROPERTY LINE (FEET)	6'-2"	6'-2"
SETBACK DISTANCE - REAR PROPERTY LINE (FEET)	119'-7 1/2"	99'-2"

TREE LEGEND		
		
MEXICAN FAN PALM	CHERRY PLUM TREE	YUCCA

- GENERAL NOTES
1.

ALL DIMENSIONS TO BE V.I.F.

2.

CONTAIN AREA OF CONSTRUCTION BY HAY WATTLES OR OTHER METHOD OF CONTAINMENT TO PREVENT STORM RUNOFF OR OTHER CONSTRUCTION DEBRIS TO PREVENT CONTAMINATION OF NEIGHBORING PROPERTIES, STREETS WATERWAYS AND STORM DRAINS.

3.

PARKING IS AVAILABLE IN THE DRIVEWAY AND ALL ALONG THE PUBLIC STREET.

4.

PROJECT TO FOLLOW ALL COUNTY ORDINANCES REGARDING HOURS OF WORK.

5.

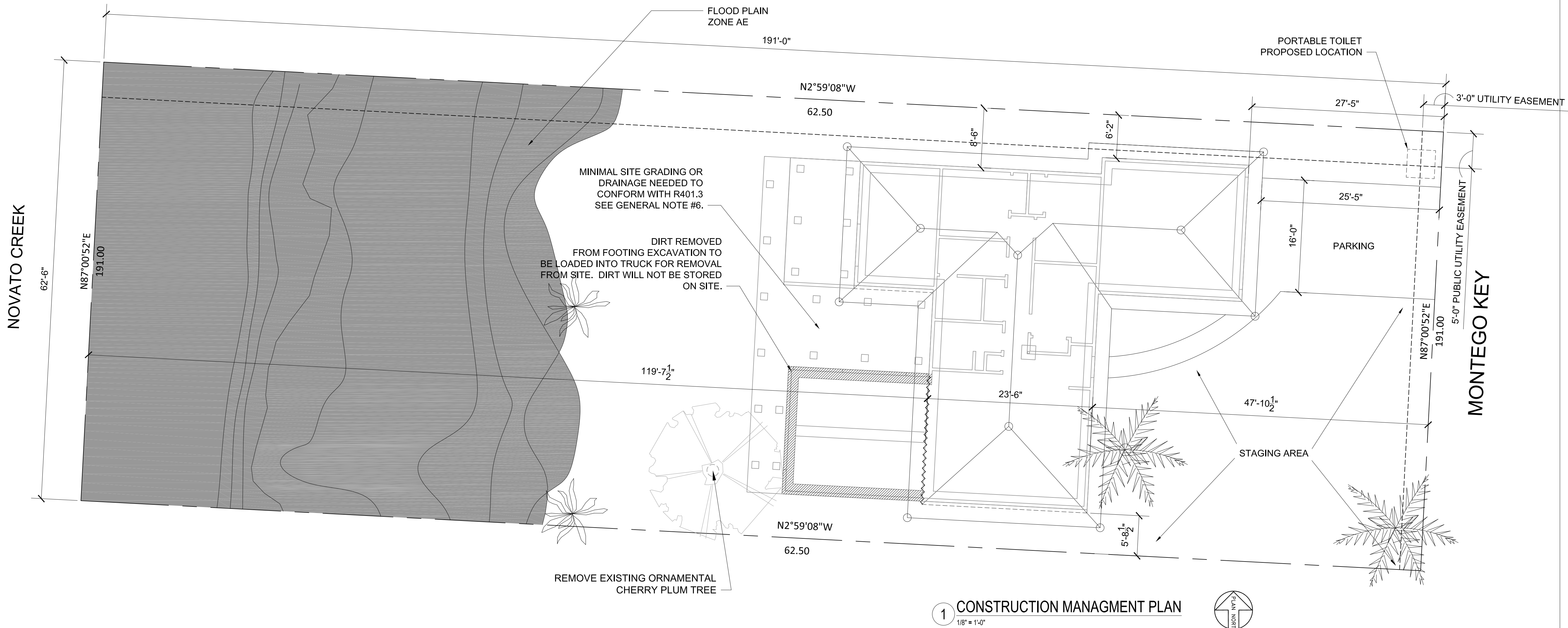
PROJECT TO FOLLOW ALL COUNTY ORDINANCES REGARDING DUST REDUCTION AND BASIC CONTROL MEASURES CONSISTENT WITH BAY AREA QUALITY MANAGEMENT DISTRICT REQUIREMENTS.

6.

PER 2022 CALIFORNIA RESIDENTIAL CODE R401.3: SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).
- EXCEPTION: WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES (152 MM) OF FALL WITHIN 10 FEET (3048 MM), DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

PROJECT INFORMATION

ASSESSOR'S PARCEL NO: 157-201-05
USE / OCCUPANCY: SFR / OWNER OCCUPIED
ZONING: RSP-5.8-BFC
TYPE OF CONSTRUCTION: VB



PLANS PREPARED BY:


Designer
Angel Morales
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Ph. 415-497-0768

PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

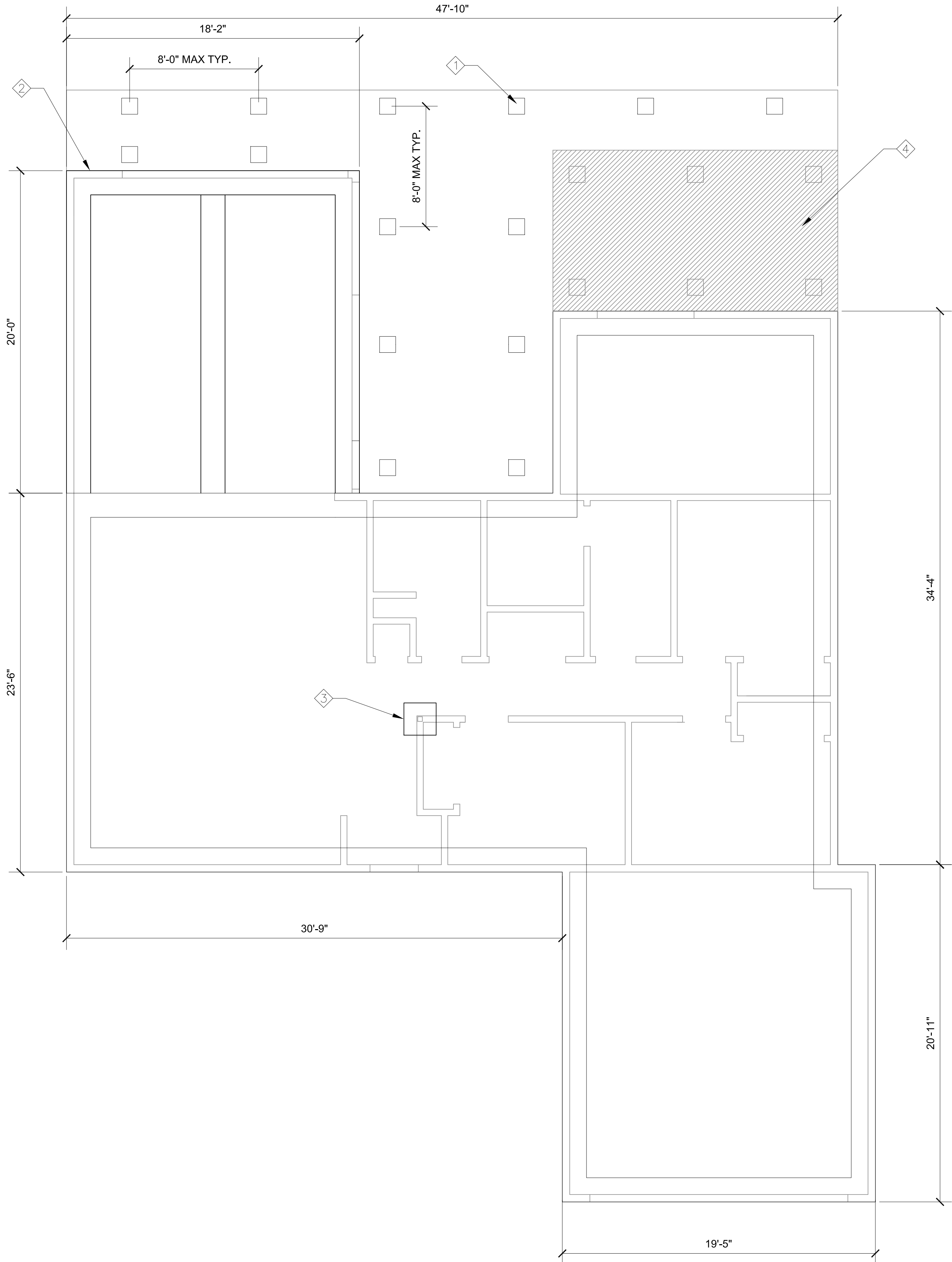
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APN # 157-201-05

CONSTRUCTION
MANAGEMENT
PLAN

A1.3



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



GENERAL NOTES

1. ALL DIMENSIONS TO BE V.I.F.
2. S.S.D. FOR FINAL DIMENSIONS AND DETAILS

KEYNOTES

- 1 PIER FOR (N) DECKING, TYP. BY OWNER
- 2 FOOTING FOR PROPOSED ADDITION, S.S.D.
- 3 FOOTING FOR NEW POST, S.S.D.
- 4 (E) DECK AND FOOTING TO REMAIN

WALL TYPES

- (E) WALL
- DEMO WALL/WINDOW, FIXTURE
- DEMO (E) DECK

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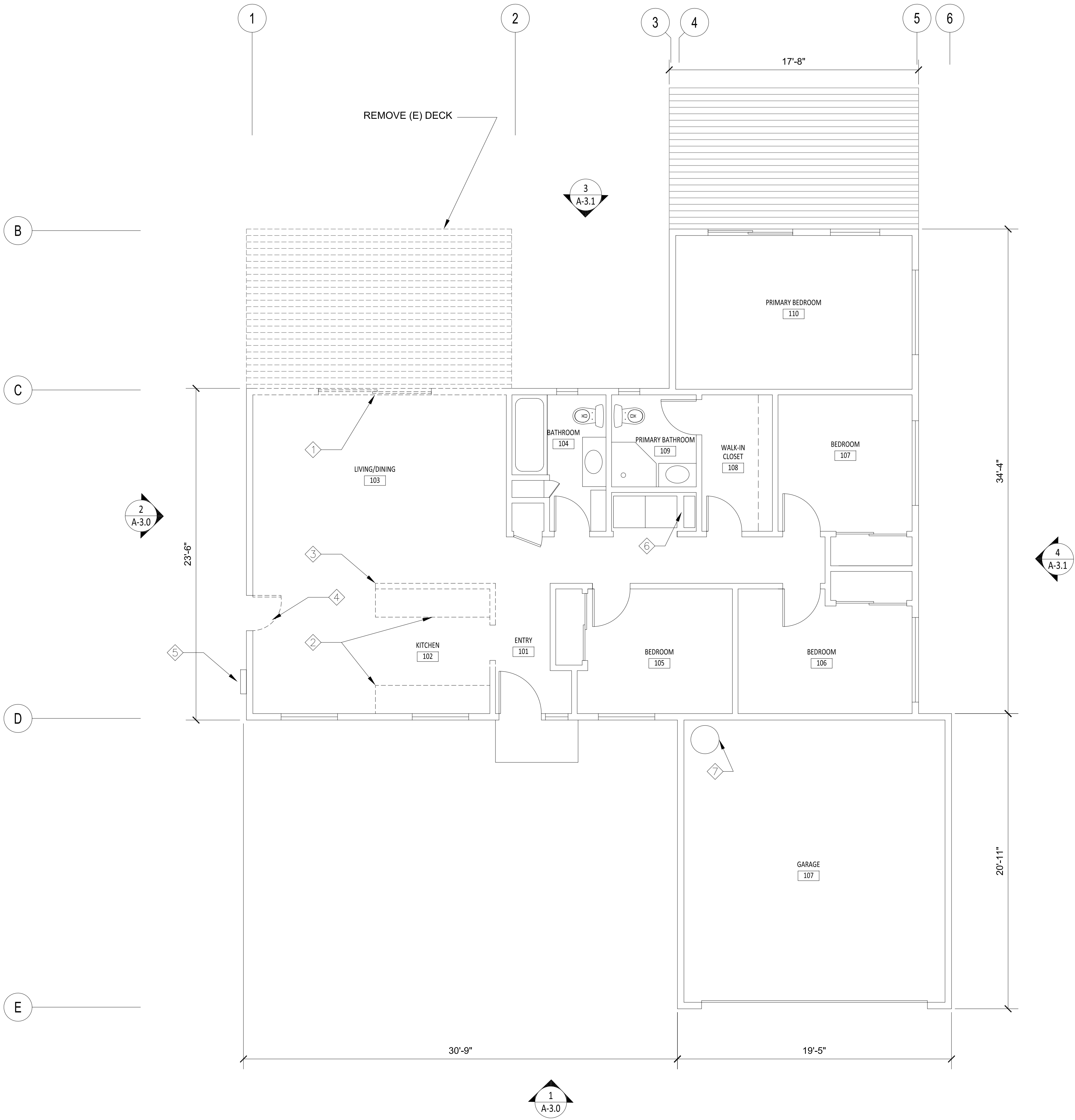
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APN # 157-201-05

PROPOSED
FOUNDATION
PLAN

A2.0



1 EXISTING FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES

1. ALL DIMENSIONS TO BE V.I.F.
2. NEW WINDOWS AND GLASS DOORS NEED A U-FACTOR OF 0.30 AND A SHGC OF 0.23 MAX.
3. R-15 INSULATION IN THE EXTERIOR WALLS AT THE ADDITION
4. R-19 INSULATION IN THE RAISED FLOOR AT THE ADDITION
5. THE ROOF WE HAD TO GO WITH WHAT IS CALLED A HIGH PERFORMANCE ATTIC WHICH ENTAILS THE FOLLOWING:
6. R-30 INSULATION IN THE CEILING
7. R-13 BATT INSULATION APPLIED UNDER THE ROOF DECK

KEYNOTES

- 1 REMOVE (E) WALL AND SLIDER
- 2 REMOVE (E) KITCHEN CABINETRY
- 3 REMOVE (E) SUPPORTING WALLS SURROUNDING KITCHEN
- 4 REMOVE (E) DOOR
- 5 (E) 100 AMP
- 6 (E) HVAC - DAY & NIGHT 2012, MODEL N9MSE0801716A, 9.6AMP
- 7 50 GALLON HPTS-50 VOLTEX AL SMART HYBRID ELECTRIC HEAT PUMP WATER HEATER - TALL (1PH, 4.5KW, 208/240V)

WALL TYPES

- (E) WALL
- DEMO WALL/WINDOW, FIXTURE
- DEMO (E) DECK

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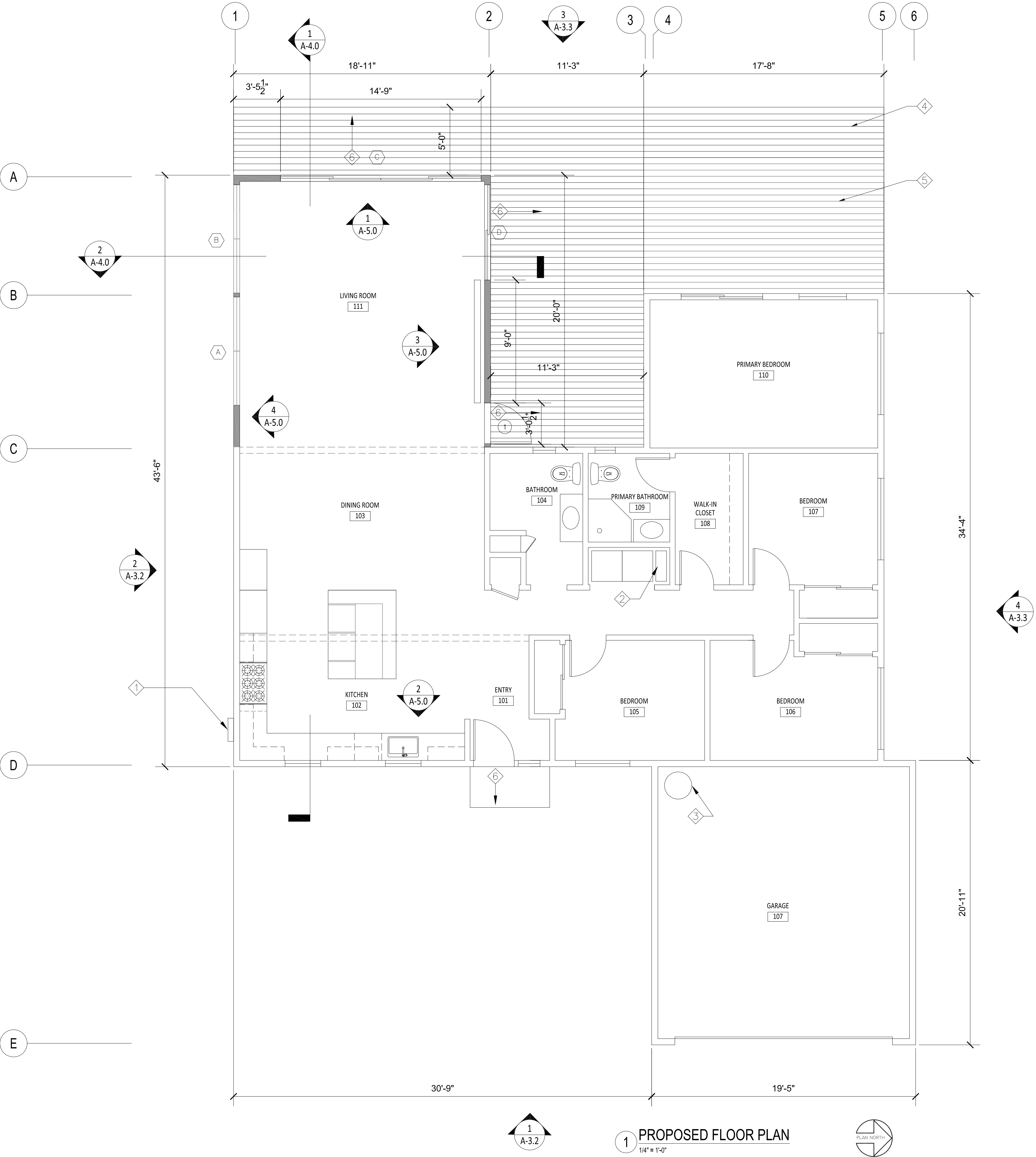
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EXISTING
FLOOR PLANS

A2.1



GENERAL NOTES

- ALL DIMENSIONS TO BE V.I.F.
- WINDOWS TO BE GELDWYNN OR MILGARD VINYL DOUBLE GLAZED
- PROVIDE 36" MINIMUM WIDTH AT INTERIOR STAIRWAY
- SWITCHED LIGHTS MUST BE INSTALLED AT EVERY OUTDOOR ENTRANCE. OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION
- TAMPER-RESISTANT GFCI RECEPTACLE OUTLETS MUST BE INSTALLED ALONG ANY KITCHEN COUNTER TOP GREATER THAN 12" IN WIDTH SUCH THAT NO LOCATION IS MORE THAN 24" FROM A RECEPTACLE OUTLET. COUNTERTOP SURFACES SEPARATED BY SINKS, RANGES OR OTHER APPLIANCES MUST BE CONSIDERED AS SEPARATE SPACES
- PROVIDE AT LEAST TWO SEPARATE 20-AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS. CEC §210.11(C)(1), 210.52(B)
- IN AREAS OF WORK INSULATION WILL BE ADDED TO WALLS, CEILING AND FLOORS. WALL AND FLOOR INSULATION TO BE MIN. R-19. CEILING INSULATION TO BE MIN R-38.
- WHEN A PERMITTED PROJECT IS A NEW BUILDING OR A STRUCTURAL REMODEL OF A BUILDING WHICH IS SERVED BY NATURAL OR PROPANE GAS, OR IS A PLUMBING OR MECHANICAL PERMIT FOR THE INSTALLATION OR ALTERATION OF A GAS LINE FOR THE INSTALLATION OR RELOCATION OF A GAS APPLIANCE OR ANY NEW GAS PIPING, A SEISMIC GAS SHUT-OFF VALVE (OR EXCESS FLOW VALVES) LISTED BY THE STATE OF CALIFORNIA SHALL BE INSTALLED TO PROTECT THE BUILDING AT THE POINT THE GAS PIPING ENTERS THE BUILDING PRIOR TO FINAL.
- ALL NEW/REPLACEMENT EXTERIOR EGRESS DOORWAYS SHALL BE PROVIDED WITH LEVEL LANDINGS ON BOTH SIDES OF EACH DOORWAY AND WITH THRESHOLDS WHICH DO NOT EXCEED 1 1/2" IN HEIGHT FOR OUT-SWINGING DOORS, 7 1/4" FOR IN-SWINGING DOORS. OTHER EXTERIOR DOORS MAY HAVE NO MORE THAN TWO STEPS UP TO AN IN-SWINGING DOOR WITH A MAXIMUM OF 7 3/4" HEIGHT IN VERTICAL RISE. OTHER OUT-SWINGING EXTERIOR DOORS MAY SWING OVER A LANDING WHICH IS A MAXIMUM OF 7 3/4" IN HEIGHT FROM THE TOP OF THE THRESHOLD TO THE TOP OF A LANDING. RESIDENTIAL LANDINGS MUST BE AT LEAST 36"X 36", OR THE WIDTH OF THE DOOR, WHICHEVER IS GREATER.
- EXTERIOR DOORS & LANDINGS SHALL BE PROVIDED WITH AN EXTERIOR LIGHT SWITCHED FROM THE INSIDE. SUCH LIGHTS SHALL EITHER BE FLUORESCENT, LED OR CONTROLLED BY A MOTION SENSITIVE, DAYLIGHT SENSING DEVICE. (DOWNWARD SHINING MAY BE REQUIRED.)
- DWELLINGS SHALL BE POSTED WITH VISIBLE ADDRESS NUMERALS WITH A MINIMUM OF 4" IN HEIGHT AND A 1/2" WIDE STROKE. CHECK WITH THE LOCAL FIRE AUTHORITY FOR FURTHER REQUIREMENTS.
- ALL NEW RESIDENTIAL 125 VOLT, 15 AND 20 AMP CIRCUITS NOT REQUIRED TO BE G.F.C.I. PROTECTED MUST BE A.F.C.I. PROTECTED, (EXCEPTION: GARBAGE DISPOSALS AND OTHER MOTORS.) ALSO, ALL NEW 125 VOLT, 15 AND 20 AMP RATED RECEPTACLES MUST BE OF THE TAMPER-RESISTANT TYPE.
- LED LIGHTING PROPOSED TO MEET THE HIGH-EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A) REQUIREMENTS OF THE ENERGY CODE MUST COMPLY WITH TABLE 150.0-A. ALL J88 HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR.
- ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR IN CLOTHES CLOSETS, LINEN CLOSETS OR STORAGE ROOMS WITH EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS WHICH ARE NOT READILY ACCESSIBLE.
- WHEN MECHANICAL EQUIPMENT IS NEWLY INSTALLED IN AN ATTIC SPACE, PROVIDE A MIN. ROUGH-FRAMED 22"X 30" ATTIC ACCESS, OR AN ACCESS SIZED FOR THE LARGEST COMPONENT OF THE EQUIPMENT, WHICHEVER IS GREATER. ACCESS THROUGH CEILINGS SHALL HAVE A MIN. 30" OF HEADROOM. AN ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IF NOT LOCATED WITHIN 12" OF THE SERVICE SIDE OF AN APPLIANCE, A MIN. 24" WIDE WALKWAY SHALL FOR PROVIDED TO A 30"X 30" SERVICE PLATFORM. A PERMANENT 120V RECEPTACLE AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGE WAY. CRC 807.1 & CMC 304.4.1-4
- NEW WINDOWS AND GLASS DOORS NEED A U-FACTOR OF 0.30 AND A SHGC OF 0.23 MAX.
- R-15 INSULATION IN THE EXTERIOR WALLS AT THE ADDITION
- R-19 INSULATION IN THE RAISED FLOOR AT THE ADDITION
- THE ROOF WE HAD TO GO WITH WHAT IS CALLED A HIGH PERFORMANCE ATTIC WHICH ENTAILS THE FOLLOWING:
- R-30 INSULATION IN THE CEILING
- R-13 BATT INSULATION APPLIED UNDER THE ROOF DECK
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

KEYNOTES

- 1

(N) 200 AMP ELECTRICAL PANEL
- 2

(E) HVAC - DAY & NIGHT 2012, MODEL N98ME0801716A, 9.6AMP
- 3

50 GALLON HPTS-50 VOLT EX AL SMART HYBRID ELECTRIC HEAT PUMP WATER HEATER - TALL (1PH, 4.5KW, 208/240V)
- 4

(N) DECK
- 5

(E) DECK SEE SHEET A2.1
- 6

MINIMUM OF 36 INCHES CLEAR IN THE DIRECTION OF TRAVEL. THE WIDTH OF LANDINGS IN FRONT OF THE SLIDING GLASS DOORS SHALL BE AS WIDE AS THE DOOR AS THE OPERABLE PANELS ON THE DOORS ARE INTERCHANGEABLE. ALUMINUM THRESHOLD 1/2" HEIGHT.

DOORS & WINDOWS

- 1

3'-0" X 7'-0" OUT SWING DOOR WITH TEMPERED GLASS PANEL
- A

(N) 47.75" X 19.5" CLERESTORY
- B

(N) 47.75" X 19.5" CLERESTORY
- C

(N) 14'-9" X 8'-0" OXO SLIDERS W/ FIXED PANELS
- D

(N) 7'-0" X 8'-0" SLIDER

WALL TYPES

- (E) WALL
- (N) WALL

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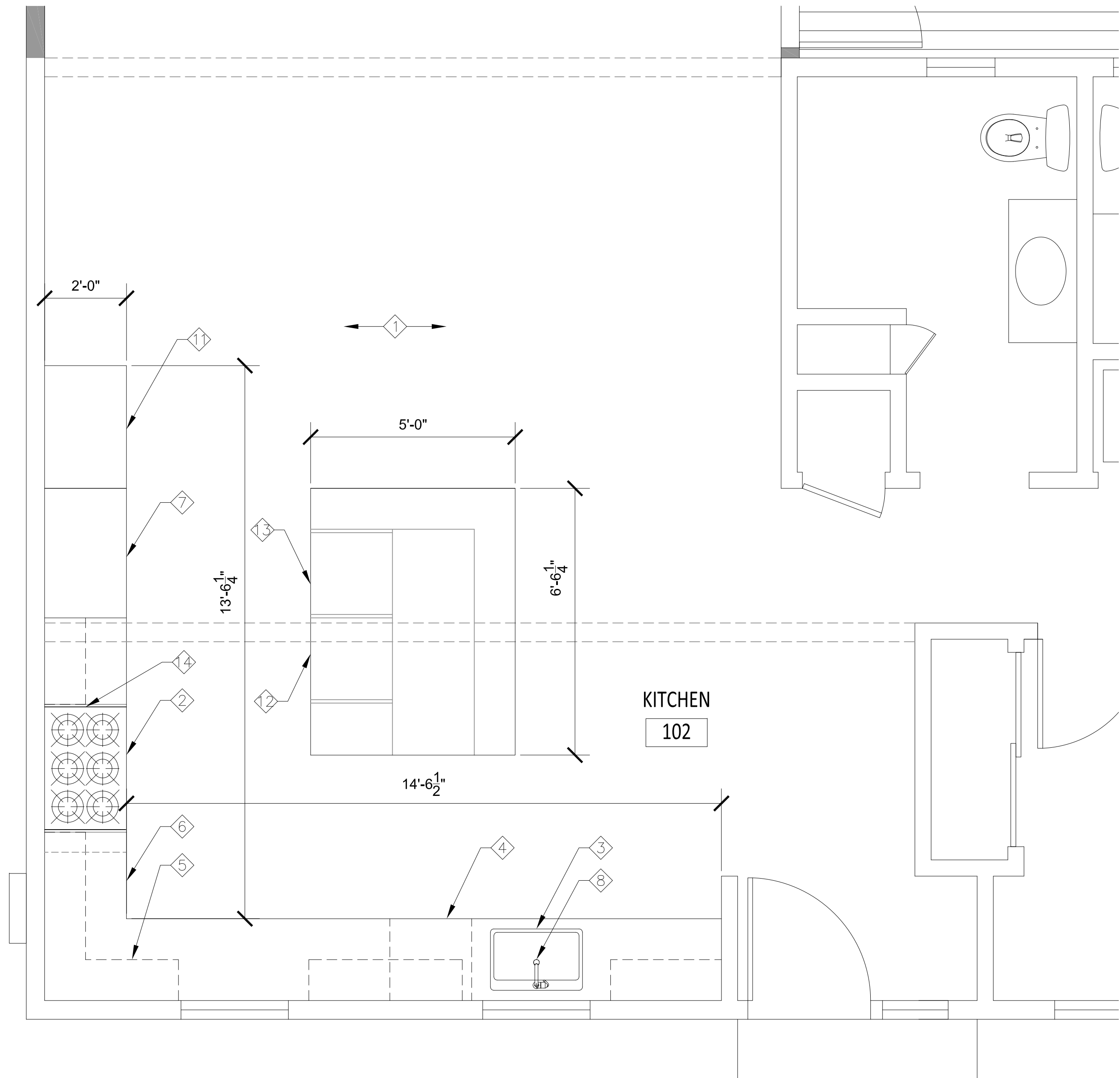
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APN # 157-201-05

PROPOSED
FLOOR PLANS

A2.2



1 ENLARGED FLOOR PLAN
1/2" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS TO BE V.I.F.
- WINDOWS TO BE GELDWYNN OR MILGARD VINYL TEMPERED DOUBLE GLAZED
- PROVIDE 36" MINIMUM WIDTH AT INTERIOR STAIRWAY
- SWITCHED LIGHTS MUST BE INSTALLED AT EVERY OUTDOOR ENTRANCE. OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION
- TAMPER-RESISTANT GFCI RECEPTACLE OUTLETS MUST BE INSTALLED ALONG ANY KITCHEN COUNTER TOP GREATER THAN 12" IN WIDTH SUCH THAT NO LOCATION IS MORE THAN 24" FROM A RECEPTACLE OUTLET. COUNTERTOP SURFACES SEPARATED BY SINKS, RANGES OR OTHER APPLIANCES MUST BE CONSIDERED AS SEPARATE SPACES
- PROVIDE AT LEAST TWO SEPARATE 20-AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS. CEC §210.11(C)(1), 210.52(B)
- SEE GENERAL NOTES ON SHEET T-1
- RECESSED LIGHT FIXTURES IN THE BUILDING ENVELOPE SHALL BE IC AND AIRTIGHT LISTED.
- ALL RECEPTACLES SERVING ALL COUNTERTOP SURFACES IN KITCHENS AND DINING ROOMS SHALL HAVE GFCI PROTECTION.
- A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED TO SERVE COUNTER RECEPTACLES IN THE KITCHEN, PANTRY, BREAKFAST NOOK, DINING ROOM, AND PASS-THROUGHS.
- WHERE SEPARATE CIRCUITS FOR THE GARBAGE DISPOSAL AND THE DISHWASHER ARE TERMINATED IN THE SAME BOX, THE RECEPTACLES SHALL BE LABELED AS TO WHICH APPLIANCE THEY SERVE, AND THE CIRCUIT BREAKERS SHALL HAVE A HANDLE TIE AT THE SERVICE PANEL. NO OTHER RECEPTACLE SHALL BE INSTALLED IN THIS BOX. THE DISHWASHER PLUG TO BE GFCI PROTECTED.
- ALL LIGHTING SHALL BE HIGH EFFICACY (FLUORESCENT OR QUALIFYING LED PER TABLE 150.0-A). ALL JA8 HIGH EFFICACY LIGHTING SHALL BE CONTROLLED BY DIMMER OR A MANUAL-ON VACANCY SENSOR.
- COUNTERTOP RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE. ONE RECEPTACLE IS REQUIRED FOR PENINSULA COUNTERS OF ANY LENGTH IN ADDITION TO ANY RECEPTACLES INSTALLED IN THE ADJOINING WALL SPACE. AT LEAST ONE RECEPTACLE IS REQUIRED FOR ISLAND COUNTERS.
- COUNTERTOP RECEPTACLES SHALL NOT BE INSTALLED IN A FACE UP POSITION AND NOT MORE THAN 20" ABOVE NOR MORE THAN 12" BELOW THE COUNTERTOP SURFACE.
- SPRAY HEADS ATTACHED TO HOSES MUST BE PROVIDED WITH AN APPROVED METHOD OF BACKFLOW PREVENTION.
- DISHWASHERS SHALL BE CONNECTED WITH APPROVED AIR GAP DEVICES LOCATED ABOVE THE FLOOD LEVEL OF THE SINK. DISHWASHER CIRCUITS SHALL BE GFCI PROTECTED.
- HOT WATER LINES FROM WATER HEATERS TO KITCHEN SINKS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH WHERE THEY ARE EXPOSED IN UNCONDITIONED SPACE. (MINIMUM INSULATION THICKNESS IS 1" FOR 1/2" AND 3/4" PIPE, AND 1 1/2" FOR 1" AND LARGER.
- NEW BUILDINGS OR 'SUBSTANTIAL REMODELS' MUST BE PROVIDED WITH A RANGE HOOD CAPABLE OF 100 C.F.M. WHICH VENTS TO THE EXTERIOR OF THE BUILDING.
11. WHEN NEW GAS PIPING IS INSTALLED OR THE EXISTING SYSTEM IS ALTERED OR A NEW GAS APPLIANCE IS INSTALLED, A SEISMIC GAS SHUT-OFF VALVE SHALL BE INSTALLED.

KEYNOTES

- 1 (N) FLOORING
- 2 (N) GAS RANGE
- 3 (N) SINK
- 4 (N) DISHWASHER
- 5 (N) UPPER CABINETS
- 6 (N) BASE CABINETS
- 7 (N) REFRIGERATOR
- 8 (N) KITCHEN FAUCET
- 9 BLANK
- 10 BLANK
- 11 (N) PANTRY CABINET
- 12 (N) UNDER COUNTER MICROWAVE
- 13 (N) UNDER COUNTER FRIDGE
- 14 (N) EXHAUST HOOD OVER RANGE W/ MIN. SIZE OF 100 C.F.M. PER SECTION 150-0 OF CAL. ENERGY CODE & ANSI/ASHARE STANDARD 62.2. SMOOTH DUCT WITH A MAXIMUM LENGTH OF 85'-0"

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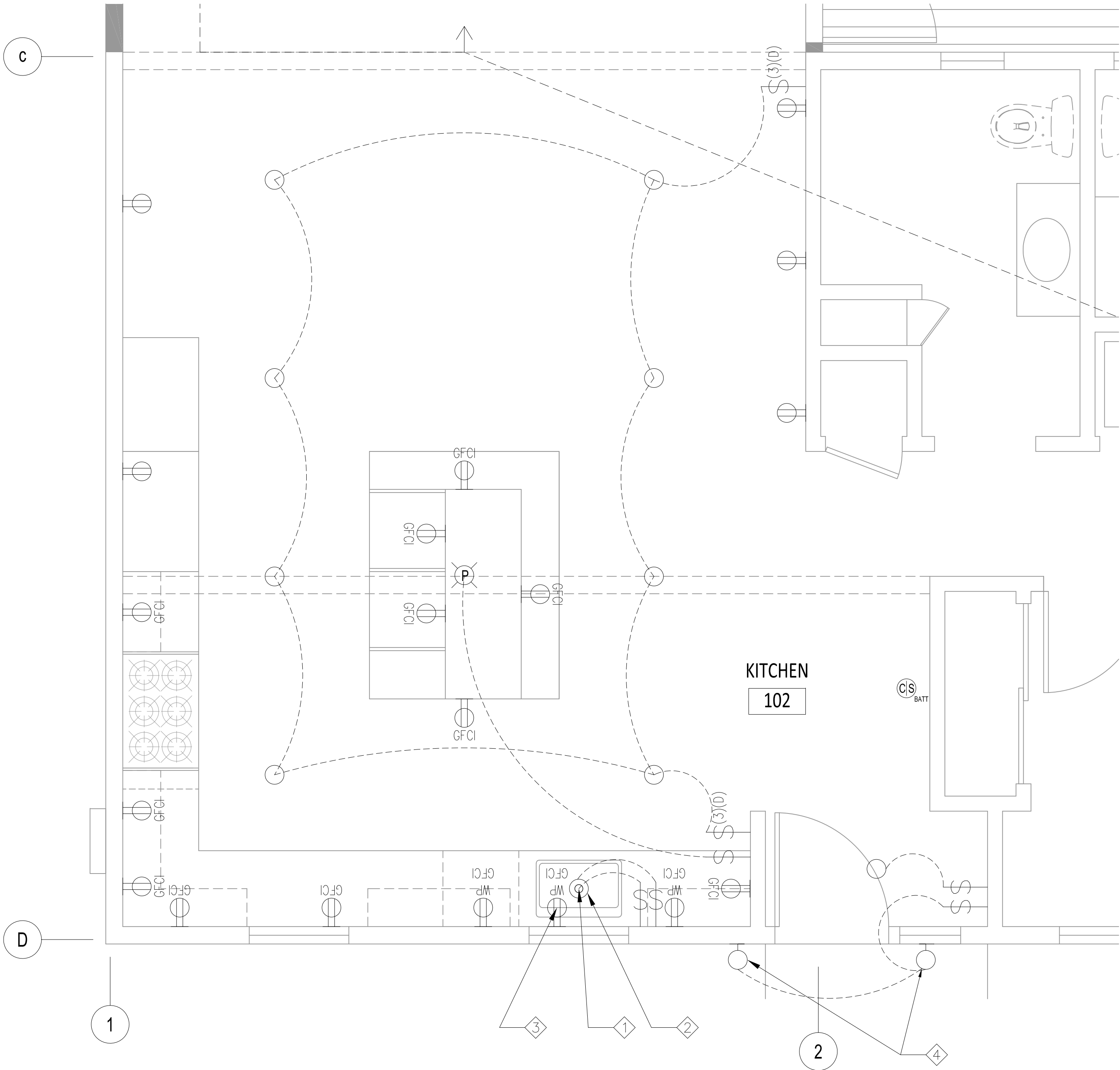
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ENLARGED
FLOOR PLAN

A2.3



1 PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS TO BE V.I.F.
- WINDOWS TO BE GELDWYNN OR MILGARD VINYL TEMPERED DOUBLE GLAZED
- PROVIDE 36" MINIMUM WIDTH AT INTERIOR STAIRWAY
- SWITCHED LIGHTS MUST BE INSTALLED AT EVERY OUTDOOR ENTRANCE. OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A PHOTOCNTROL/MOTION SENSOR COMBINATION
- TAMPER-RESISTANT GFCI RECEPTACLE OUTLETS MUST BE INSTALLED ALONG ANY KITCHEN COUNTER TOP GREATER THAN 12" IN WIDTH SUCH THAT NO LOCATION IS MORE THAN 24" FROM A RECEPTACLE OUTLET. COUNTERTOP SURFACES SEPARATED BY SINKS, RANGES OR OTHER APPLIANCES MUST BE CONSIDERED AS SEPARATE SPACES
- PROVIDE AT LEAST TWO SEPARATE 20-AMP CIRCUITS FOR SMALL APPLIANCES IN KITCHEN, PANTRY, DINING ROOM AND SIMILAR AREAS, WITH NO OTHER OUTLETS ON THE CIRCUITS. CEC §210.11(C)(1), 210.52(B)
- SEE GENERAL NOTES ON SHEET T-1

KEYNOTES

- 1 (N) GARBAGE DISPOSAL
- 2 (N) RECESSED LIGHT FIXTURE OVER KITCHEN SINK
- 3 (N) GARBAGE DISPOSAL OUTLET
- 4 OUTDOOR WALL SCONCE LED WARM LIGHTS FOR PORCH/FRONT DOOR

ELECTRICAL SYMBOL LEGEND

$\$^{(3)}$	SINGLE POLE OR 3-WAY		EXHAUST FAN
\$	SINGLE POLE SWITCH		CONTROLLED BY MANUAL ON AND AUTOMATIC OFF OCCUPANCY SENSOR WITHOUT ALWAYS ON OVERRIDE
$\$^{(3/0)}$	SINGLE POLE OR 3-WAY (WITH DIMMER)		CEILING FAN LED LIGHT FIXTURE
$\oplus$	DUPLEX RECEPTACLE		HARD WIRED SMOKE DETECTOR
$\oplus\oplus$	DUPLEX OUTLET WITH WATERPROOF COVER		COMBO CARBON MONOXIDE/SMOKE DETECTOR
$\bigcirc$	LED RECESSED CAN		
$\bigcirc$	WALL MOUNTED LIGHT		

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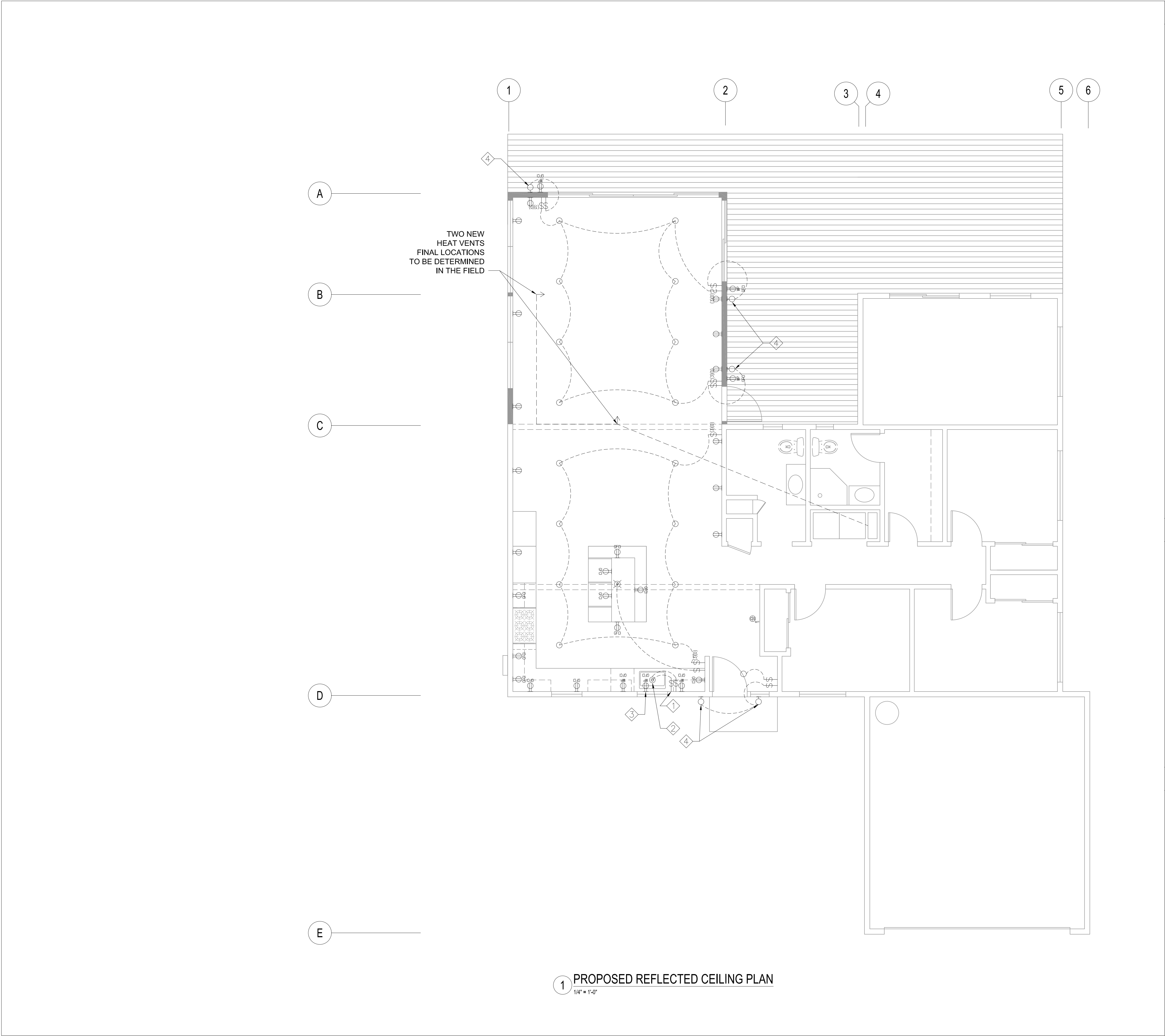
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ENLARGED
REFLECTED
CEILING PLAN

A2.4



GENERAL NOTES

- ALL DIMENSIONS TO BE V.I.F.
- WINDOWS TO BE GELDWYNN OR MILGARD VINYL TEMPERED DOUBLE GLAZED
- PROVIDE 36" MINIMUM WIDTH AT INTERIOR STAIRWAY
- SWITCHED LIGHTS MUST BE INSTALLED AT EVERY OUTDOOR ENTRANCE. OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION
- TAMPER-RESISTANT GFCI RECEPTACLE OUTLETS MUST BE INSTALLED ALONG ANY KITCHEN COUNTER TOP GREATER THAN 12" IN WIDTH SUCH THAT NO LOCATION IS MORE THAN 24" FROM A RECEPTACLE OUTLET. COUNTERTOP SURFACES SEPARATED BY SINKS, RANGES OR OTHER APPLIANCES MUST BE CONSIDERED AS SEPARATE SPACES
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- SEE GENERAL NOTES ON SHEET T-1
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 - ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 OR EQUIVALENT.
 - SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 OR EQUIVALENT.
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

KEYNOTES

- 1 (N) GARBAGE DISPOSAL
- 2 (N) RECESSED LIGHT FIXTURE OVER KITCHEN SINK
- 3 (N) GARBAGE DISPOSAL OUTLET
- 4 OUTDOOR WALL SCONCE LED WARM LIGHTS FOR PORCH/FRONT DOOR

ELECTRICAL SYMBOL LEGEND

$\$^{(3)}$	SINGLE POLE OR 3-WAY		EXHAUST FAN
\$	SINGLE POLE SWITCH	$\$^{(3)}$	CONTROLLED BY MANUAL ON AND AUTOMATIC OFF
$\$^{(3/0)}$	SINGLE POLE OR 3-WAY (WITH DIMMER)	MAN OCC	OCCUPANCY SENSOR WITHOUT ALWAYS ON OVERRIDE
$\oplus$	DUPLEX RECEPTACLE		CEILING FAN LED LIGHT FIXTURE
$\oplus \oplus$	DUPLEX OUTLET WITH WATERPROOF COVER	S_{HW}	HARD WIRED SMOKE DETECTOR
$\bigcirc$	LED RECESSED CAN	C_{HW}	CARBON MONOXIDE DETECTOR
$\bigcirc$	WALL MOUNTED LIGHT		

PLANS PREPARED BY:

Designer
Angel Morales
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Ph. 415-497-0768

PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

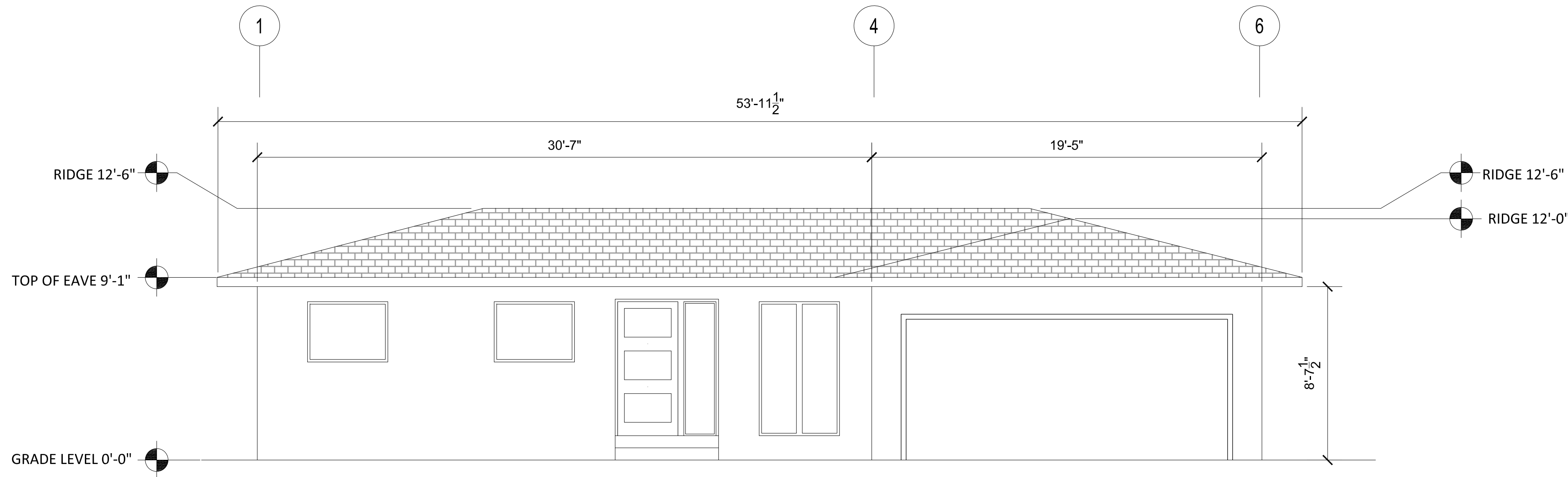
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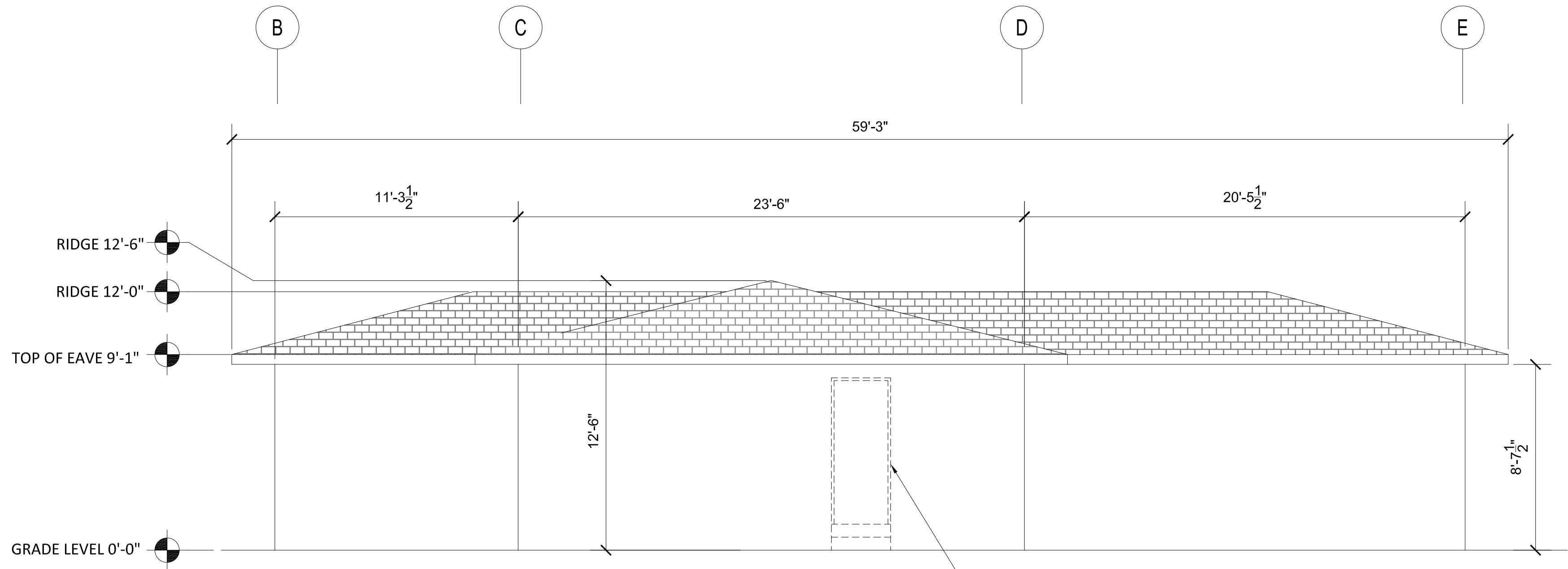
APN # 157-201-05

REFLECTED
CEILING PLAN

A2.5



1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



2 EXISTING SIDE ELEVATION
1/4" = 1'-0"

REMOVE EXISTING DOOR
PATCH WALL TO MATCH EXISTING.

GENERAL NOTES

- 1. ALL DIMENSIONS TO BE V.I.F.
- 2. SEE STRUCTURAL DETAILS, S.S.D.

KEYNOTES

PLANS PREPARED BY:

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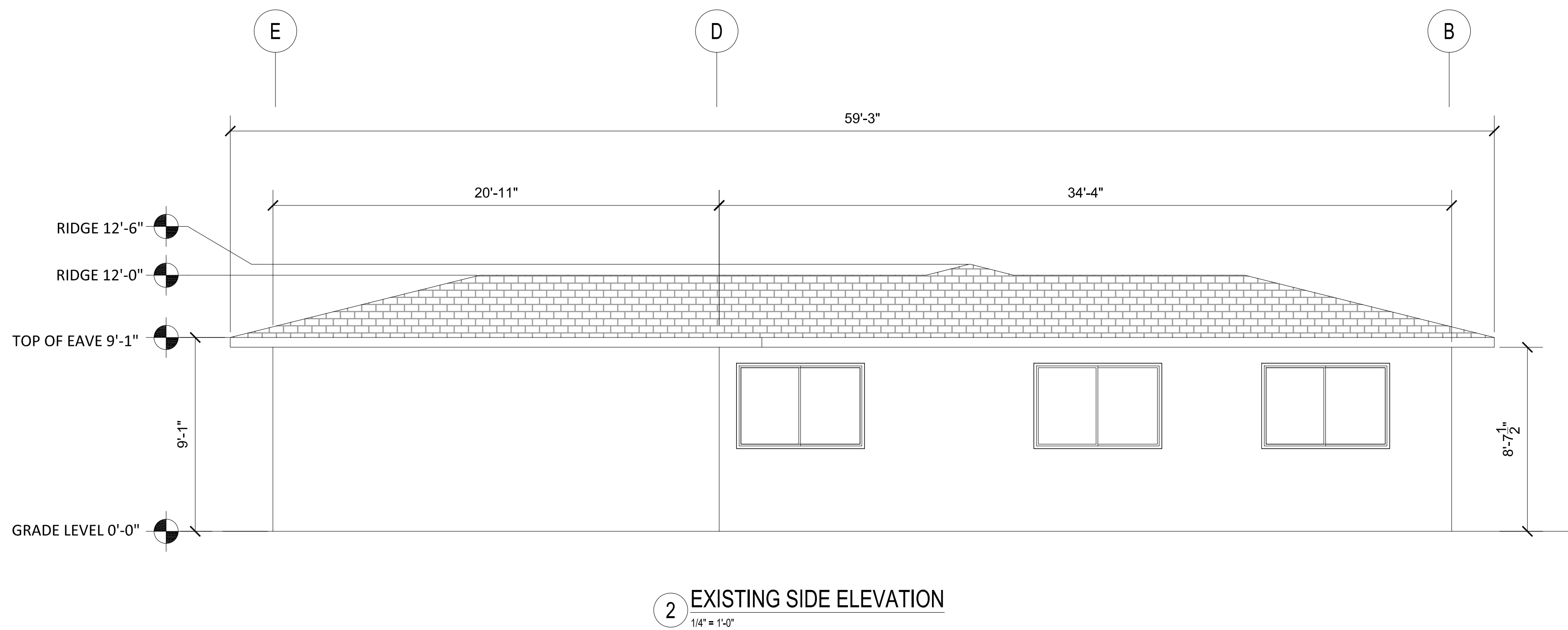
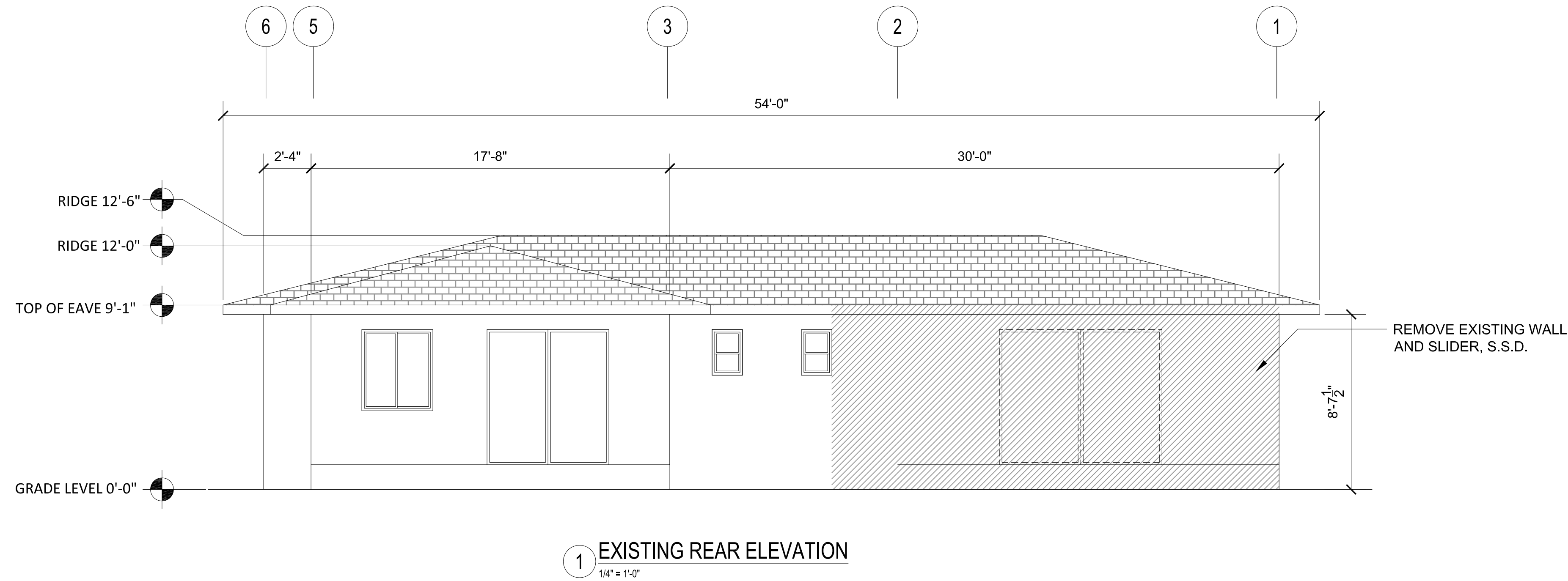
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APN # 157-201-05

EXISTING
ELEVATIONS

A3.0



GENERAL NOTES

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- 2. SEE STRUCTURAL DETAILS, S.S.D.

KEYNOTES

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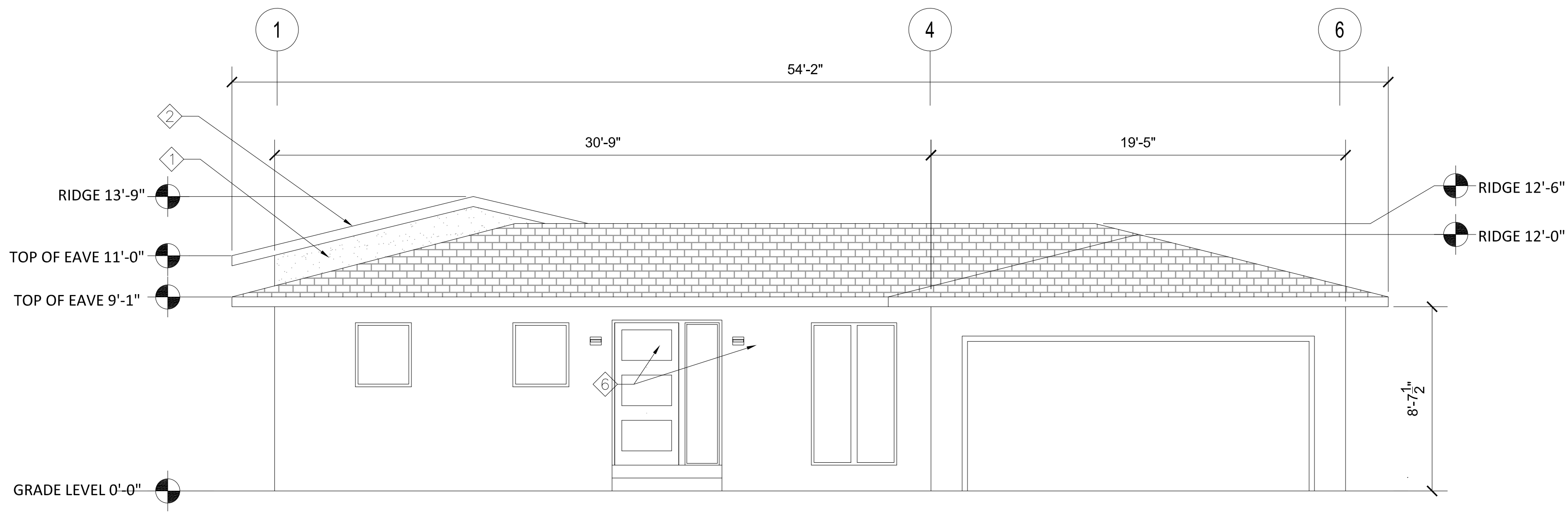
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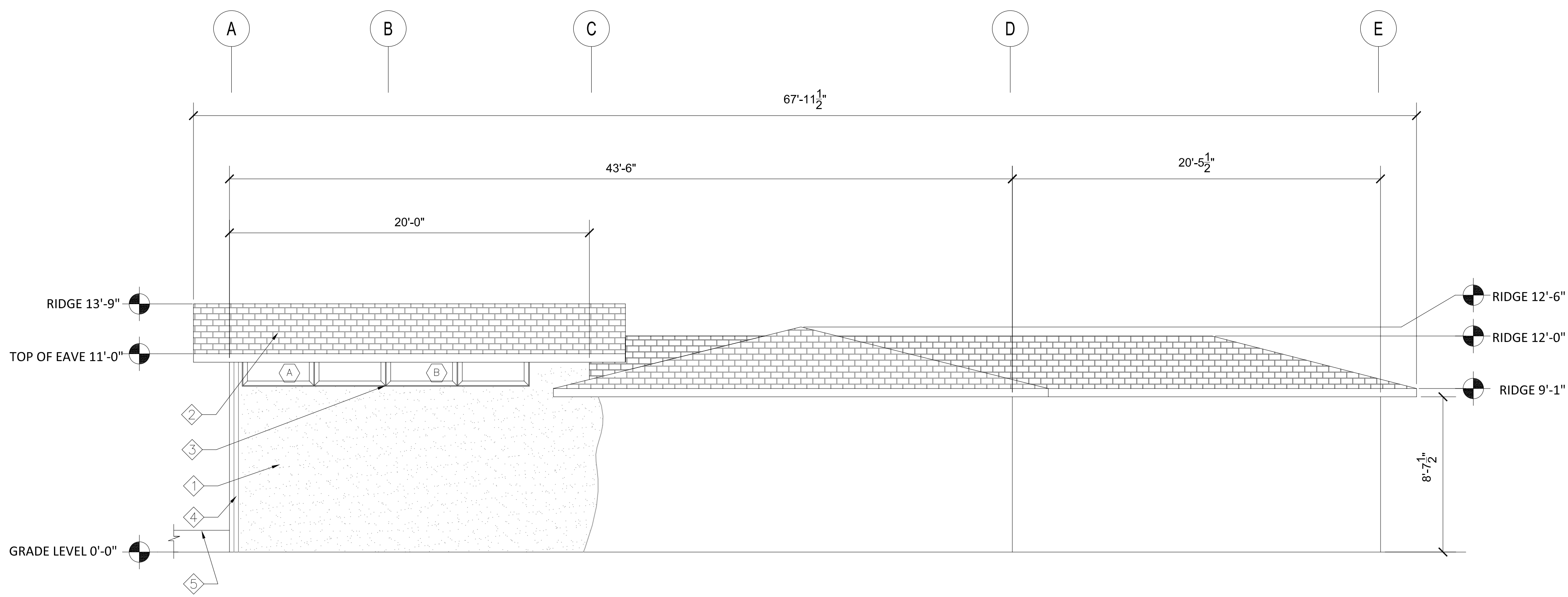
APN # 157-201-05

EXISTING
ELEVATIONS

A3.1



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS TO BE V.I.F.
- SEE STRUCTURAL DETAILS, S.S.D.

KEYNOTES

- (N) EXTERIOR STUCCO TO MATCH EXISTING
- (N) ASPHALT SHINGLES TO MATCH EXISTING
- (N) WINDOWS
- (N) DOWNSPOUT
- (N) DECK
- OUTDOOR WALL SCENCE LED WARM LIGHTS FOR PORCH/FRONT DOOR

DOORS & WINDOWS

- 3'-0" X 8'-0" OUT SWING DOOR WITH TEMPERED GLASS PANEL
- (N) 47.75" X 19.5" CLERESTORY
- (N) 47.75" X 19.5" CLERESTORY
- (N) 14'-0" X 8'-0" OXXO SLIDERS W/ FIXED PANELS
- (N) 7'-0" X 8'-0" SLIDER

PLANS PREPARED BY:

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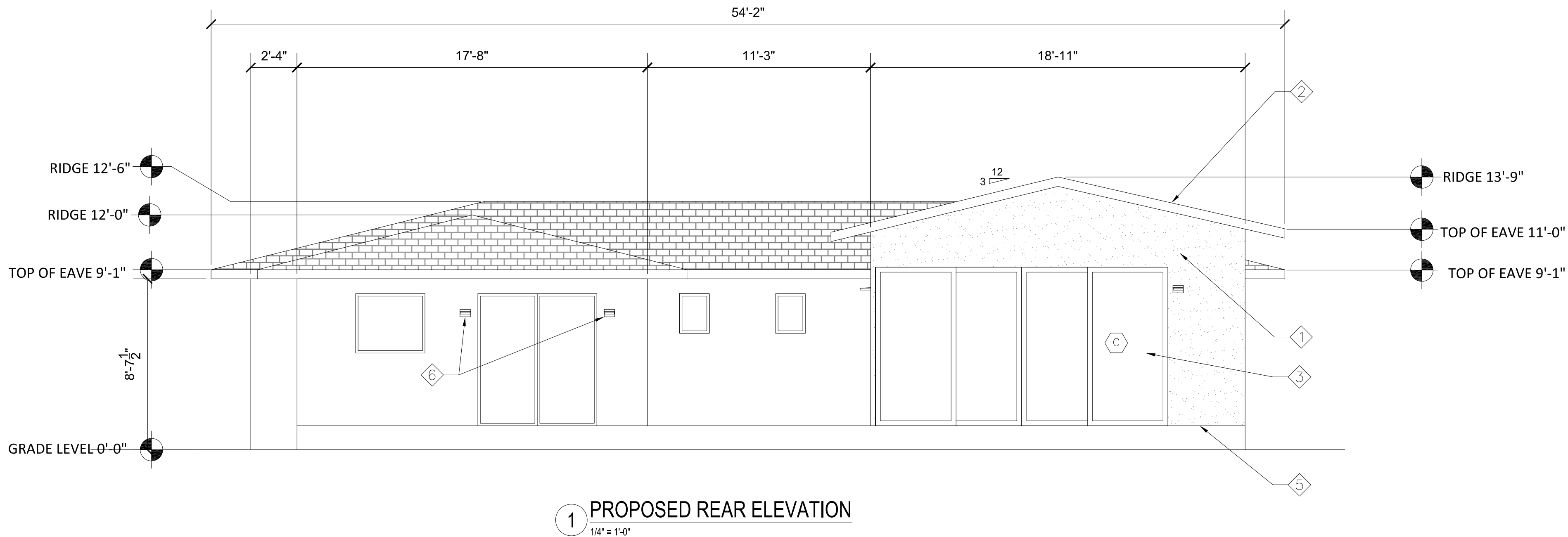
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PROPOSED
ELEVATIONS

A3.2



GENERAL NOTES

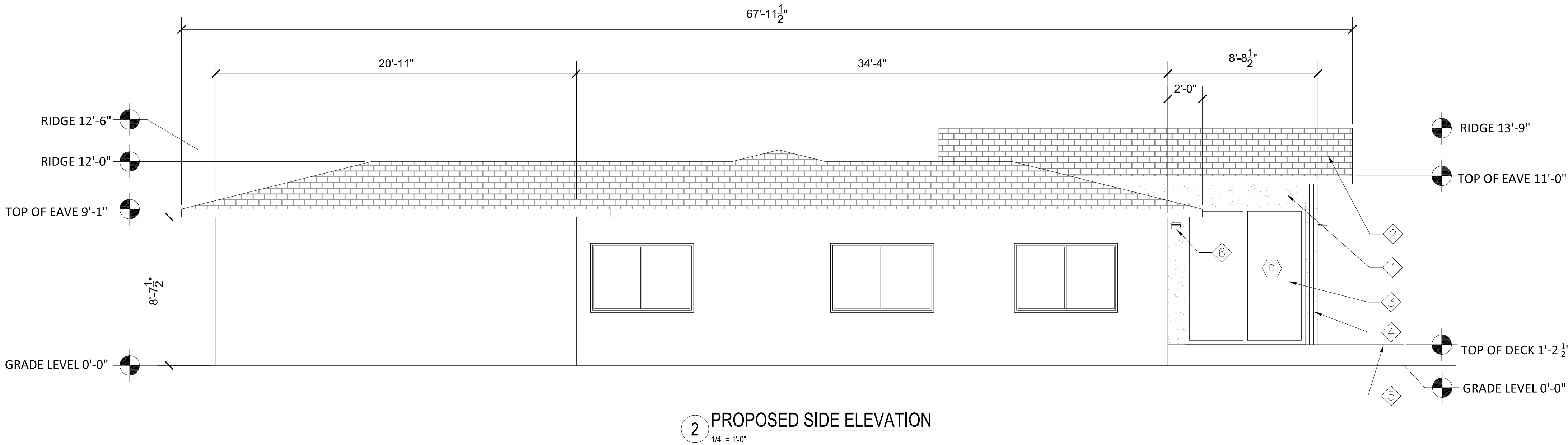
1. ALL DIMENSIONS TO BE V.I.F.
2. SEE STRUCTURAL DETAILS, S.S.D.

KEYNOTES

- 1 (N) EXTERIOR STUCCO TO MATCH EXISTING
- 2 (N) ASPHALT SHINGLES TO MATCH EXISTING - 3:12 ROOF PITCH
- 3 (N) WINDOWS
- 4 (N) DOWNSPOUT
- 5 (N) DECK
- 6 OUTDOOR WALL SCENCE LED WARM LIGHTS FOR PORCH/FRONT DOOR

DOORS & WINDOWS

- 1 3'-0" X 8'-0" OUT SWING DOOR WITH TEMPERED GLASS PANEL
- A (N) 47.75" X 19.5" CLERESTORY
- B (N) 47.75" X 19.5" CLERESTORY
- C (N) 14'-0" X 8'-0" OXXO SLIDERS W/ FIXED PANELS
- D (N) 7'-0" X 8'-0" SLIDER



PLANS PREPARED BY:

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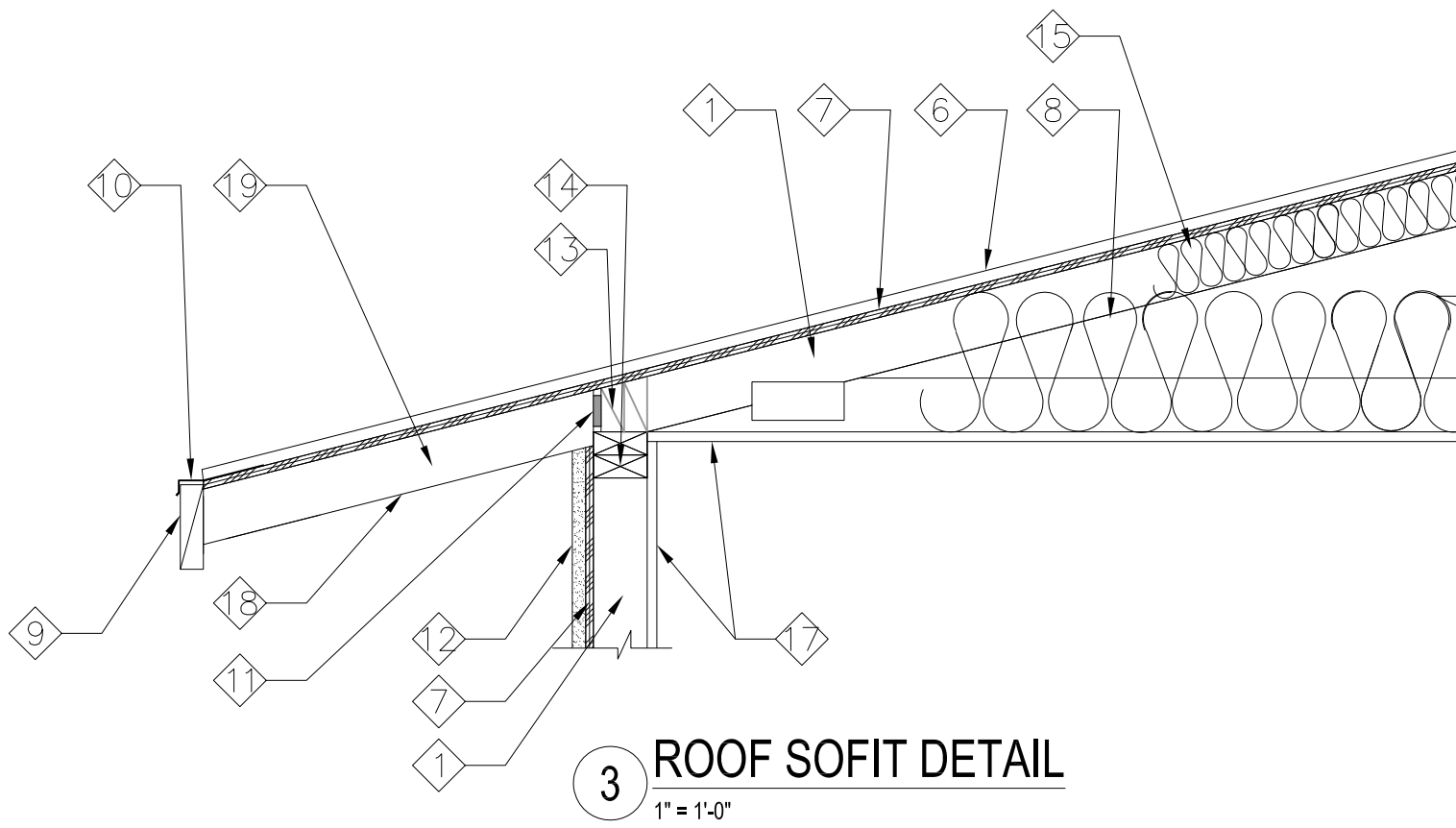
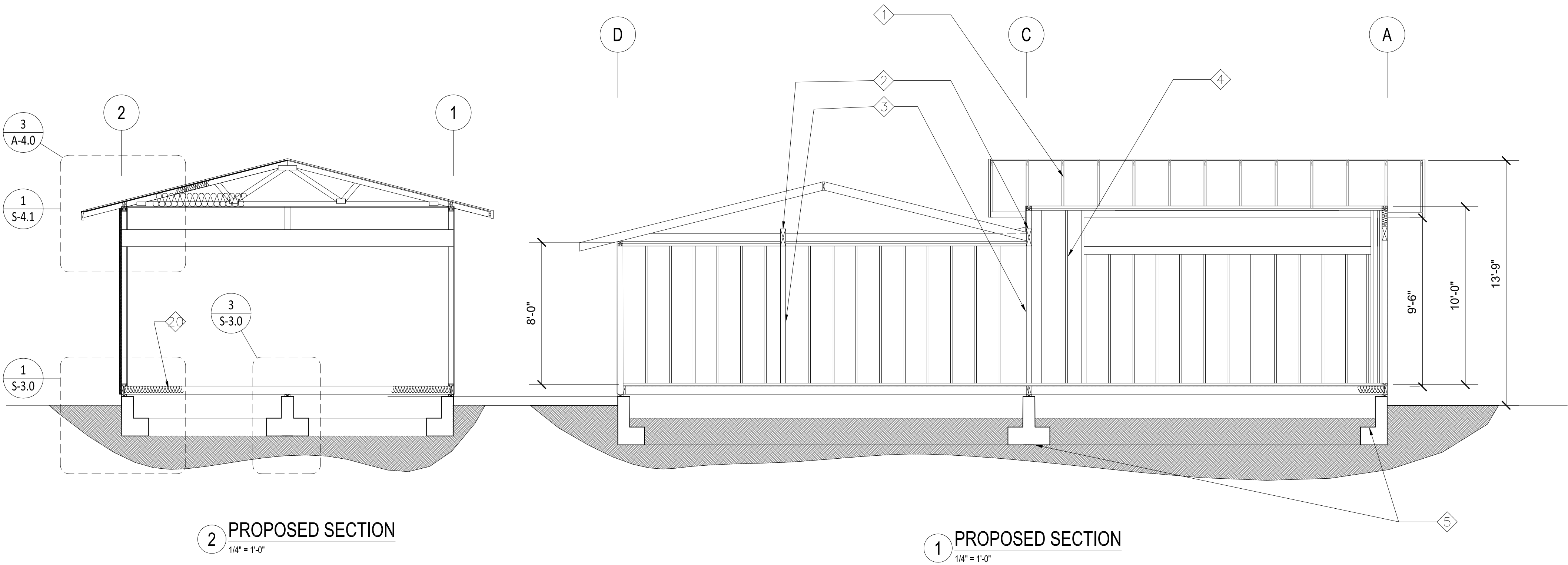
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APN # 157-201-05

PROPOSED
ELEVATIONS

A3.3



GENERAL NOTES

- 1. ALL DIMENSIONS TO BE V.I.F.
- 2. SEE STRUCTURAL DETAILS, S.S.D.
- 3. NEW WINDOWS AND GLASS DOORS NEED A U-FACTOR OF 0.30 AND A SHGC OF 0.23 MAX.
- 4. R-15 INSULATION IN THE EXTERIOR WALLS AT THE ADDITION
- 5. R-19 INSULATION IN THE RAISED FLOOR AT THE ADDITION
- 6. THE ROOF WE HAD TO GO WITH WHAT IS CALLED A HIGH PERFORMANCE ATTIC WHICH ENTAILS THE FOLLOWING:
- 7. R-30 INSULATION IN THE CEILING
- 8. R-13 BATT INSULATION APPLIED UNDER THE ROOF DECK

KEYNOTES

- 1 (N) PREFAB TRUSSES, S.S.D.
- 2 (N) BEAM
- 3 (N) 4X4 POST IN WALL TO SUPPORT NEW BEAM, S.S.D.
- 4 (N) 2X4 WALL FRAMING TO MATCH EXISTING
- 5 (N) FOUNDATION, S.S.D.
- 6 BUILT-UP ROOFING
- 7 1/2" PLYWOOD
- 8 R-30 ROOF INSULATION
- 9 FASCIA BOARD
- 10 FLASHING
- 11 EAVE VENT
- 12 STUCCO 5/8" PORTLAND CEMENT PLASTER W/ WOVEN WIRE LATH OVER 15# FELT W/ NO. 11 GAUGE 1 3/4" X 1/8" HEAD NAILS ON SIDES & REAR. EXTERIOR WALL COVERINGS TO BE INIGNITION-RESISTANT, NONCOMBUSTIBLE, OR TO BE A MATERIAL THAT HAS BEEN CERTIFIED AS MEETING THE TEST REQUIRMENTS OF SFM 12-7A-1- SEE GENERAL NOTE #9 ABOVE
- 13 BLOCKING
- 14 DOUBLE 2X4 TOP PLATE
- 15 R-13 ROOF INSULATION UNDER ROOF DECKING
- 16 R-15 WALL INSULATION AT ADDITION
- 17 5/8" GYP BD.
- 18 SIDING UNDER EAVES
- 19 2X6 OUTRIGGER @24" O.C., S.S.D. 2/S-4.1
- 20 R-19 FLOOR INSULATION

PLANS PREPARED BY:

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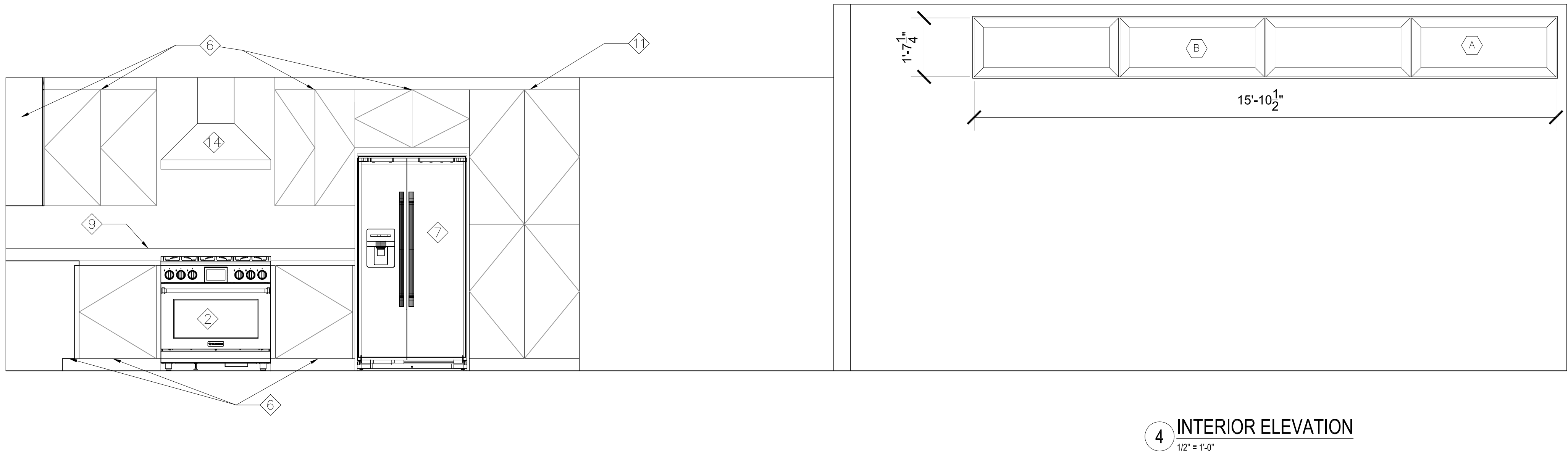
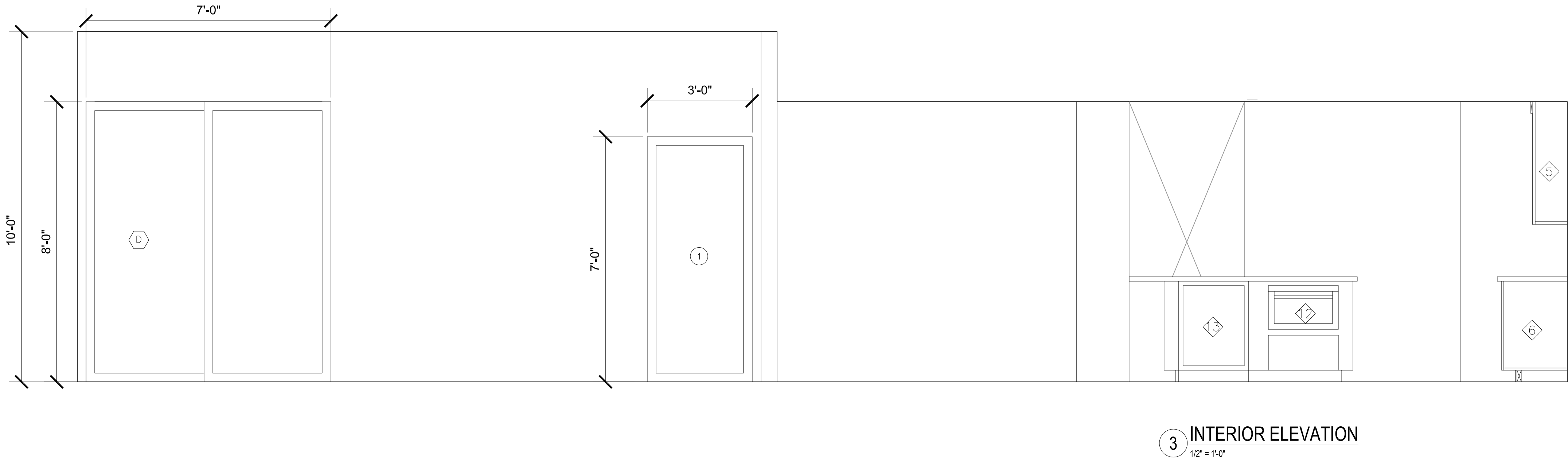
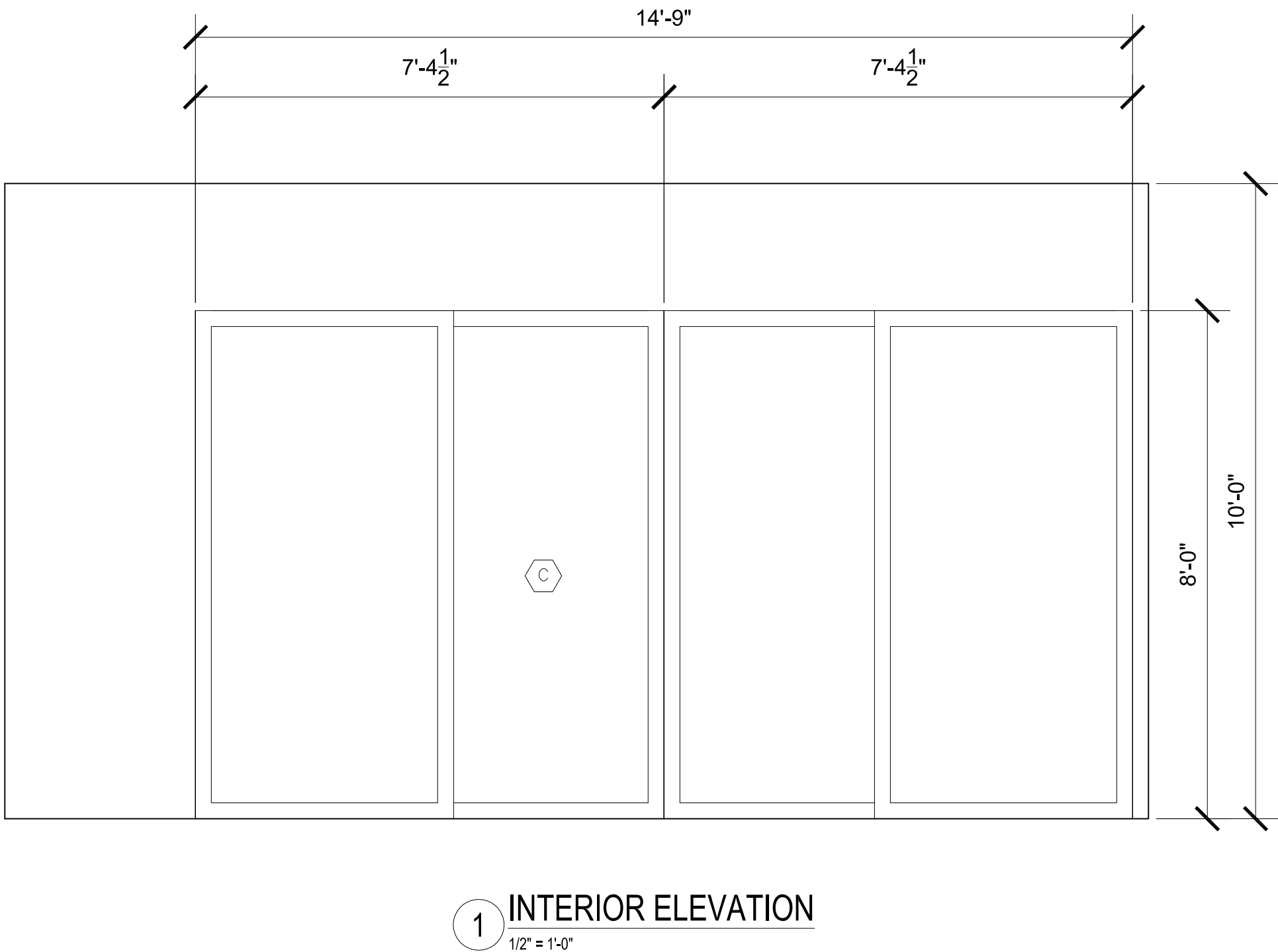
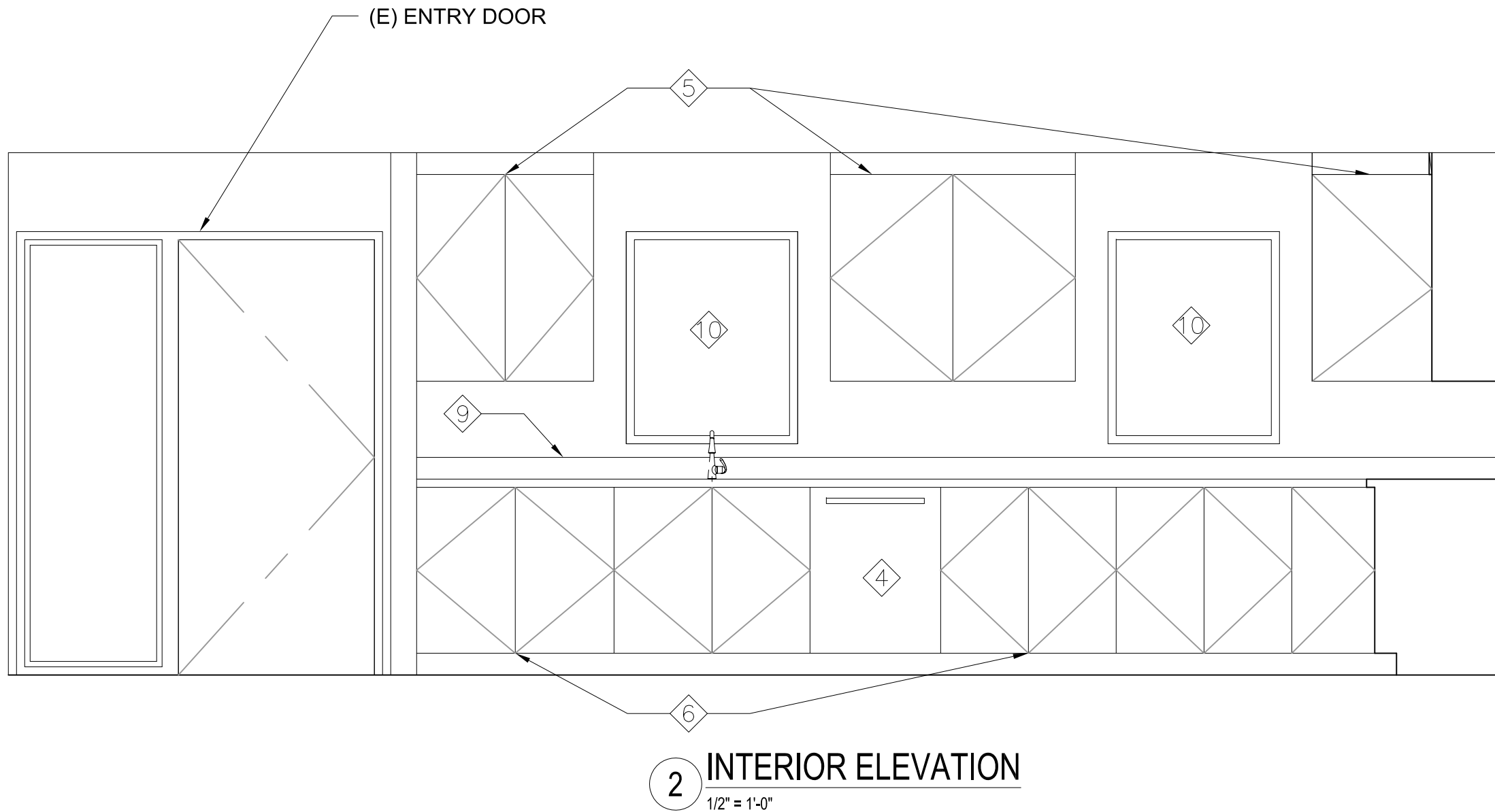
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APN # 157-201-05

PROPOSED
SECTION

A4.0



GENERAL NOTES

1. ALL DIMENSIONS TO BE V.I.F.
2. SEE STRUCTURAL DETAILS, S.S.D.

KEYNOTES

- 1 (N) FLOORING
- 2 (N) GAS RANGE
- 3 (N) SINK
- 4 (N) DISHWASHER
- 5 (N) UPPER CABINETS
- 6 (N) BASE CABINETS
- 7 (N) REFRIGERATOR
- 8 (N) KITCHEN FAUCET
- 9 BACK SPLASH TO MATCH COUNTER MATERIAL
- 10 EXISTING WINDOW
- 11 (N) PANTRY CABINET
- 12 (N) UNDER COUNTER MICROWAVE
- 13 (N) UNDER COUNTER FRIDGE
- 14 (N) EXHAUST HOOD OVER RANGE W/ MIN. SIZE OF 100 C.F.M. PER SECTION 150-O OF CAL. ENERGY CODE & ANSI/ASHARE STANDARD 62.2. SMOOTH DUCT WITH A MAXIMUM LENGTH OF 85'-0"

DOORS & WINDOWS

- 1 3'-0" X 8'-0" OUT SWING DOOR WITH TEMPERED GLASS PANEL
- A (N) 47.75" X 19.5" CLERESTORY
- B (N) 47.75" X 19.5" CLERESTORY
- C (N) 14'-0" X 8'-0" OXXO SLIDERS W/ FIXED PANELS
- D (N) 7'-0" X 8'-0" SLIDER

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APN # 157-201-05

INTERIOR
ELEVATIONS

A5.0

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 33 Montego Key

Calculation Date/Time: 2024-12-16T08:10:48-08:00

CF1R-PRF-01-E

Calculation Description: Title 24 Analysis

Input File Name: 33 Montego Key.rbd22x

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GENERAL INFORMATION									
01	Project Name	33 Montego Key							
02	Rev Title	Title 24 Analysis							
03	Project Location	33 Montego Key							
04	City	Novato	05	Standards Version	2022				
06	Zip code	94949	07	Software Version	EnergyPro 9.3				
08	Climate Zone	2	09	Front Orientation (deg/ Cardinal)	90				
10	Building Type	Single family	11	Number of Dwelling Units	1				
12	Project Scope	Addition and/or Alteration	13	Number of Bedrooms	4				
14	Addition Cond. Floor Area (ft ²)	337	15	Number of Stories	1				
16	Existing Cond. Floor Area (ft ²)	1271	17	Fenestration Average U-factor	0.3				
18	Total Cond. Floor Area (ft ²)	1608	19	Glazing Percentage (%)	21.63%				
20	ADU Bedroom Count	n/a	21	ADU Conditioned Floor Area	n/a				
22	Fuel Type	Natural gas	23	No Dwelling Unit:	No				

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features as shown below

Registration Number: 424-P010315534A-000-000-0000000-0000

Registration Date/Time: 12/16/2024 08:11

HERS Provider: CHEERS

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CA Building Energy Efficiency Standards - 2022 Residential Compliance

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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CF1R-PRF-01-E

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ENERGY USE SUMMARY						
Energy Use	Standards Design Source Energy (EDR1) (kBtu/ft ² - yr)	Standards Design TDV Energy (EDR2) (kBtu/ft ² - yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² - yr)	Proposed Design TDV Energy (EDR2) (kBtu/ft ² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	0	74.26	0	77.41	0	-3.15
Space Cooling	0	45.7	0	50.84	0	-5.14
IAQ Ventilation	0	0	0	0	0	0
Water Heating	0	23.46	0	34.19	0	9.27
Self Utilization/Flexibility Credit				0		0
Efficiency Compliance Total	0	133.42	0	142.44	0	0.98
Photovoltaics		0		0		
Battery				0		
Flexibility						
Indoor Lighting	0	7.99	0	7.99		
Appl. & Cooking	0	35.03	0	35.99		
Plug Loads	0	41.39	0	41.39		
Outdoor Lighting	0	1.74	0	1.74		
TOTAL COMPLIANCE	0	220.57	0	229.55		

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ENERGY USE INTENSITY				
	Standards Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Margin (kBtu/ft ² - yr)	Margin Percentage
Gross EUI ¹	34.04	33.9	0.14	0.41
Net EUI ²	34.04	33.9	0.14	0.41
Notes 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.				

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
- Insulation below roof deck: - New ductwork added is less than 25 ft. in length - Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	
Kitchen range hood	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name:	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
33 Montego Key	1608	1	4	2	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
Existing Zone	Conditioned	FAU1	1271	8	DHW Sys 1	Existing/Unchanged

Registration Number: 424-P010315534A-000-000-0000000-0000

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ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
Addition	Conditioned	FAU1	337	10	DHW Sys 1	New

OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
North Wall	Existing Zone	Existing Wall	0	Right	274	48	90	none	Existing	No
East Wall	Existing Zone	Existing Wall	90	Front	248	62.5	90	none	Existing	No
South Wall	Existing Zone	Existing Wall	180	Left	264	0	90	none	Existing	No
West Wall	Existing Zone	Existing Wall	270	Back	282	55.5	90	none	Existing	No
North Wall	Addition	R-15 Wall	0	Right	200	77	90	none	New	n/a
South Wall 2	Addition	R-15 Wall	180	Left	200	12.8	90	Extension	New	n/a
West Wall 2	Addition	R-15 Wall	270	Back	155	112	90	none	New	n/a
Wall to Garage	Existing Zone>>__Garage__	Existing Wall1	n/a	n/a	132	0	n/a		Existing	No
Interior Surface	Addition	Interior Wall	n/a	n/a	100	0	n/a		New	n/a
Roof	Existing Zone	Existing Roof	n/a	n/a	1271	n/a	n/a		Existing	No
Roof 2	Addition	R-30 HP Attic	n/a	n/a	337	n/a	n/a		New	n/a
Roof 3	__Garage__	Existing Roof	n/a	n/a	370	n/a	n/a		Existing	No
Raised Floor	Existing Zone	Existing Floor	n/a	n/a	1271	n/a	n/a		Existing	No
Raised Floor 2	Addition	R-19 Floor Crawlspace	n/a	n/a	337	n/a	n/a		New	n/a
North Wall 2	__Garage__	Garage Wall	0	Right	167	0	90	none	Existing	No
East Wall 2	__Garage__	Garage Wall	90	Front	155	112	90	none	Existing	No
South Wall 3	__Garage__	Garage Wall	180	Left	167	0	90	none	Existing	No
West Wall 3	__Garage__	Garage Wall	270	Back	155	0	90	none	Existing	No

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ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic__Garage__	Attic Garage Roof Cons	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Existing Zone	Attic Roof Existing Zone	Ventilated	4	0.1	0.85	No	No	Existing	No
Attic Addition	Attic Roof Addition	Ventilated	4	0.1	0.85	No	No	New	n/a

FENESTRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	SHGC Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	North Wall	Right	0			1	48	0.55	Table 110.6-A	0.67	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	East Wall	Front	90			1	42.5	0.55	Table 110.6-A	0.67	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	West Wall	Back	270			1	55.5	0.55	Table 110.6-A	0.67	Table 110.6-B	Bug Screen	Existing	No
Glass Door 1	Window	North Wall	Right	0			1	21	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Sliding Door D	Window	North Wall	Right	0			1	56	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window A	Window	South Wall 2	Left	180			1	6.4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Window B	Window	South Wall 2	Left	180			1	6.4	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA
Sliding Door C	Window	West Wall 2	Back	270			1	112	0.3	NFRC	0.23	NFRC	Bug Screen	New	NA

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Input File Name: 33 Montego Key.rbd22x

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OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition
Front Door	East Wall	20	0.5	Existing	No
Door	East Wall 2	112	1	Existing	No

SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab-on-Grade	__Garage__	370	61.2	none	0	0%	No	Existing	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Garage Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
Existing Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
Existing Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board

Registration Number: 424-P010315534A-000-000-0000000-0000

Registration Date/Time: 12/16/2024 08:11

HERS Provider: CHEERS

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CA Building Energy Efficiency Standards - 2022 Residential Compliance

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PLANS PREPARED BY:

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PERMIT SUBMITTAL: 12/01/2025

DESIGN REVIEW SUBMITTAL 02/12/2026

DESIGN REVIEW RESUBMITTAL 6/16/2026

REAR ADDITION
33 MONTEGO KEY
NOVATO CA. 94949

DRAWN BY: AM

DATE: 12/01/2025

APN # 157-201-05

TITLE 24
ENERGY CALCS

A6.0

OPAQUE SURFACE CONSTRUCTIONS						
01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor
Interior Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277
Attic Garage Roof Cons	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644
Attic RoofExisting Zone	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / 0	0.644
Attic RoofAddition	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-13	None / 0	0.078
Existing Floor	Floors Over Crawlspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046
Existing Roof	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.088

OPAQUE SURFACE CONSTRUCTIONS											
01	02	03	04	05	06	07	08				
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly layers				
R-30 HP Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-30	None / None	0.032	Over Ceiling Joists: R-20.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board				
BUILDING ENVELOPE - HERS VERIFICATION											
01	02	03	04	05							
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50							
Not Required	Not Required	N/A	n/a	n/a							
WATER HEATING SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (9)	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)	Altered	No	
WATER HEATERS - NEEA HEAT PUMP											
01	02	03	04	05	06	07	08				
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source				
DHW Heater 1	1	50	A. O. Smith	HPTS-50 2** (50gal, J413)	TankZone	__Garage__	__Garage__				

WATER HEATING - HERS VERIFICATION															
01	02	03	04	05	06	07									
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery									
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required									
SPACE CONDITIONING SYSTEMS															
01	02	03	04	05	06	07	08	09	10	11	12				
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Existing HVAC System				
FAU1	Heating and cooling system other	Heating Component 1	1	Cooling Component 1	1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No					
HVAC - HEATING UNIT TYPES															
01	02	03	04	05											
Name	System Type	Number of Units	Heating Efficiency	Heating Unit Brand											
Heating Component 1	Central gas furnace	1	AFUE - 95	n/a											
HVAC - DISTRIBUTION SYSTEMS															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Duct Ins. R-value	Duct Location	Surface Area	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts >= 25 ft			
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hera-dist	Existing + New	No		No

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.58	n/a

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Tyler Dodd	Documentation Author Signature: <i>Tyler Dodd</i>
Company: EnergySoft	Signature Date: 12/16/2024
Address: 1025 5th Street Novato, CA 94947	CEA / HERS Certification Identification (if applicable): 415-897-6400
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Tyler Dodd	Responsible Designer Signature: <i>Tyler Dodd</i>
Company: EnergySoft	Date Signed: 12/16/2024
Address: 1025 5th Street Novato, CA 94947	License: 415-897-6400

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