

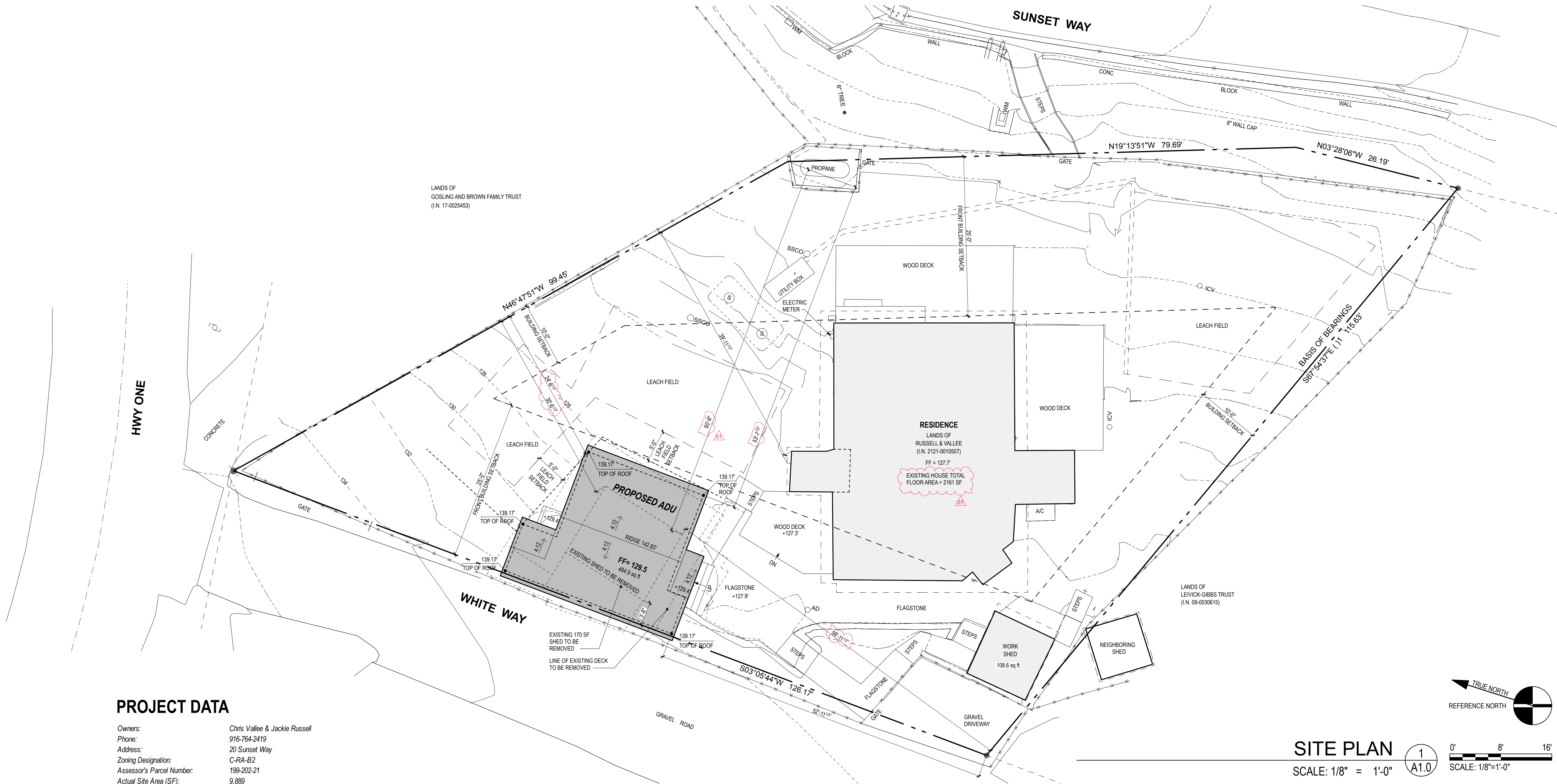
THE BUTTERFLY HOUSE

20 SUNSET WAY
MUIR BEACH CA
AP# 199-202-21

SITE PLAN &
PROJECT
INFORMATION

SHEET

A1.0



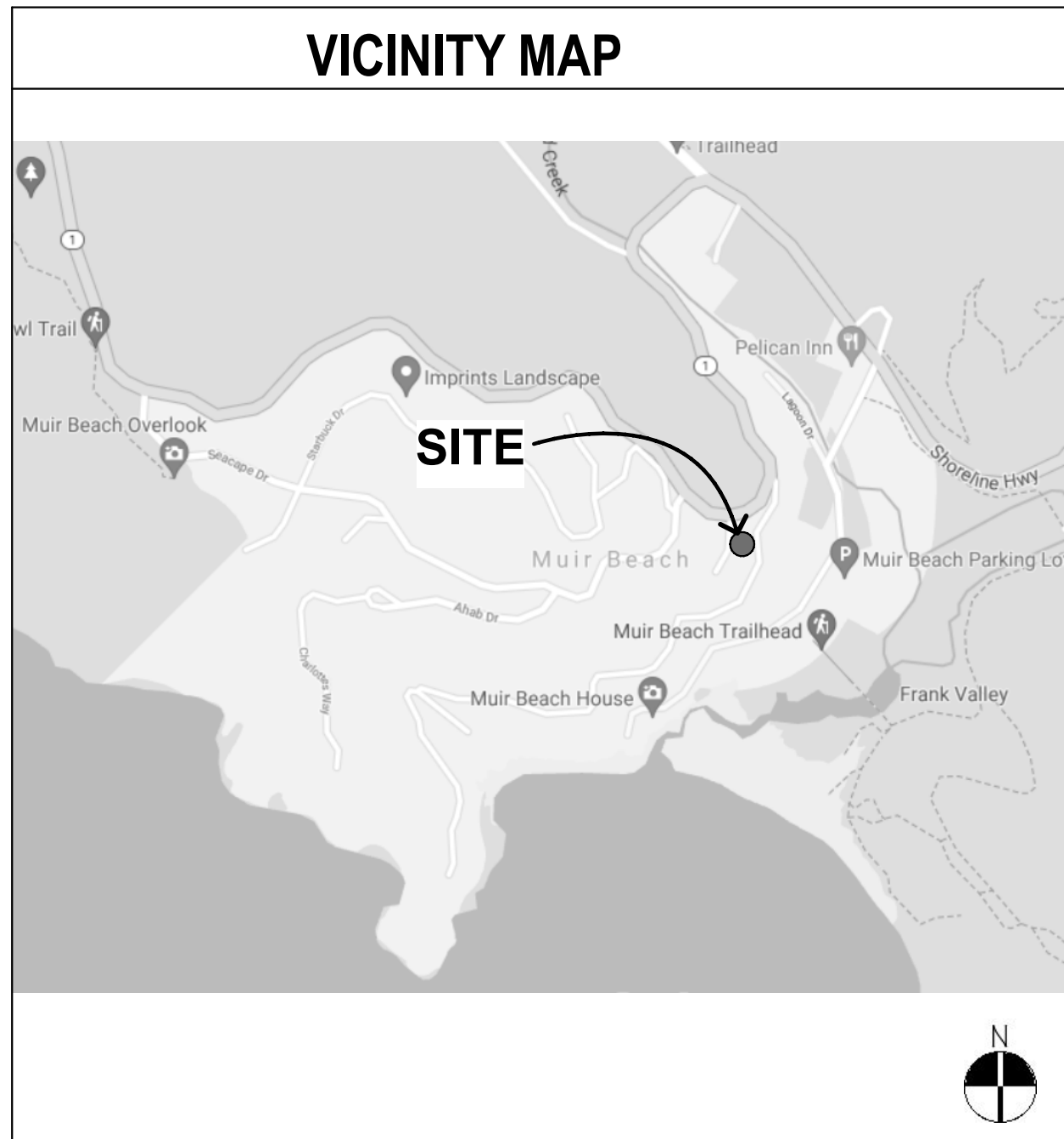
PROJECT DATA

Owners: Chris Vallee & Jackie Russell
Phone: 916-764-2419
Address: 20 Sunset Way
Zoning Designation: C-RA-B2
Assessor's Parcel Number: 199-202-21
Actual Site Area (SF): 9,889
Occupancy Type: R-3
Building Type: V-B

Lot Development Data		
Required Project Data	Existing	Proposed
Lot Area (square feet)	9889	
Building Area (square feet)	3256	3571
Floor Area (square feet)	2161 + 170 + 109 = 2440	2161 + 109 + 485 = 2755
Area of Disturbance (square feet)		850
Lot Coverage - Impervious (square feet)	1888	2108
Lot Coverage - Pervious (square feet)	8001	7783
Grading - Cut (cubic yards)	-	66
Grading - Fill (cubic yards)	-	0
Grading - Off-haul (cubic yards)	-	66
Number of Parking Spaces	0	0
Number of lots (subdivisions only)	NA	NA

Primary Building Data		
Required Project Data	Existing	Proposed
Maximum Building Height (feet)	29'-3" +/-	NA
Setback distance - Front property line (feet)	17'-3"	NA
Setback distance - Left side property line (feet)	39'-4"	NA
Setback distance - Right side property line (feet)	15'-0"	NA
Setback distance - Rear property line (feet)	25'-5" (also front)	NA

Accessory Building Data		
Required Project Data	Existing	Proposed
Maximum Building Height (feet)	?	15'
Setback distance - Front property line (feet)	3'-8"	0'-0"
Setback distance - Left side property line (feet)	30'-6"	24'-6"
Setback distance - Right side property line (feet)	58'-11"	52'-11"
Setback distance - Rear property line (feet)	60'-6" (also front)	53'-7" (also front)



SCOPE OF WORK
DEMOLISH EXISTING 170 UNIT AND BUILD NEW 485 SF ADU

CODES
All construction shall comply with all local codes and ordinances and the codes listed below: 2022 California Residential Code: CRC 2022 California Mechanical Code: CMC 2022 California Electrical Code: CEC 2022 California Plumbing Code: CPC 2022 California Fire Code 2022 California Energy Code: CEnC 2022 California Building Code: CBC 2022 California Green Building Standards: CalGreen County of Marin Municipal Code

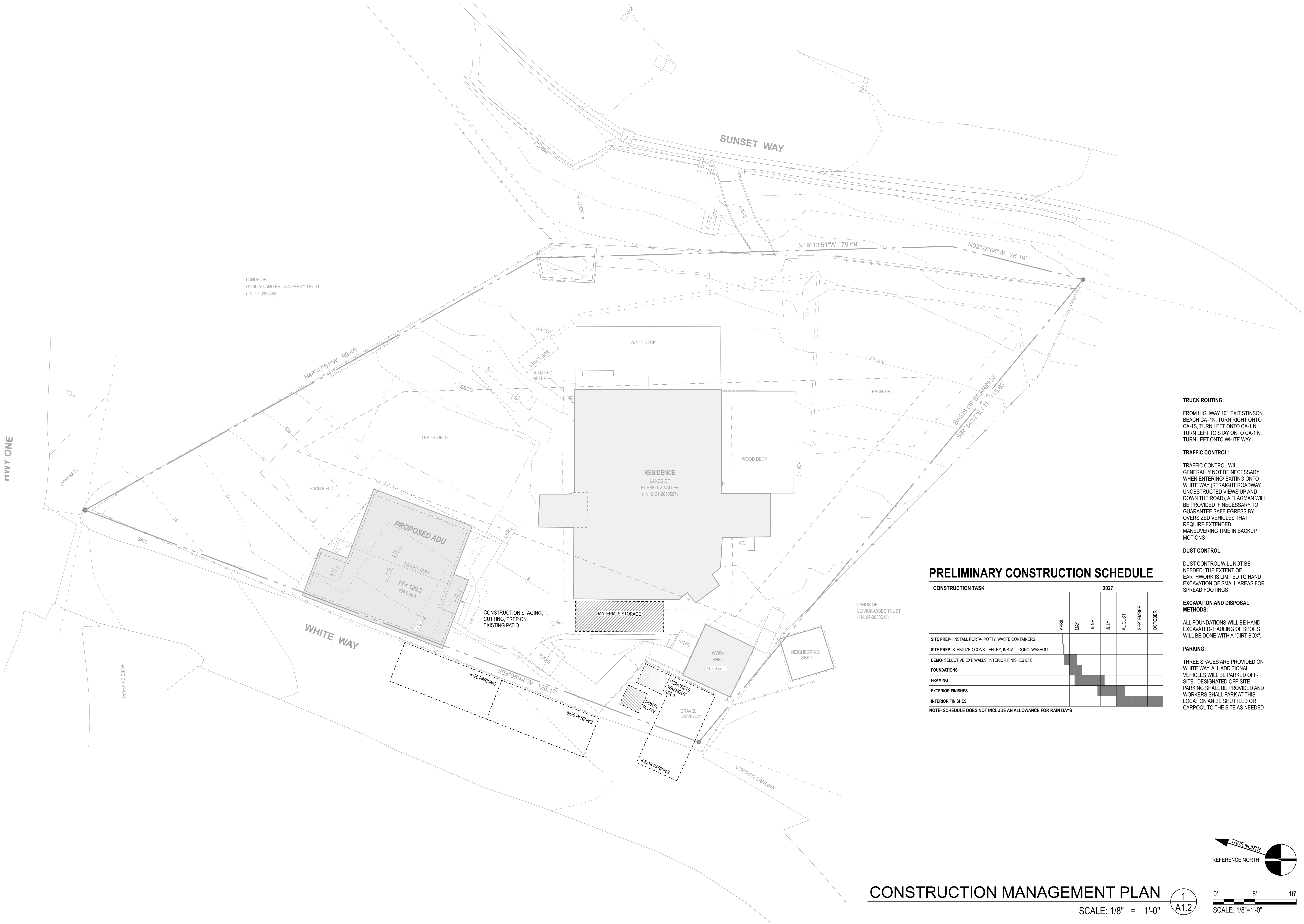
INDEX OF DOCUMENTS
ARCHITECTURE A1.0 PROJECT INFORMATION & SITE PLAN A1.1 FLOOR PLAN, EXTERIOR ELEVATIONS & BUILDING SECTION A1.2 CONSTRUCTION MANAGEMENT PLAN CIVIL C1.0 TITLE SHEET, NOTES & LEGEND C2.0 GRADING & DRAINAGE PLAN C3.0 IMPERVIOUS COVER PLAN SEPTIC AS BUILT DWGS A OF 3 SITE PLAN 2 OF 3 CONSTRUCTION DETAILS 3 OF 3 CONSTRUCTION DETAILS

PROJECT TEAM	
OWNER	Chris & Jackie Vallee 20 Sunset Way Muir Beach, CA 94965 Tel: 916-764-2419
DESIGNER	Laura Van Amburgh 5 Sunset Way Muir Beach, CA 94965 Tel: 415-259-9989 vanamburgh@mac.com
SEPTIC	Eckman Environmental Design, Inc 100 Shoreline Highway Mill Valley, CA 94941 Tel: 510-390-3992 roadiah.eckman@gmail.com

[illegible]

PRINT DATE	8/10/26
DRAWN	LV
JOB #	2101
SCALE	NOTED

HWY ONE



PRELIMINARY CONSTRUCTION SCHEDULE

CONSTRUCTION TASK	2027									
	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER			
SITE PREP - INSTALL PORTA- POTTY, WASTE CONTAINERS										
SITE PREP - STABILIZED CONST. ENTRY; INSTALL CONC. WASHOUT										
DEMO- SELECTIVE EXT. WALLS, INTERIOR FINISHES ETC										
FOUNDATIONS										
FRAMING										
EXTERIOR FINISHES										
INTERIOR FINISHES										

NOTE- SCHEDULE DOES NOT INCLUDE AN ALLOWANCE FOR RAIN DAYS

TRUCK ROUTING:

FROM HIGHWAY 101 EXIT STINSON BEACH CA-1N, TURN RIGHT ONTO CA-1S, TURN LEFT ONTO CA-1 N, TURN LEFT TO STAY ONTO CA-1 N, TURN LEFT ONTO WHITE WAY

TRAFFIC CONTROL:

TRAFFIC CONTROL WILL GENERALLY NOT BE NECESSARY WHEN ENTERING/ EXITING ONTO WHITE WAY (STRAIGHT ROADWAY, UNOBSTRUCTED VIEWS UP AND DOWN THE ROAD), A FLAGMAN WILL BE PROVIDED IF NECESSARY TO GUARANTEE SAFE EGRESS BY OVERSIZED VEHICLES THAT REQUIRE EXTENDED MANEUVERING TIME IN BACKUP MOTIONS

DUST CONTROL:

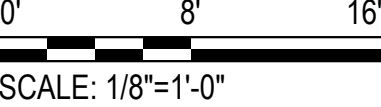
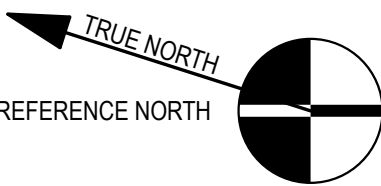
DUST CONTROL WILL NOT BE NEEDED; THE EXTENT OF EARTHWORK IS LIMITED TO HAND EXCAVATION OF SMALL AREAS FOR SPREAD FOOTINGS

EXCAVATION AND DISPOSAL METHODS:

ALL FOUNDATIONS WILL BE HAND EXCAVATED- HAULING OF SPOILS WILL BE DONE WITH A 'DIRT BOX'.

PARKING:

THREE SPACES ARE PROVIDED ON WHITE WAY; ALL ADDITIONAL VEHICLES WILL BE PARKED OFF-SITE. DESIGNATED OFF-SITE PARKING SHALL BE PROVIDED AND WORKERS SHALL PARK AT THIS LOCATION AN BE SHUTTLED OR CARPOOL TO THE SITE AS NEEDED



CONSTRUCTION MANAGEMENT PLAN

SCALE: 1/8" = 1'-0"

1
A1.2

THE BUTTERFLY HOUSE

20 SUNSET WAY
MUIR BEACH CA
AP# 199-202-21

Laura Van Amburgh Design
5 Sunset Way
Muir Beach, CA 94965
Phone 415 259 9989
vanamburgh@mac.com

CONSTRUCTION MANAGEMENT PLAN

SHEET

A1.2

DESIGN REVIEW PLANS (CIVIL)

FOR

20 SUNSET WAY MUIR BEACH, CALIFORNIA

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAL FEET
AC	ASPHALTIC CONCRETE	LFF	LOWER FINISHED FLOOR
AD	AREA DRAIN	LP	LIP OF GUTTER
APPROX	APPROXIMATE	LP	LOW POINT
BFP	BACK FLOW PREVENTOR	LT	LEFT
BC	BEGIN HORIZONTAL CURVE	MAX	MAXIMUM
B COR	BUILDING CORNER	MH	MANHOLE
BFP	BACKFLOW PREVENTER	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCH MARK	NG	NATURAL GROUND
BNDY	BOUNDARY	NIC	NOT INCLUDED IN CONTRACT
BSW	BACK OF SIDEWALK	NTS	NOT TO SCALE
BVC	BEGIN VERTICAL CURVE	OH	OVERHEAD
BVCE	BEGIN VERTICAL CURVE ELEVATION	PA	PLANTER AREA (SEE LANDSCAPE PLANS)
BW	BOTTOM OF WALL	PG&E	PACIFIC GAS & ELECTRIC
BackW	BACK OF WALL	P/L PL	PROPERTY LINE
CATV	CABLE TELEVISION	PP	POWER POLE
CB	CATCH BASIN	PRO	PROPOSED
C&G	CURB & GUTTER	PVMT	PAVEMENT
CL	CENTERLINE	R	RADIUS
C/L	CORRUGATED METAL PIPE	REF	REFERENCE
CMP	CLEANOUT	REINF	REINFORCED
CO	CONCRETE	REQ'D	REQUIRED
CONC	CONSTRUCTION	RET WALL	RETAINING WALL
CONT	CONTINUOUS	RT	RIGHT
CU FT, CF	CUBIC FEET	R/W, ROW	RIGHT OF WAY
CY	CUBIC YARDS	SCH	SCHEDULE
DI	DROP INLET	SD	STORM DRAIN
DIA	DIAMETER	SDMH	STORM DRAIN MANHOLE
DS	DOWNSPOUT	SDCO	STORM DRAIN CLEANOUT
DWG	DRAWING	SF	SQUARE FEET
DWY, D/W	DRIVEWAY	SS	SANITARY SEWER
EC	END HORIZONTAL CURVE	SSCO	SANITARY SEWER CLEAN OUT
EG	EXISTING GRADE	SSMH	SANITARY SEWER MANHOLE
EL, ELEV	ELEVATION	STA	STATION
ELEC	ELECTRIC	STD	STANDARD
EP	EDGE OF PAVEMENT	SW, S/W, SWK	SIDEWALK
ESMT	EASEMENT	TB OR TOB	TOP OF BANK
EVC	END VERTICAL CURVE	TC	TOP OF CURB
BVCE	END VERTICAL CURVE ELEVATION	TD	TOP OF DECK
EXIST, EX, (E)	EXISTING	TG	TOP OF GRATE
FG	FINISH GRADE	TELE OR TEL	TELEPHONE
FF	FINISH FLOOR	TEMP	TEMPORARY
FH, HYD	FIRE HYDRANT	TOE	TOE OF BANK
FL, INV	FLOWLINE	TS	TURNING STRUCTURE
FS	FINISHED SURFACE	TRANS	TRANSFORMER
G	GAS MAIN	TW OR TOW	TOP OF WALL
GB	GRADE BREAK	TYP	TYPICAL
GFF	GARAGE FINISHED FLOOR	UTIL	UTILITY
GR	GRATE	VAR	VARIES
H	HEIGHT	VC	VERTICAL CURVE
HP	HIGH POINT	VERT	VERTICAL
JP	JOINT POLE	VIF	VERIFY IN THE FIELD
JT	JOINT TRENCH	W, WTR	WATER LINE
L	LENGTH	WM	WATER METER

SYMBOLS LEGEND

PROPERTY LINE	---
LOT LINE	---
CENTERLINE	---
EASEMENT LINE	---
FENCE	—●—●—●—
PERIMETER OF BUILDING	—/—/—/—/—
CONTOUR & ELEVATION	35
CUT/FILL; DAYLIGHT LINE	-----
DIRECTION OF FLOW	→
SIDEWALK	—●—●—●—
PAVEMENT	—■—■—■—■—
CONCRETE	—■—■—■—■—
GRAVEL PATH	—■—■—■—■—
RETAINING WALL	—■—■—■—■—
ROCK WALL	—■—■—■—■—
JOINT TRENCH	—JT—
OVERHEAD LINE	—OH—
WATER LATERAL	—W—
FIRE SPRINKLER LINE	—FSL—
SANITARY SEWER LINE	—4"SS—
STORM DRAIN LINE	—6"SD—
STORM DRAIN SUBDRAIN	—4"SUB—
SUBDRAIN PIPE	—4"SD—
DEDICATED TIGHT SD PIPE FOR SUBDRAIN FLOWS	—4"SD—
DROP INLET	—■—
AREA DRAIN	—■—
DOWNSPOUT	DS ●
STORM DRAIN MANHOLE	SD ●
SANITARY SEWER MANHOLE	SS ●
CLEANOUT	CO ●
GUY	—G—
POWER POLE	P ●
JOINT UTILITY POLE	—JP—
JOINT POLE W/STREET LIGHT	—JP—
STREET LIGHT	—SL—
FIRE HYDRANT	—FH—
WATER METER	—WM—
SIGN	—S—
SPOT ELEVATION	—SE—
DIRECTION OF FLOW	→
SURVEY CONTROL POINT	—SC—
CENTERLINE MONUMENT	—CM—
PEDESTRIAN RAMP	—PR—
TREE SYMBOL & DRIP LINE	—T—
DETAIL REFERENCE	—A1—
SHEET NUMBER	—120—

GENERAL NOTES

- All work and materials shall conform to the Cities and County of Marin Uniform Construction Standards and Standard Specifications, and the State of California Standard Plans and Specifications, where applicable.
- The contractor shall notify the County Department of Public Works 48 hours prior to starting any work.
- The contractor shall obtain applicable permits from the issuing agencies prior to commencing any work.
- Tarnoff Engineering Corporation shall not be responsible for any unauthorized changes to, or uses of these plans. The contractor shall assume complete responsibility for any and all changes to these plans without the written authorization of Tarnoff Engineering Corporation.
- All changes to the plans must be in writing, and must be approved by Tarnoff Engineering Corporation.
- The topographic information shown on these plans is provided by others. Tarnoff Engineering Corporation makes no warranties, either expressed or implied, as to the accuracy of this data. The Contractor shall be responsible for notifying Tarnoff Engineering Corporation if there are any topographic discrepancies that impact the plan design or the constructability of any planned improvement.
- The location of existing utilities shown on these plans is approximate only. The type, size, depth, and location of all existing utilities should be verified by the contractor prior to commencing any site work, including demolition. If the actual location of any utility is different from what is shown on the plans, and impacts the design or constructability of any planned improvement, the Contractor shall notify Tarnoff Engineering Corporation so that an alternate solution can be approved.
- The geotechnical aspects of the construction, including site clearing, new building and site retaining wall foundation excavations, site/building retaining wall backdrains and backfill, placement and compaction of engineered fill below new foundations and slabs, hardscape subgrade and underlayment preparation, and backfill in utility trenches should be performed in accordance with the recommendations of the geotechnical report prepared by Murray Engineers, Inc., dated February 12, 2024. Murray Engineers, Inc. should be provided at least 48 hours advance notification (415-888-8952) of any earthwork operations and should be present to observe and test, as necessary, the earthwork, foundation, and drainage installation phases of the project.
- The engineer shall certify to the County that all grading and drainage improvements were installed per the approved plans and field direction.

EROSION + SEDIMENT CONTROL NOTES

- All disturbed areas to be revegetated or stabilized with adequate soil cover (straw mulch with tackifier, hydroseed, or erosion control blankets), for areas inactive for more than 14 days and prior to forecasted rain events. Woven coconut mats or equal shall be used for all exposed graded slope areas. Steeper embankments may require geotextile fabric enforcement to prevent erosion. Do not use loose straw mulch.
- The engineer shall have the authority to modify all erosion control measures as necessary to meet MCSTOPPP standards.
- Interim erosion control: if storm events or site conditions prevent the completion of the site grading, and installation of the proposed storm drain pipe, interim erosion control measures may be required. The engineer shall be consulted for any interim or temporary erosion control measures, and any change to this plan must comply with MCSTOPPP standards.
- For hazardous waste management and sanitary waste management, the contractor must follow best management practices, the guidelines in the basmaa post-construction manual, the marin county code, and the mill valley sanitary district requirements.

CONSTRUCTION NOTES

- The project engineer and geotechnical engineer shall be given minimum 48 hours notice for any required inspection.
- No grading allowed between October 1 and April 1 without written consent from the authorizing agency.
- All permanent embankments shall be constructed at slopes of 2:1 or flatter, or as directed by the project geotechnical engineer.
- All tops and toes of graded embankments shall be rounded.
- All embankments and graded areas shall be treated with erosion control measures (per details in this plan set, or as directed by agency officials) by October 1, and maintained until April 1. Sediment control is required year-round to prevent offsite tracking or release of airborne particles.
- Dust control must be maintained at all times. Watering or covering graded areas, sweeping, and all other Best Management Practices must be maintained onsite. No silt, dirt, mud, or debris may accumulate in the public right of way.
- All excess materials must be stockpiled and covered properly, or placed at an approved fill site.
- The contractor is responsible for matching streets, surrounding landscape, and other improvements with a smooth transition – be it for grading, paving, curbs, gutters, sidewalks, etc. Contractor shall avoid abrupt or apparent grade changes, cross slopes, low spots (except for where intended), or hazardous conditions.
- All trees to be saved shall be protected per landscape architect or arborist details.
- If any archeological, historical, or paleontological materials are uncovered, discovered, or otherwise detected or observed during project grading and construction operations, work will cease immediately within the vicinity of the discovery until a qualified archeologist can be brought to the site for an assessment of the resources.
- Any subdrain information shown on these plans is for informational purposes only. Subdrain placement and construction shall adhere to the recommendations of, and direction from the project geotechnical engineer.
- All private sanitary storm drain pipe shall be PVC SCH-40, or approved equal. Private large diameter storm drain pipe shall be Hancor N-12 HDPE pipe, or equal. Private sewer pipe shall be HDPE SDR-17, PVC C-900 CL 150, or as allowed by RVSd.
- Stationing is generally along roadway or driveway centerline, unless otherwise shown or indicated.
- Curb return radii and data are to the face of curb.
- Lengths of utility pipes are horizontal distances from center to center of structure, rounded to the nearest tenth of a foot.
- Traffic control during construction shall comply with the California Manual on Uniform Traffic Control Devices (CMUTCD).
- Signing and Striping shall be in accordance with the applicable details from the CMUTCD, latest edition.
- Manhole, grate, and rim elevations are approximate only. The contractor shall be responsible for adjusting rims and covers to match finished grade.
- Best Management Practices must be applied at all times during construction.
- An Encroachment Permit will be required if any work occupies the public Right of Way, including roadway easements to the City, and involves demolition, parking, loading, erosion control, debris bin, equipment operation, etc.

SHEET INDEX

- | | |
|------|-----------------------------|
| C1.0 | TITLE SHEET, NOTES & LEGEND |
| C2.0 | GRADING & DRAINAGE PLAN |
| C3.0 | IM/PERVIOUS COVER PLAN |



1442 A Walnut St. #428
Berkeley, CA 94709
415.279.5996
www.tarnoffengineering.com

Prepared under the Direction of:



Michael L. Tarnoff
RCE 48596 Exp. 06/30/2028

VALLEE RESIDENCE
20 SUNSET WAY, MUIR BEACH, CA
TITLE SHEET, NOTES & LEGEND

REVISION BLOCK

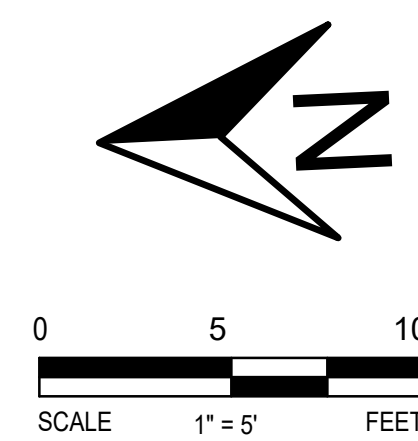
No.	Date	Description

PROJECT NO. 2606
PROJECT DATE 08/10/2026
REVIEWED BY MLT

SHEET

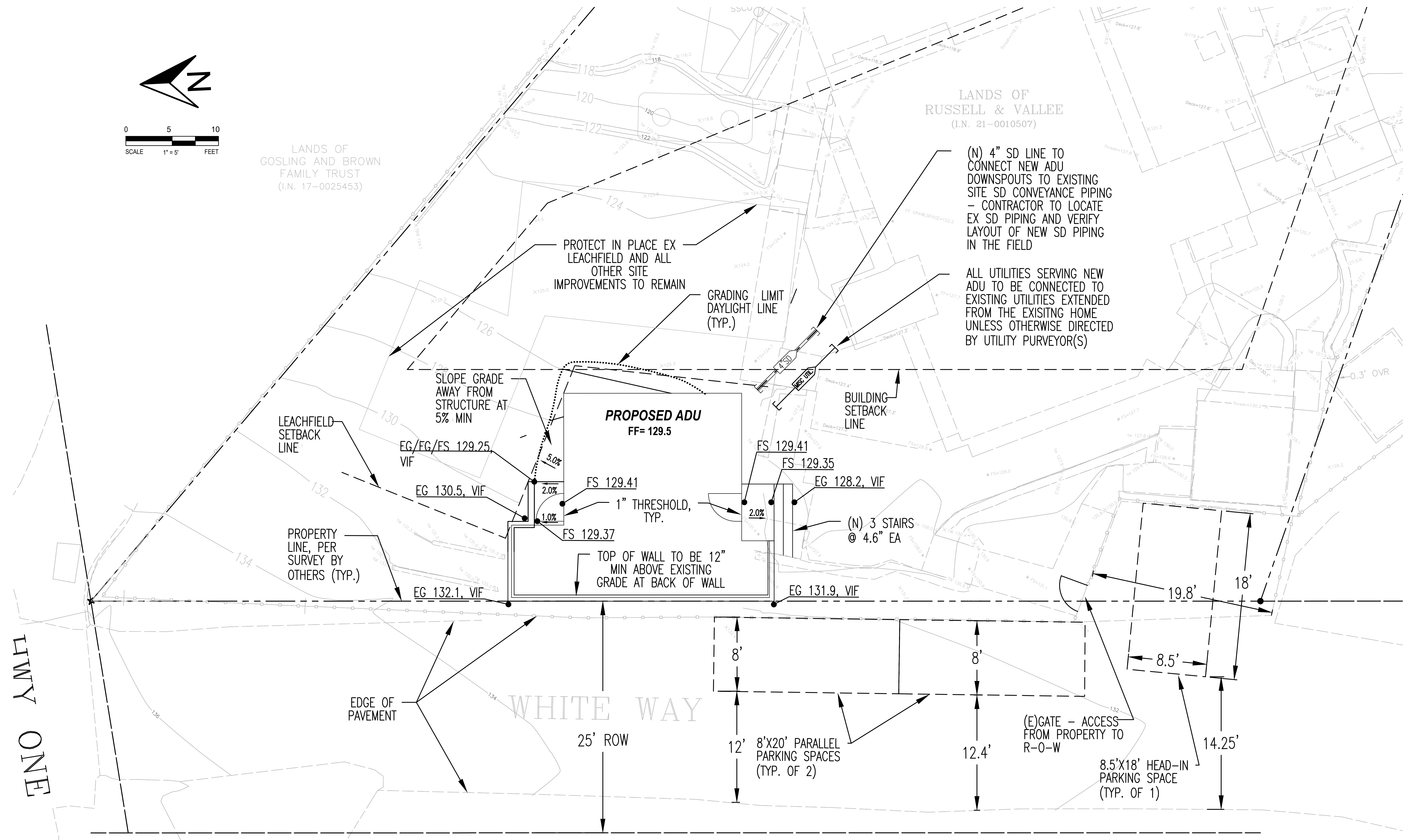
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1 OF 3 SHEETS



LANDS OF
GOSLING AND BROWN
FAMILY TRUST
(I.N. 17-0025453)

LANDS OF
RUSSELL & VALLEE
(I.N. 21-0010507)



(N) 4" SD LINE TO
CONNECT NEW ADU
DOWNSPOUTS TO EXISTING
SITE SD CONVEYANCE PIPING
- CONTRACTOR TO LOCATE
EX SD PIPING AND VERIFY
LAYOUT OF NEW SD PIPING
IN THE FIELD

ALL UTILITIES SERVING NEW
ADU TO BE CONNECTED TO
EXISTING UTILITIES EXTENDED
FROM THE EXISTING HOME
UNLESS OTHERWISE DIRECTED
BY UTILITY PURVEYOR(S)

PROTECT IN PLACE EX
LEACHFIELD AND ALL
OTHER SITE
IMPROVEMENTS TO REMAIN

GRADING
DAYLIGHT
(TYP.)

BUILDING
SETBACK
LINE

LEACHFIELD
SETBACK
LINE

PROPERTY
LINE, PER
SURVEY BY
OTHERS (TYP.)

EDGE OF
PAVEMENT

WHITE WAY

25' ROW

8'X20' PARALLEL
PARKING SPACES
(TYP. OF 2)

(E)GATE - ACCESS
FROM PROPERTY TO
R-O-W

8.5'X18' HEAD-IN
PARKING SPACE
(TYP. OF 1)

NOTES

1. SITE STORM DRAIN AND SUBDRAIN SHALL BE 4" PVC SCHEDULE 40, SDR-35, OR APPROVED EQUAL. TIGHT PIPE SHALL HAVE A MINIMUM OF 18" COVER AND 2% SLOPE. SUBDRAIN PIPE SHALL BE PLACED WITH HOLES DOWN.
2. ALL TRENCHING SHALL COMPLY WITH MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS (UCS) AND SPECIFICATIONS.
3. DRAIN INLETS SHALL BE 6" NDS SPEE-D BASINS WITH ATRIUM GRATE, OR APPROVED EQUIVALENT. RIM ELEVATION OF DRAINAGE INLETS TO BE 2" MIN ABOVE TOP OF SOIL.
4. ALL WORK IN THE RIGHT OF WAY SHALL REQUIRE A SEPARATE ENCROACHMENT PERMIT THE COUNTY OF MARIN.

NOTES, CONT.

5. CONTRACTOR TO PROVIDE CONNECTIONS TO NEW STORM DRAIN SYSTEM FOR EXISTING DRAINAGE INFRASTRUCTURE TO REMAIN (E.G. DOWNSPOUTS) AS WELL AS NEW FOUNDATION DRAINS FOR WALLS AND OTHER STRUCTURES, SEE STRUCTURAL PLANS FOR SUBDRAIN DETAIL. CONTRACTOR TO PROVIDE DEDICATED TIGHT SD PIPE CONNECTIONS TO ALL SUBDRAINS AND ROUTE SEPARATELY FROM SURFACE STORM DRAIN COLLECTION PIPES TO (N) DRAINAGE INLET LOCATED UPSTREAM OF DISSIPATION TRENCH. THIS DRAINAGE INLET TO HAVE RIM ELEVATION THAT IS A MINIMUM OF 1' BELOW THE INVERT OF THE DEEPEST SUBDRAIN.
6. DRY UTILITIES (POWER, GAS, PHONE, CABLE) SHALL BE CONSTRUCTED PER THE UTILITY COMPANY STANDARDS, AND SHALL BE DESIGN BUILT BY THE CONTRACTOR.

GRADING NOTES

1. ALL RETAINING WALLS PER STRUCTURAL DRAWINGS WITH SLOPING BACKFILL. SUBDRAINS MAY DIRECT CONNECT TO SITE STORM DRAIN SYSTEM. SUBDRAIN PIPE FOR PROPOSED FOUNDATION/STRUCTURAL ELEMENTS PER STRUCTURAL PLANS. PROVIDE CONNECTIONS FOR SUBDRAIN PIPE TO NEW SITE STORM DRAIN. CONNECTION POINT SHALL BE WITH A 6" AREA DRAIN AT A LOCATION WHERE THE RIM ELEVATION OF THE AREA DRAIN IS LOWER THAN THE INVERT ELEVATION OF THE SUBDRAIN PIPE.
2. DISTURBED AREA = 701 SF

GRADING NOTES, CONT.

3. EARTHWORK QUANTITIES
31 C.Y. CUT
5 C.Y. FILL
26 C.Y. CUT

EARTHWORK QUANTITIES DO NOT INCLUDE IMPORTED CONSTRUCTION MATERIALS, TRENCH OR FOUNDATION SPOILS, CLEARING AND GRUBBING, OVER EXCAVATION AND RE-COMPACTION, OR CONSTRUCTION METHODS. EARTHWORK QUANTITIES ARE AN ESTIMATE ONLY AND CONTRACTOR TO RELY ON THEIR OWN EARTHWORK CALCULATIONS.



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VALLEE RESIDENCE
20 SUNSET WAY, MUIR BEACH, CA
GRADING & DRAINAGE PLAN

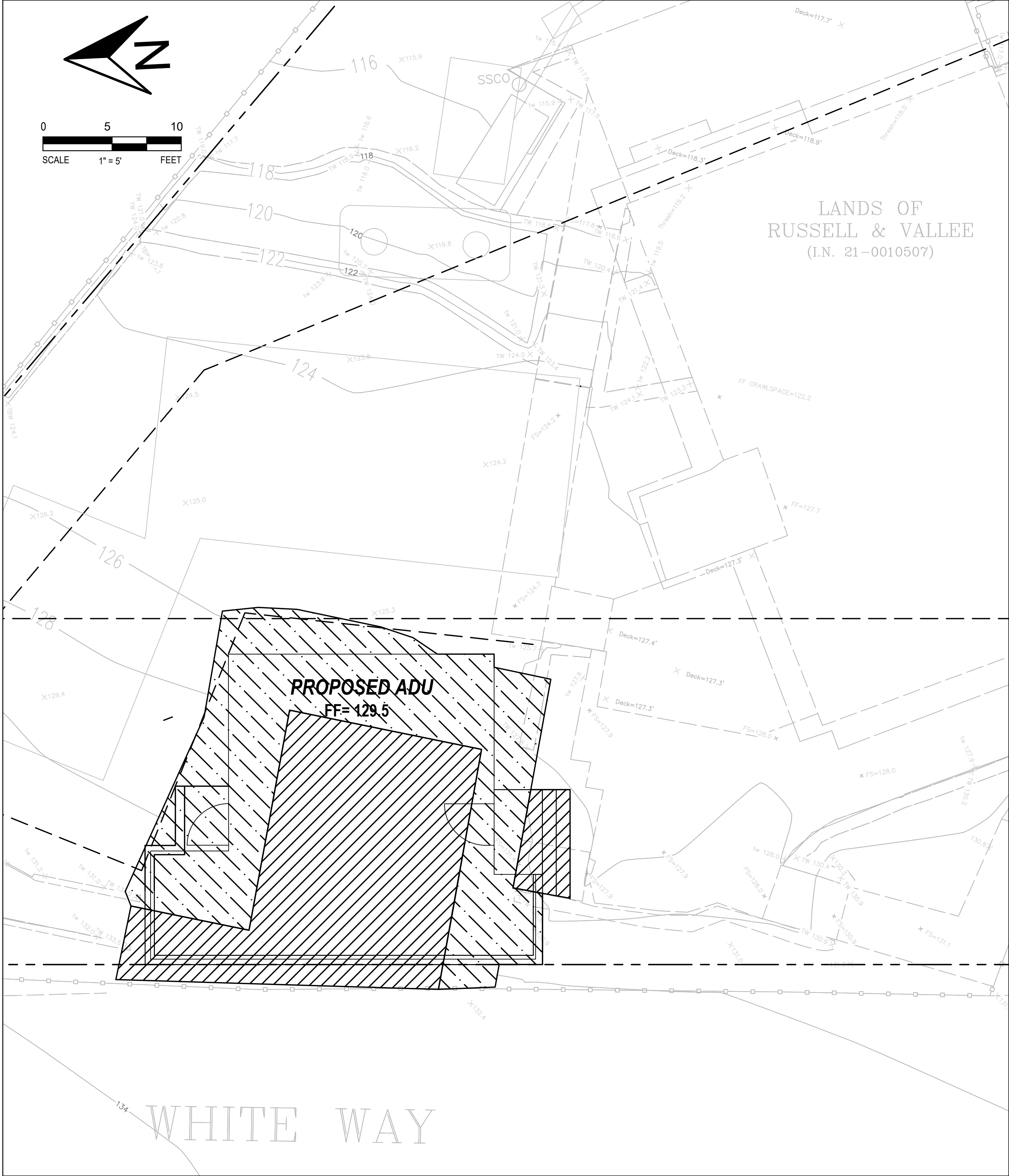
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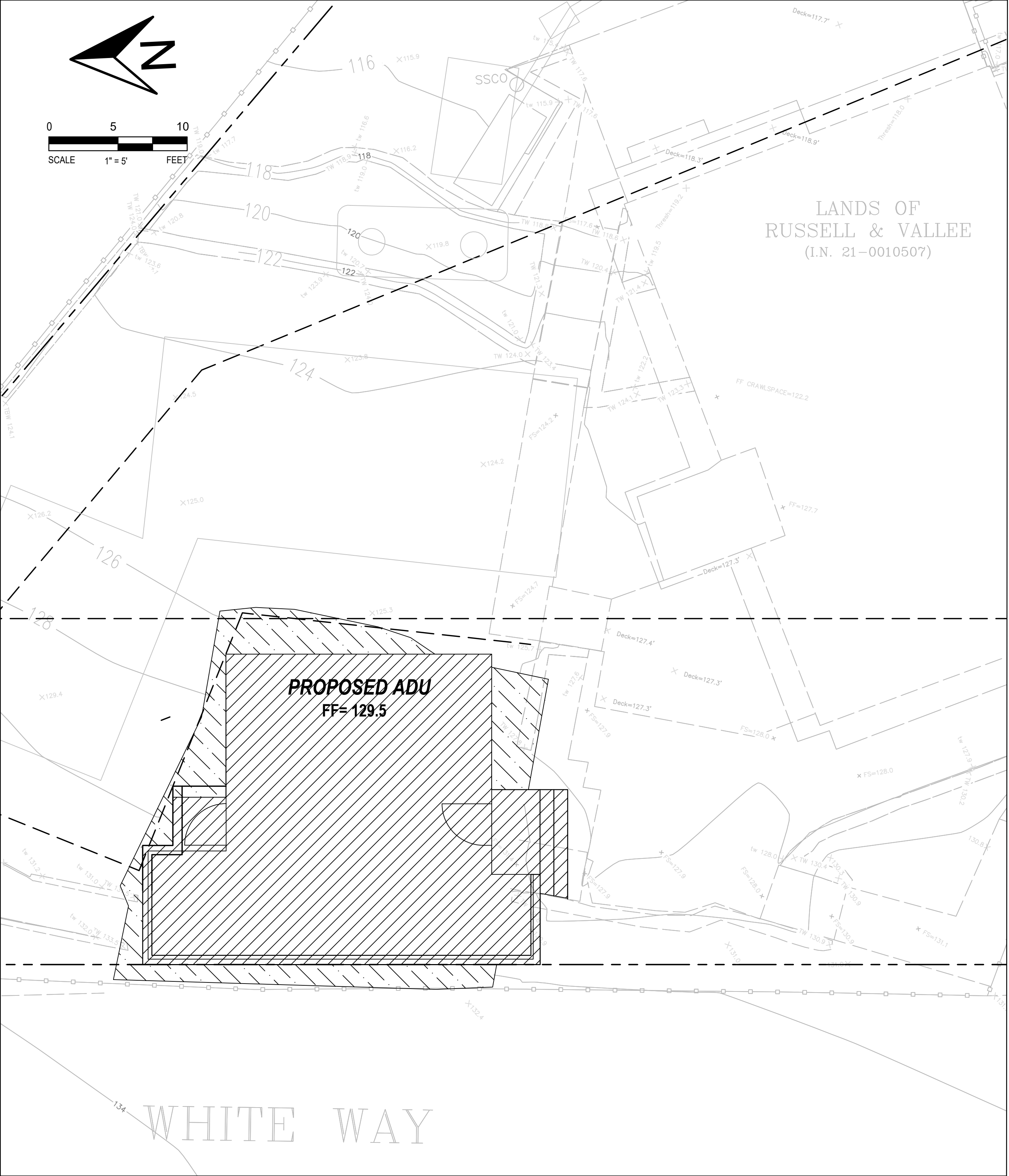
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REVIEWED BY MLT

SHEET

C2.0



EXISTING



PROPOSED

SURFACE AREAS

EXISTING:	
PERVIOUS:	367 SF
IMPERVIOUS / BUILDING:	334 SF
TOTAL:	701 SF
PROPOSED:	
PERVIOUS:	149 SF
IMPERVIOUS / BUILDING:	552 SF
TOTAL:	701 SF
PROPOSED:	
NET CHANGE:	+218 SF IMPERVIOUS

COVER LEGEND

	IMPERVIOUS SURFACE / BUILDING
	PERVIOUS SURFACE



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VALLEE RESIDENCE
20 SUNSET WAY, MUIR BEACH, CA
IM/PERVIOUS COVER PLAN

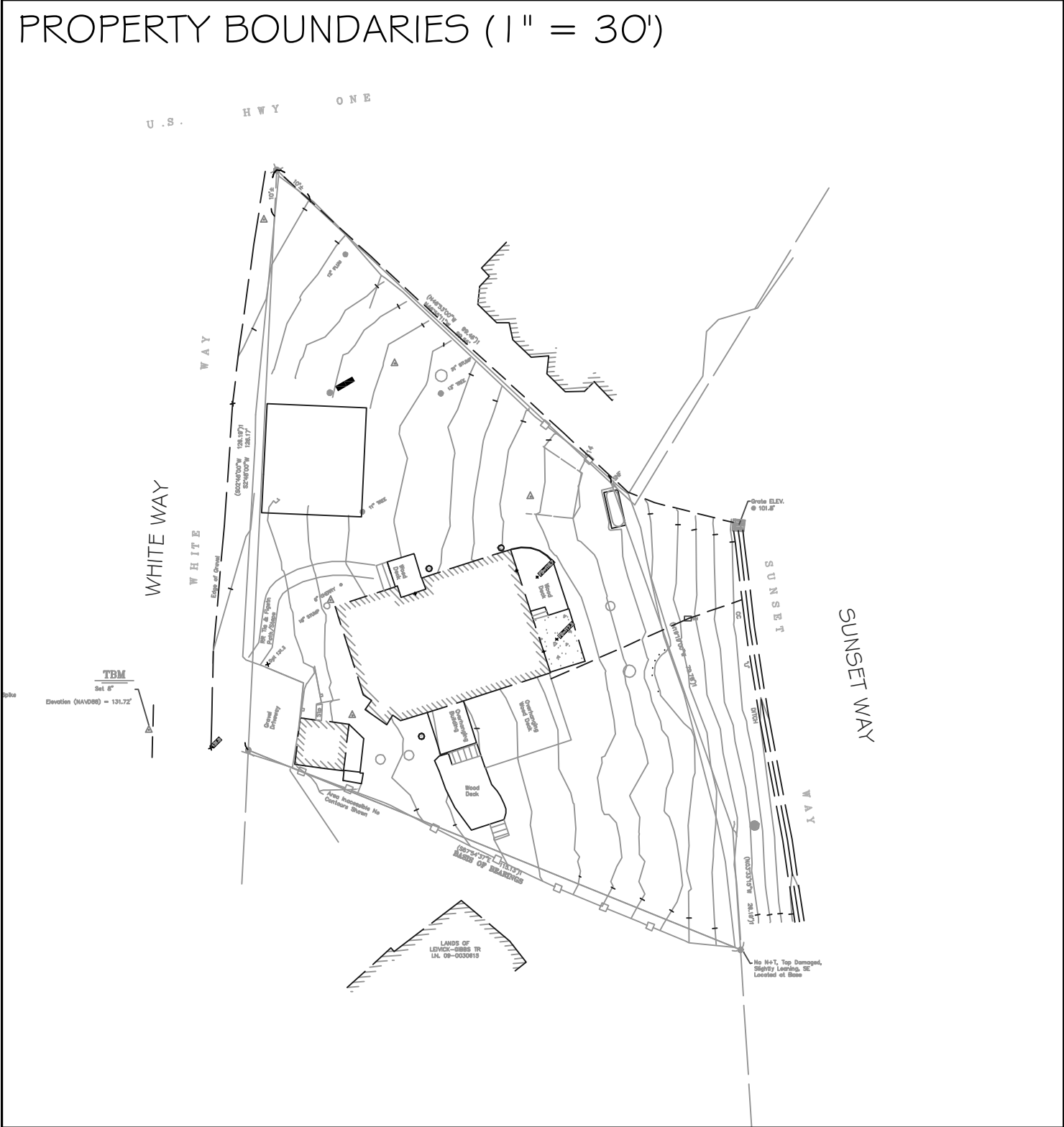
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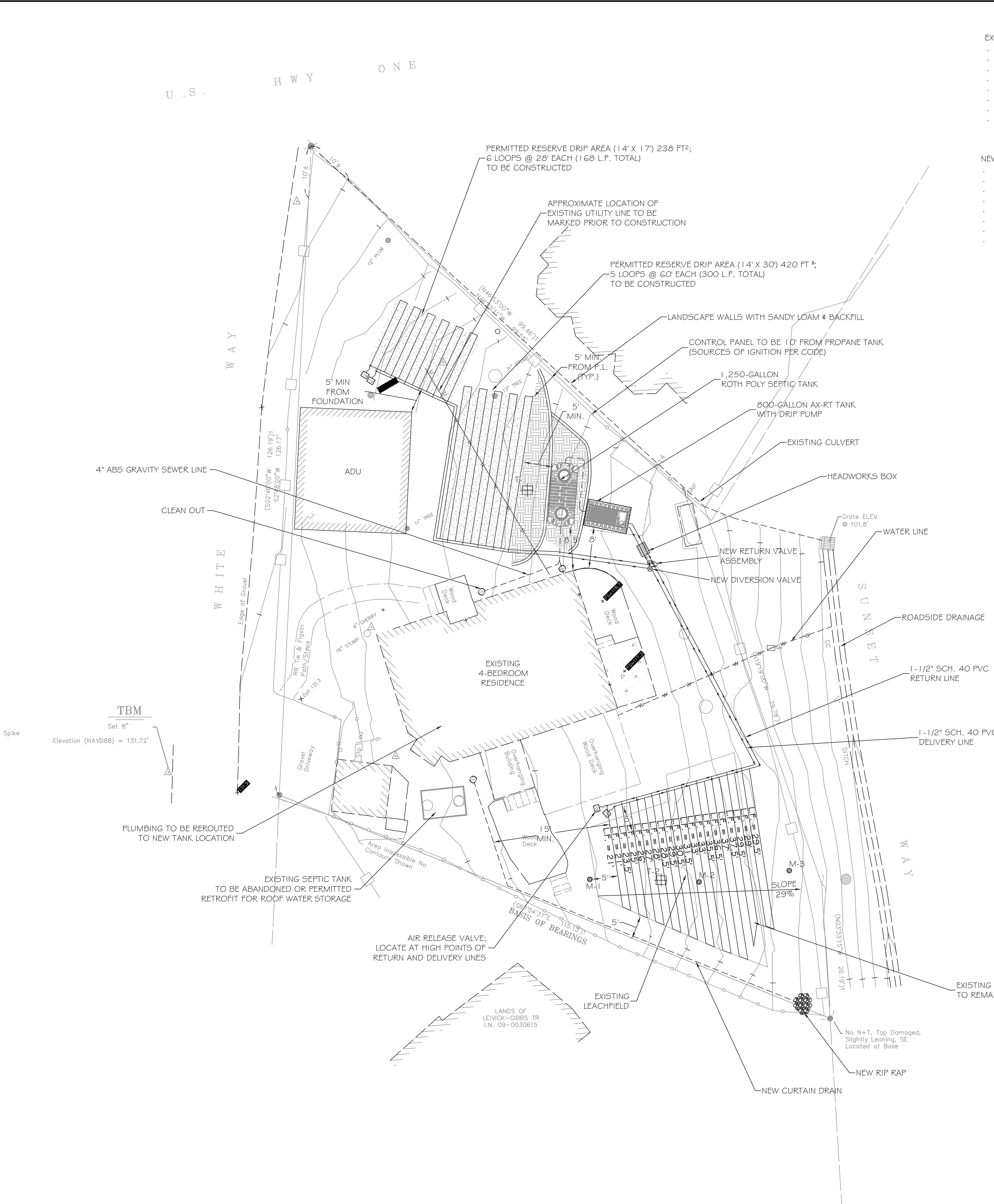
C3.0
3 OF 3 SHEETS



LEGEND	
	Soil Profile Trench
	Percolation Test
	Check Valve
	Monitoring Well
	Clean Out
	Gravity Line
	Pressure Line

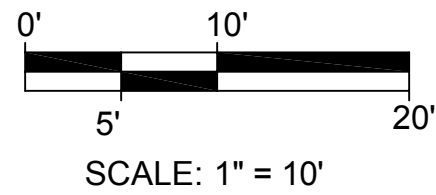
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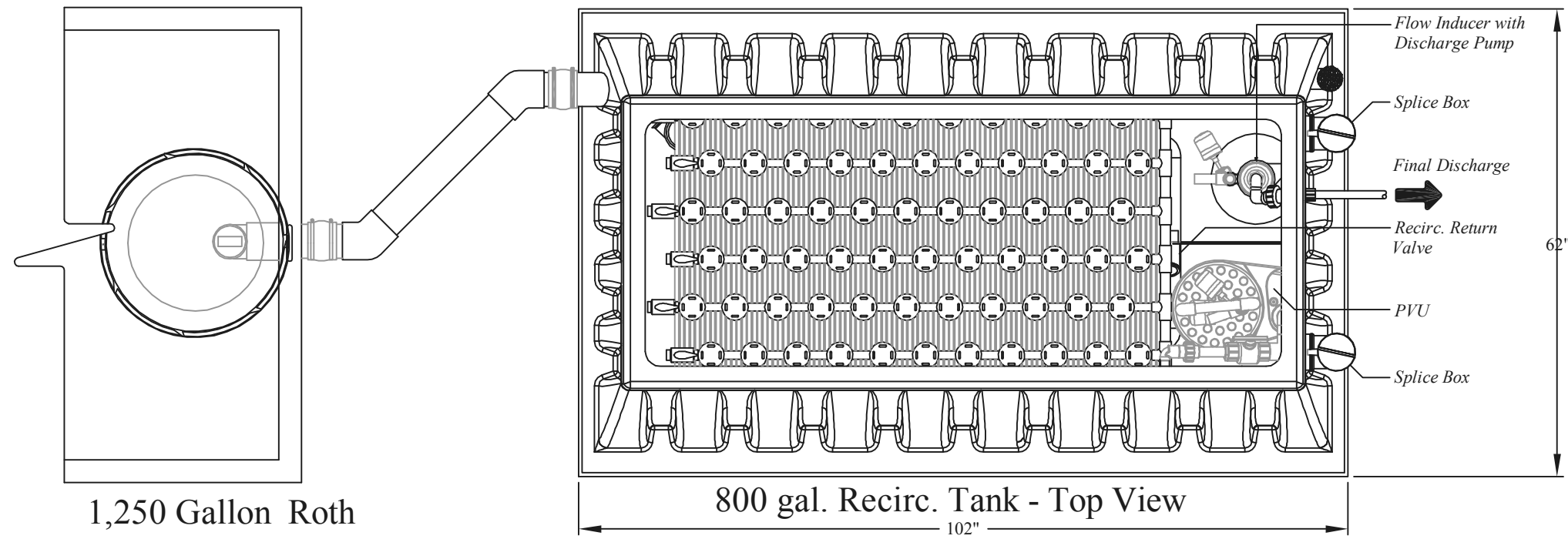
- Survey provided by owner. EED, Inc. assumes no responsibility.
- 2' Contours
- 420 GPD System



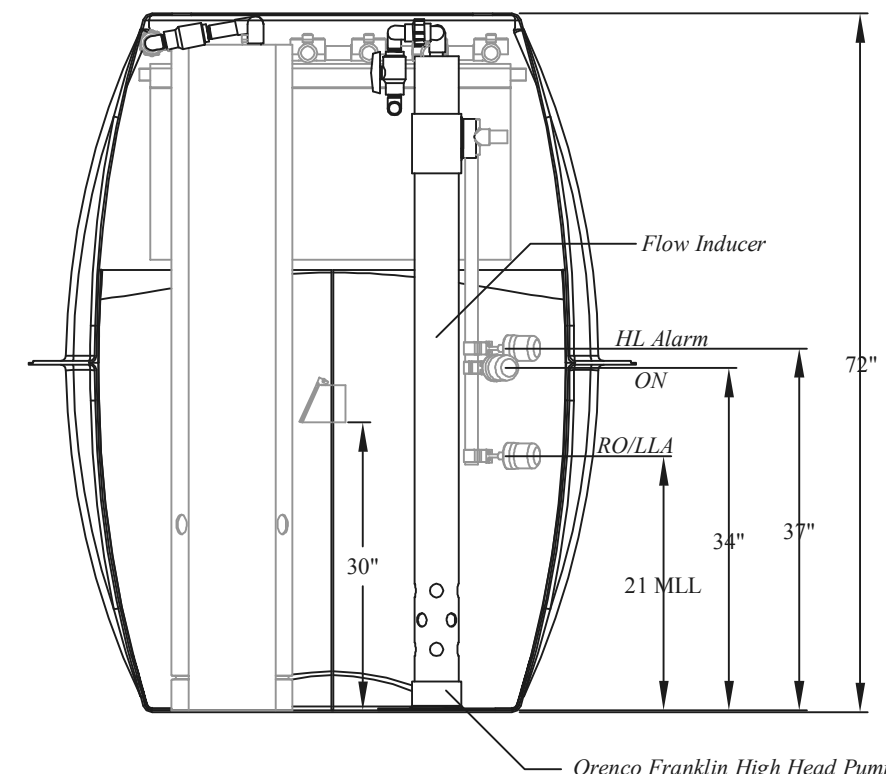
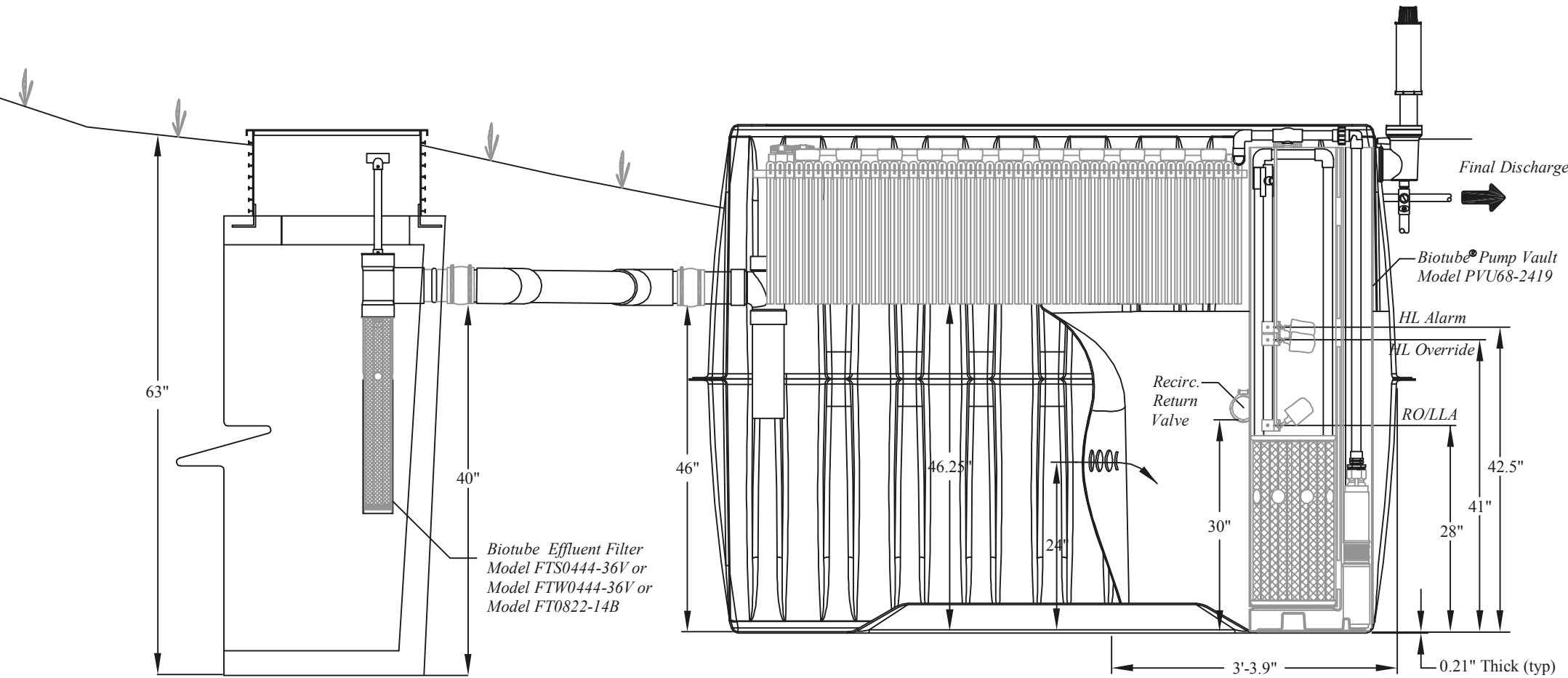
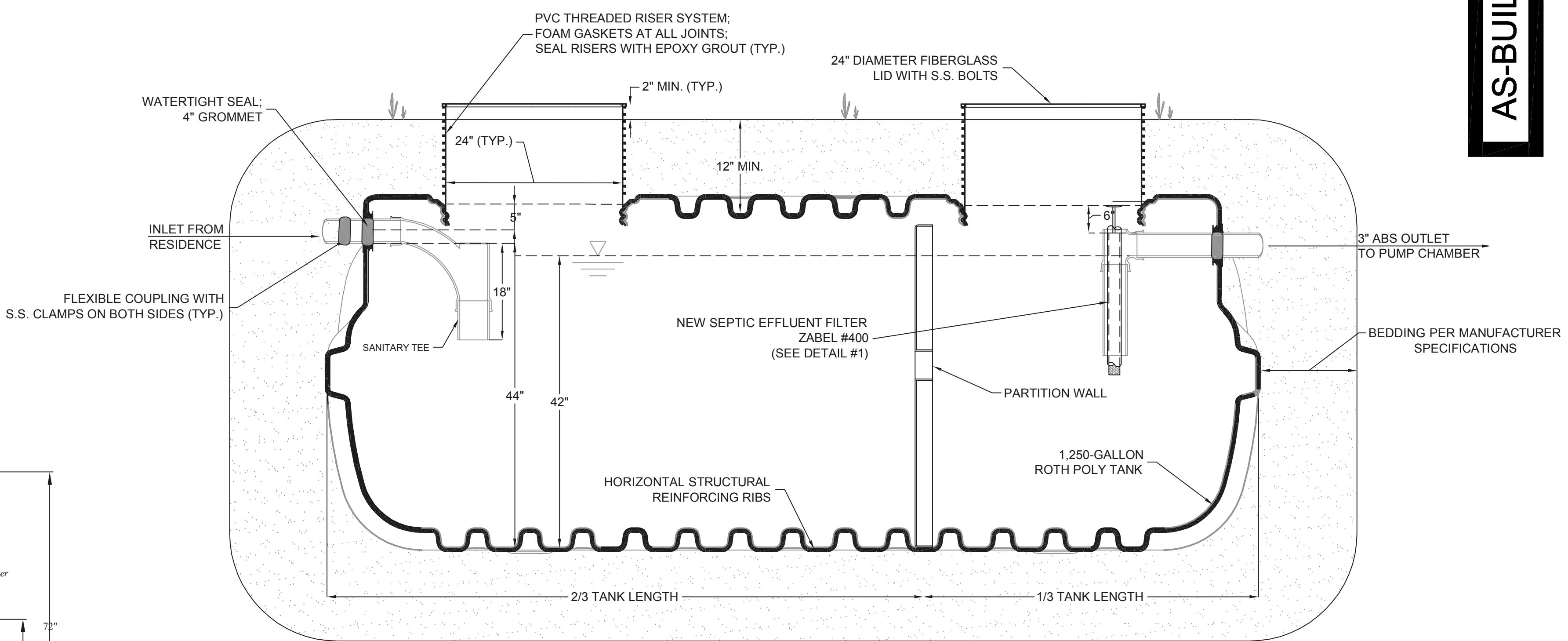
- EXISTING SECONDARY DRIP LINES DETAILS
- 1 ZONE @ 888 FT²
 - 10 LOOPS; 592 L.F.
 - PC 1.02 GPH
 - 30 PSI OPERATING PRESSURE
 - 24\"/>

- NEW RESERVE AREA DRIP LINES DETAILS
- 1 ZONE @ 638 FT²
 - 11 LOOPS @ 468 L.F. TOTAL
 - PC 1.02 GPH
 - 30 PSI OPERATING PRESSURE
 - 24\"/>





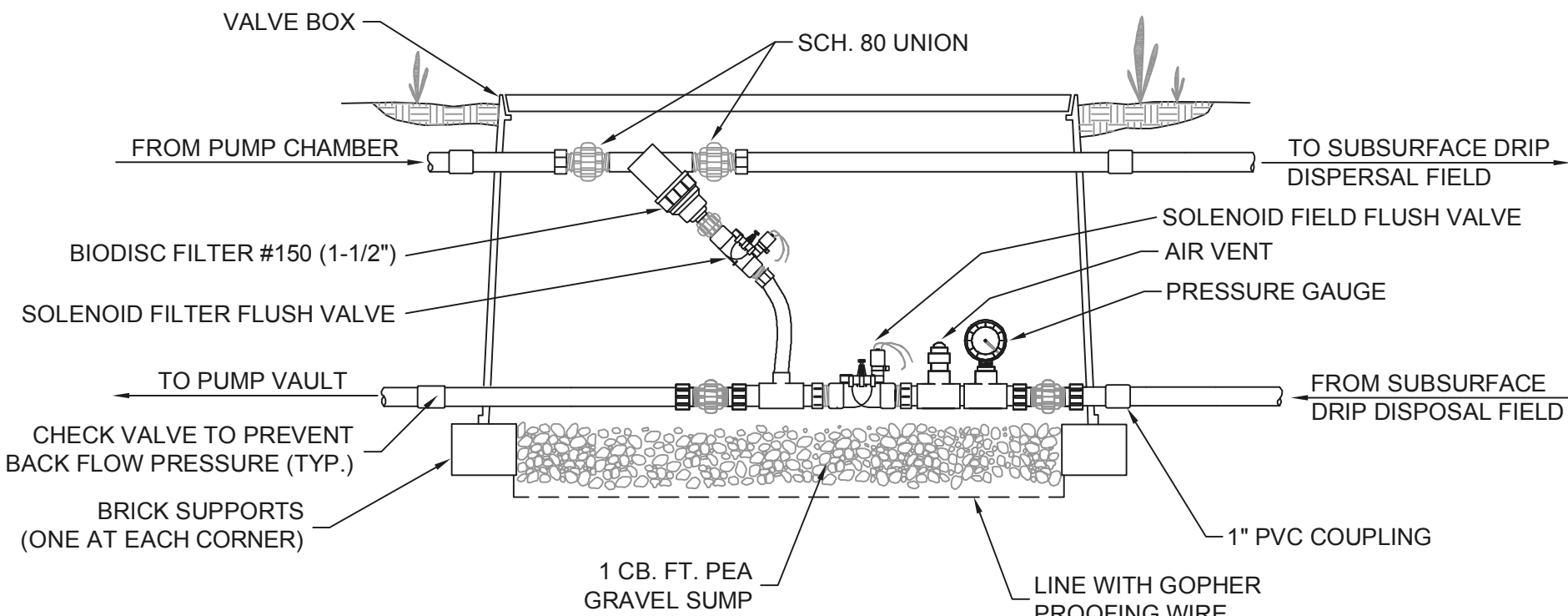
* Vericomm control panel.
Marin County specific



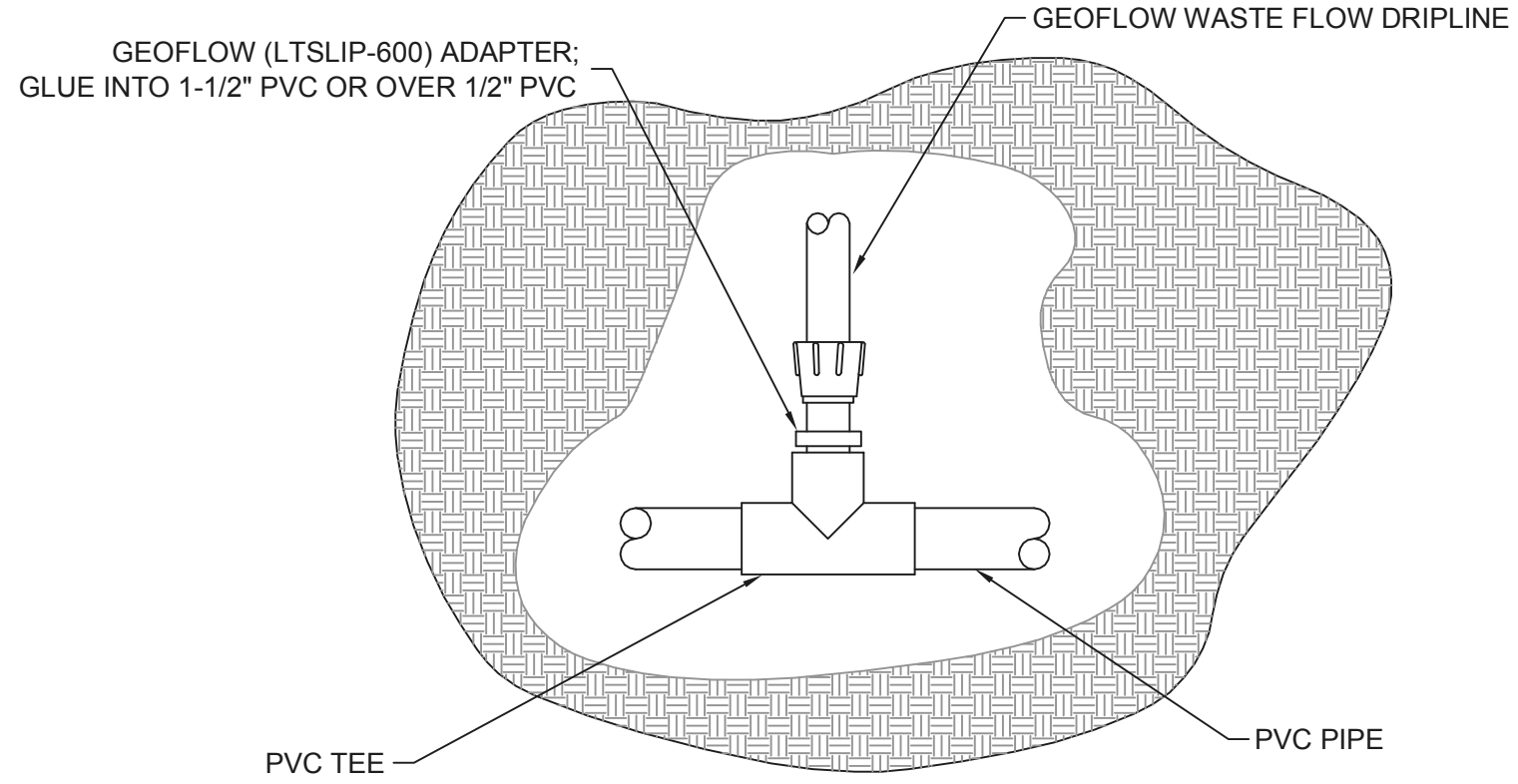
Treatment Pump

TREATMENT STANDARD 1 - PUMP DISCHARGE,
3-COMP. RECIRCULATING TANK

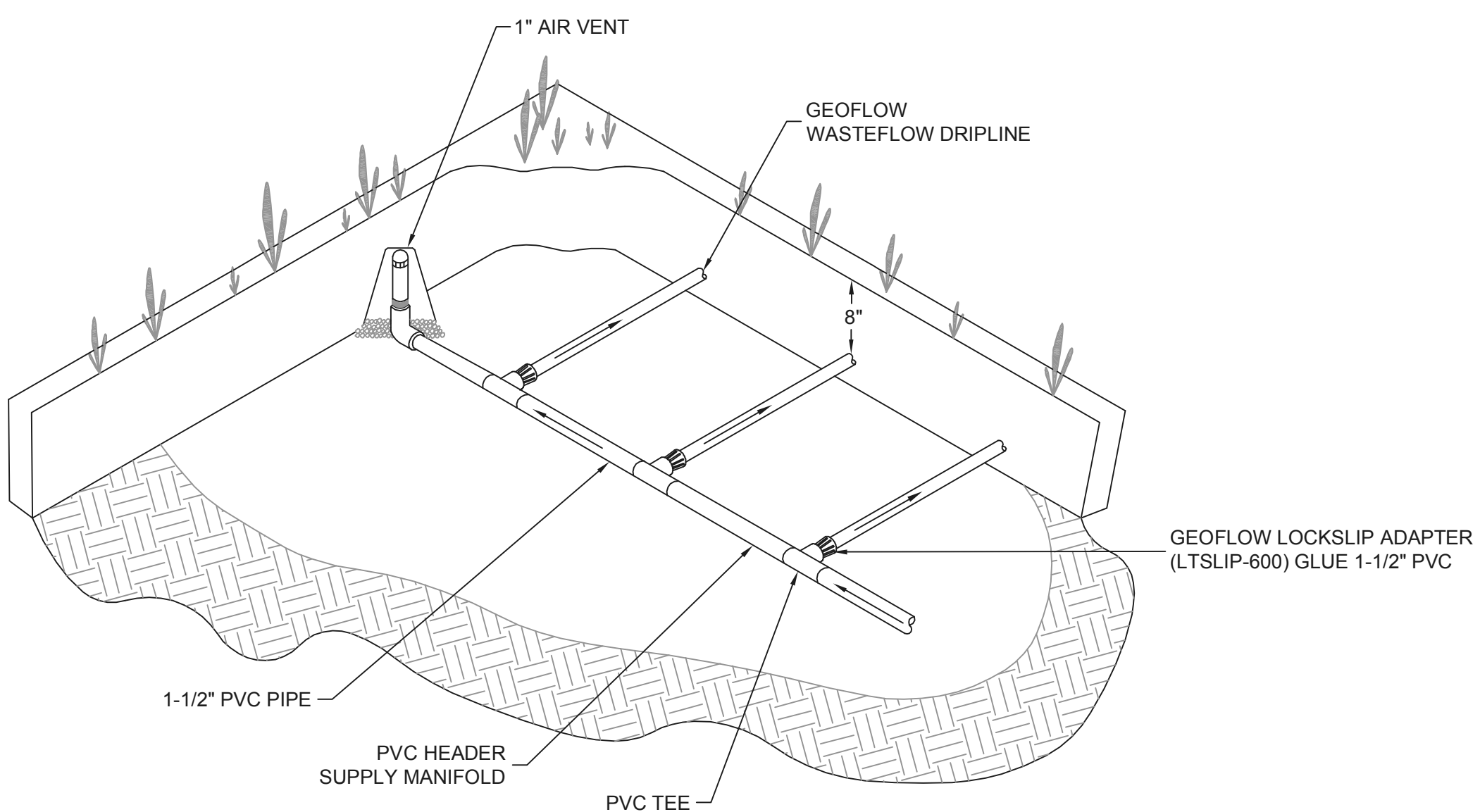
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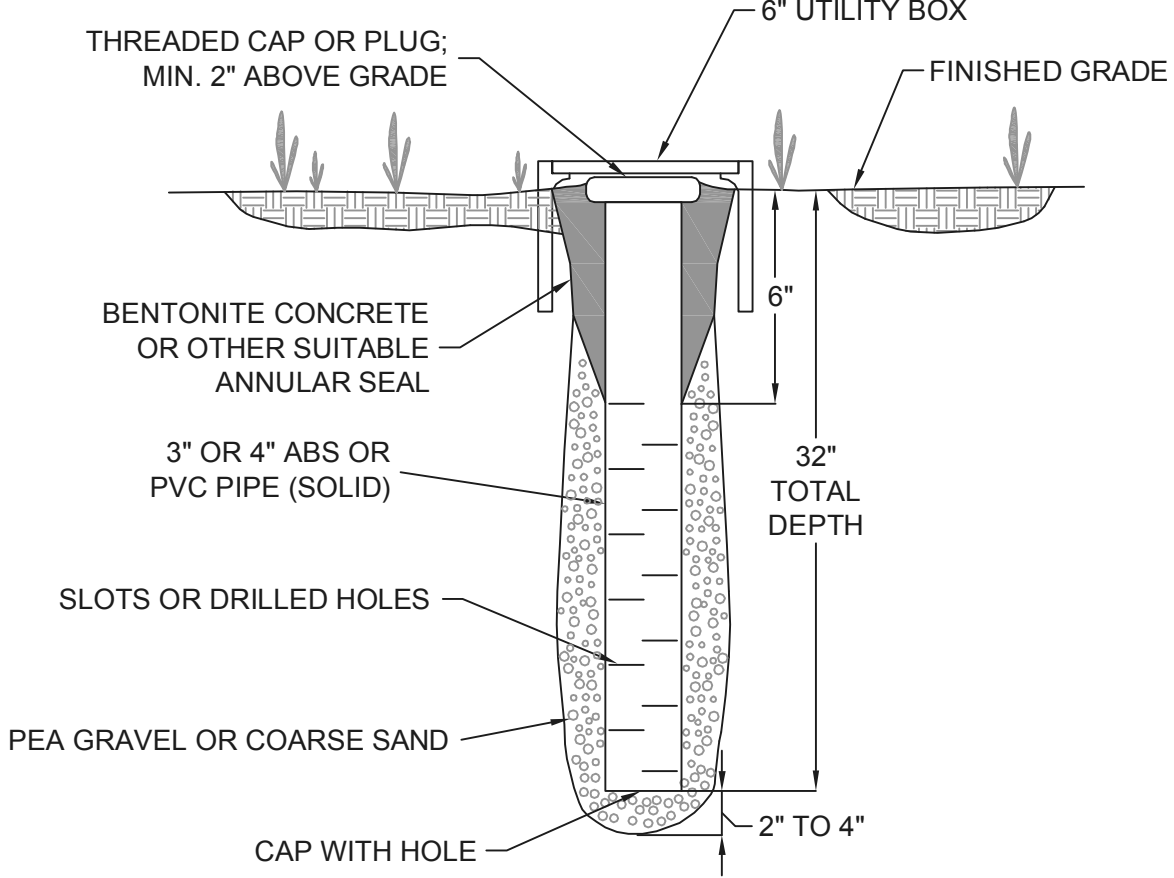
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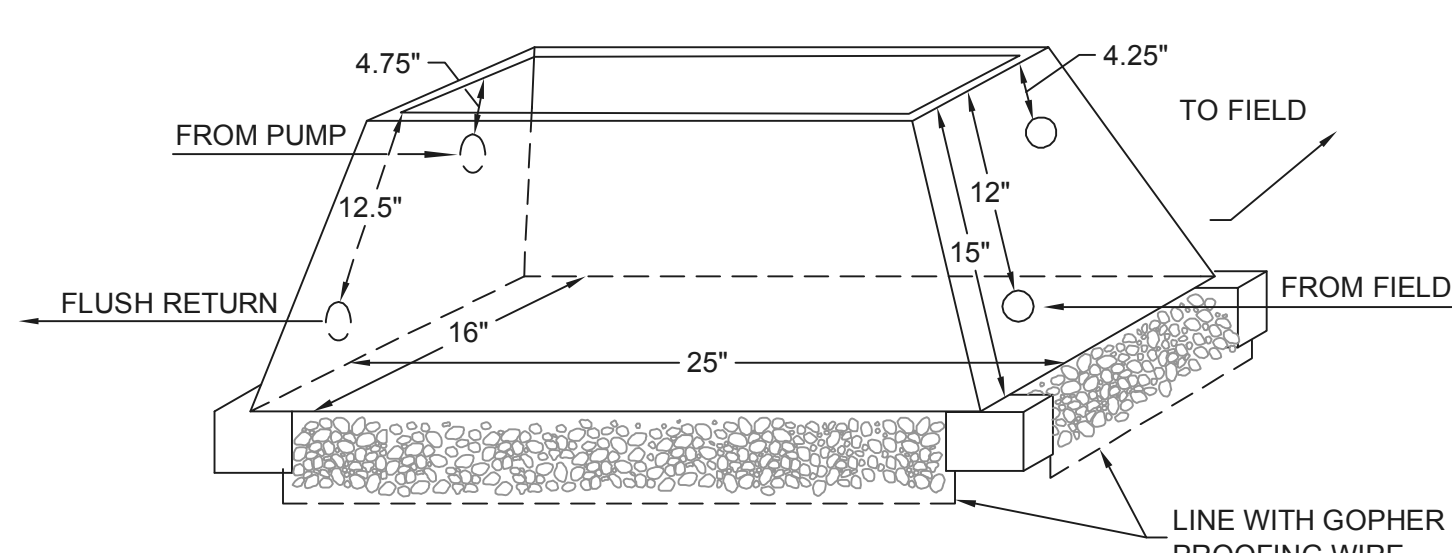
8



3



6



7

AS-BUILT

APN	199-202-21
DATE / REV.	09-08-2024 / ASBUILT
SCALE/SIZE	NONE / ARCHD
SHEET	2 OF 3

ON-SITE WASTEWATER SYSTEM PLAN
CONSTRUCTION DETAILS

VALLEE RESIDENCE
20 SUNSET WAY
MUIR BEACH, CALIFORNIA



100 Shoreline Highway
Bldg 200
Muir Valley, CA 94941
510.330.3392
eckman environmental
designs, inc

